

APPLICATION MATERIAL



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: permitcenter@matsugov.us

Matanuska-Susitna Borough
Permit Center

MAR 21 2022

Received

APPLICATION FOR A CONDITIONAL USE PERMIT REGULATION OF ALCOHOLIC BEVERAGE USES – MSB 17.70

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

☒ \$1,500 for Liquor Beverage Dispensary
☐ \$1,500 for Liquor Package Store

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made **prior** to the application presentation before the Borough Planning Commission.

Subject Property Township: 17, Range: 3, Section: 21, Meridian seward

MSB Tax Account # 51783B02 L003

SUBDIVISION: Fisher Y BLOCK(S): 2, LOT(S): 3

STREET ADDRESS: 2990 south Big Lake Road Wasilla Alaska

BUSINESS NAME Floater

Ownership A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? ☐ Yes ☐ No ☐ N/A

Name of Property Owner

R & B Alaska Inc

Address: 12270 east outer Springer lp
Palmer Alaska 99645

Phne: Hm na Fax na

Wk 9079470401 Cell 9079470401

E-mail bill.brister@gmail.com

Name of Agent/ Contact for application

Bill Brister

Address: 12270 east outer Springer lp
Palmer Ak 996445

Phne: Hm na Fax na

Wk 9079470401 Cell 9079470401

E-mail bill.brister@gmail.com

In order to grant a conditional use permit under MSB 17.70, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:	Attached
1. Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	x
2. Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	x

3. Are sufficient setbacks, lot area, buffers and other safeguards being provided?	x
4. Is there any potential negative effect upon other properties in the area due to such factors as dust, noise, obtrusive advertising and glare?	x
5. Is there any potential negative effect on the safe, efficient flow of traffic on any highway, arterial, collector or street from which access to and from the establishment is obtained?	x
6. What measures are being proposed to reduce any negative effect upon adjacent and nearby properties by property line buffers and arterial buffers, planted berms, landscaping, reduction or elimination of obtrusive or garish signing or other features, lowered building elevation, clustering with other commercial establishments and use of frontage roads to reduce the number of entries and exits onto highways, arterials and collectors and where the surrounding area is predominantly residential in character, site and building design features that contribute to the residential character of the development?	x
7. Are there adequate parking facilities to accommodate a reasonably expected increased demand for parking created by issuing the permit?	x
8. Will access to the premises create an unreasonable traffic hazard?	x
9. Will a reasonably expected increase in traffic overtax the existing road system?	x
10. Is the use compatible with the character of the surrounding neighborhood?	x
11. Is there or would the use tend to result in, a high crime rate or a high incidence of alcohol-related accidents in the area?	x
12. Does the applicant or a person with an interest in the application have an interest in a liquor license which was suspended or revoked in the 12 months preceding the application?	x
13. Has the applicant or person with an interest in the application demonstrated that the person is untrustworthy or unfit to conduct the operation of a licensed business, or is a potential source of harm to the public?	x

Supplemental Information – Explain in Detail	Attached
1. Maximum occupancy capacity of facility as determined by Fire Marshall	x
2. Number of employees proposed to work on largest work shift.	x
3. Number of regular parking spaced provided.	x
4. Number of handicapped parking spaces provided.	x
5. Is the use a sole occupant in a building or a tenant in a building?	x
6. Total square footage of space in building occupied by this use.	x
7. Hours of operation.	x
8. Noise mitigation measures	x

SITE PLAN – Attach a detailed, to scale, site plan clearly showing the following information:	Attached
1. Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the liquor use. Draw lot dimensions and indicate setback distance of structure(s) from the lot lines, rights-of-way, and waterbodies.	x
2. Dimensions of all structures	x
3. Interior floor plans (specific location of the use or uses to be made of the development)	x
4. Signage – Existing and Proposed	x
5. Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	x
6. Proposed contouring	na
7. Vegetation and any landscaping	x
8. Buffering – Fences, trees, topography, or berms	x
9. Drainage	x
10. Vehicular and pedestrian circulation patterns	x
11. Exterior site lighting	x
12. Distance(s) to the nearest intersection in all directions from proposed permit site along roads adjacent to the site.	x
13. Location and dimensions of parking areas to be provided	x
14. Boundary protection	x
15. Scale and north arrow.	x

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax parcel ID #(s) 84-4415997 512837021003 and, I hereby apply for approval an alcoholic beverage use conditional use permit on that property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.70 and with all other applicable borough, state or federal laws.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.


I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I understand that this permit and zoning status may transfer to subsequent owners of this land and that it is my responsibility to disclose the requirements of this status to the buyer when I sell the land.

I understand that changes from the approved conditional use permit may require further authorization by the Borough Planning Commission. I understand that failure to provide applicable documentation of compliance with approved requirements, or violation of such requirements will nullify legal status, and may result in penalties.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

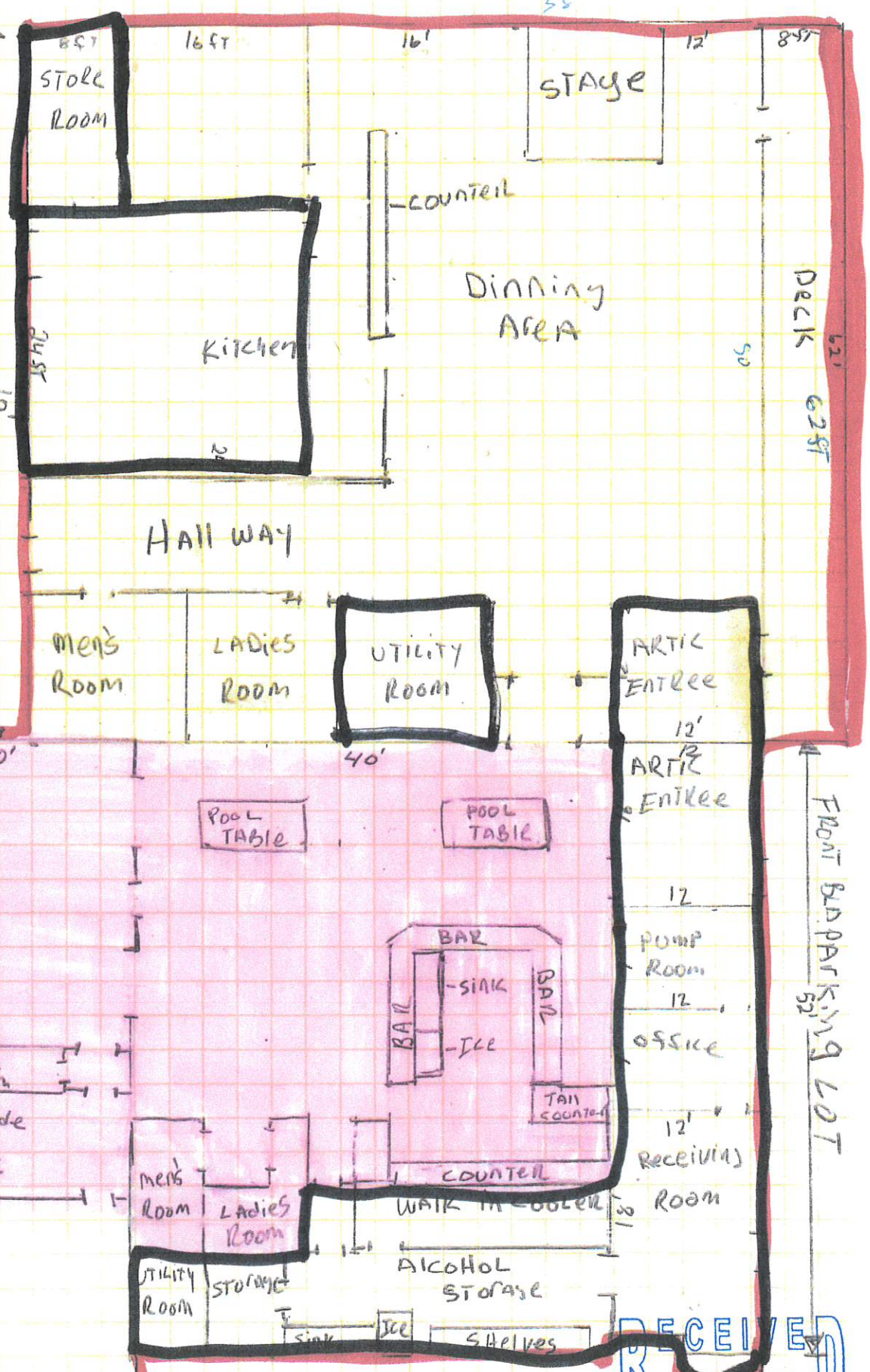
R & B Alaska Inc	R & B Alaska Inc	3-20-22
Signature: Property Owner	Printed Name	Date
	Bill Brister	3-20-22
Signature: Agent	Printed Name	Date

All Areas inside Black Border Decs No Alcohol

Parking Lot

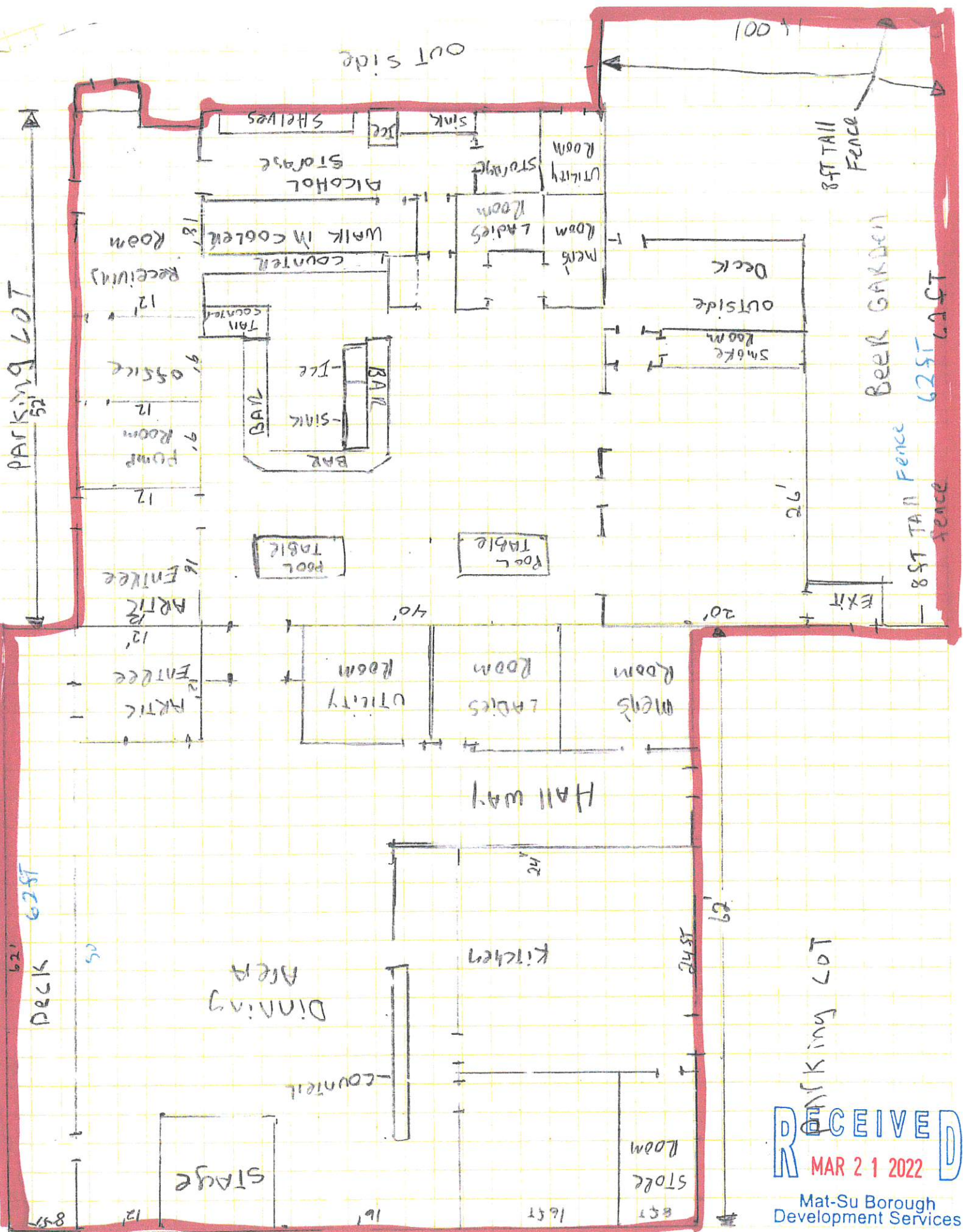
All Areas in yellow is proposed new service area

EXIT
85T TALL Fence
625T 2.5CT
BEER GARDEN
85T TALL Fence
100'



OUT side

RECEIVED
MAR 21 2022
Mat-Su Borough
Development Services



RECEIVED
 MAR 21 2022
 Mat-Su Borough
 Development Services

ORIGINAL LOT 1 AND LOT 2 CORNER
FROM PLAT#79-440

ORIGINAL LOT 3 AND LOT 4 CORNER
FROM PLAT#79-455

NOTES:

NOTES: THIS MORTGAGE LOCATION (AS-BUILT) SURVEY WAS PREPARED IN ACCORDANCE WITH ASPI'S MORTGAGE LOCATION SURVEY STANDARDS. REPRESENTS FOUND CONDITIONS AT THE TIME OF SURVEY. DOES NOT CONSTITUTE A BOUNDARY SURVEY, AND IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY DISCLOSE.

2. INFORMATION CONTAINED HEREON SHALL NOT BE USED TO ESTABLISH ANY FENCE, STRUCTURE, OR OTHER IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE LAND OWNER OR BUILDING CONTRACTOR TO DETERMINE THE EXISTENCE OF ANY EASEMENTS OF RECORD, COVENANTS, OR LOT RESTRICTIONS WHICH ARE NOT IDENTIFIED ON THE RECORD PLAT.

3. UNLESS GROSS NEGLIGENCE IS DISCOVERED, THE LIABILITY EXTENT FOR THIS SURVEY SHALL BE LIMITED TO THE FEE AMOUNT COLLECTED TO PREPARE THIS DRAWING. THIS DRAWING WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.

4. 3 FEET OF SNOW COVERS THE GROUND AT TIME OF SURVEY.

LOT 1A
(PLAT #2018-90)

10 UTILITY EASEMENT

①

PARKING AREA
BASED ON SNOW

Diagram showing a 15' screening easement and a 10' utility easement.

200° WF11

ALL MONUMENT
POSITIONS, EXCEPT
THE SE CORNER OF
LOT 3 BLOCK 2,
WERE SURVEYED BY
THIS COMPANY ON
11/1/2018

MEASURED

—

FIBER OPTIC POST
(TYPICAL)

TRACT B G
LINK FENCE

TRACT B (PLAT #77.87)

189°57'01"W 304.19'(M)
189°56'50"W 304.34'(R)

THE UNIVERSITY OF CHICAGO

— — — — —

503°35'07"E 175.51'(M)
503°34'20"E 175.35'(R)

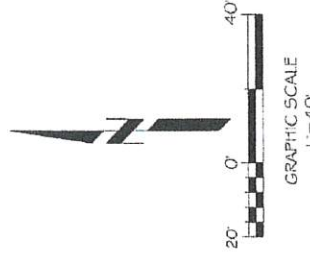
1-STORY
COMMERCIAL
BUILDING

GRAVEL DRIVEWAY AND
PARKING AREA

BLOCK 2

500°05'08"E 175.03'(C)
500°03'41"E 175.00'(R)

S. BIG LAKE ROAD

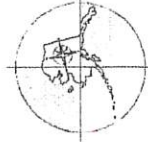


LEGEND

- | | | | | | | | | | | | | | | | |
|--------------|--------------------|---------------------|-----------------------|------------------|-------------------|-------------------|----------|------------|-------------|----------------|--------------------|--------------|----------|----------------|-----------|
| FOUND 2-1/2" | ALUMINUM CAP (1.5) | FOUND 1-1/4" YELLOW | PLASTIC CAP (1.5) FOR | FOUND 5/8" REBAR | COMPUTED POSITION | RECORD PLAT #79-4 | MEASURED | CALCULATED | SEPTIC PIPE | ELECTRIC METER | TELEPHONE PEDESTAL | UTILITY POLE | GUY WIRE | WOOD SIGN POST | WOOD DECK |
| | | | | | | | | | | | | | | | |



I HEREBY CERTIFY THAT AN ACCURATE SURVEY OF THE FOLLOWING DESCRIBED PROPERTY, **FISHERS "W" SUBD. LOT 3 BLOCK 2**, OF THE **PALMER** RECORDING DISTRICT, ALASKA WAS MADE ON **03-13-2020**, AND THAT THE IMPROVEMENTS SITUATED THEREON DO NOT ENCRANCH ON THE PROPERTY LYING ADJACENT TO THE PREMISES IN QUESTION EXCEPT AS INDICATED HEREON. EASEMENTS OF RECORD OTHER THAN THOSE SHOWN ON THE RECORD PLAT MAY EXIST.



PREPARED FOR: IFFF ROSS

R* K LAND SURVEYING
PO BOX 606
WILLOW, ALASKA 99688
(907) 495-0047
#156327

DRAWN BY: RLW	FIELD BK: RULS :
CHECKED BY:KEW	
JOB NO.: 2020-017	MSB MAP#: HO
SCALE: 1"=40'	DATE: 03-17-

RESTAURANT EXPANSION

2990 S BIG LAKE ROAD

BIG LAKE, ALASKA 99652



SCALE:	REFER TO DRAWING:	DATE	NO.	REVISION ISSUED FOR:
DESIGNED BY:	BY:			
DRAWN BY:	TC:			
CHECKED BY:	BY:			
APPROVED BY:				
ISSUE STATUS:				
PLAN CHECK:				
APN:				
XXX				

ABBREVIATIONS

A.B.	ANCHOR BOLT	MANUF.	MANUFACTURER
A/C	AIR CONDITIONING UNIT	MATL	MATERIAL
ADJ.	ADJUSTABLE	MAX.	MAXIMUM
A.F.F.	ABOVE FINISHED FLOOR	MECH.	MECHANICAL
ALUM.	ALUMINUM	MFR.	MANUFACTURER
ALT.	ALTERNATE	MIN.	MINIMUM
AMP	AMPERAGE	MISC.	MISCELLANEOUS
AUTO.	AUTOMATIC	MTL	METAL
BA	BATHROOM	N	NORTH
BD	BOARD	N.E.C.	NATIONAL ELECTRICAL CODE
BED	BEDROOM	N.I.C.	NOT IN CONTRACT
BLDG.	BUILDING	NO.	NUMBER
BLKG.	BLOCKING	N.T.S.	NOT TO SCALE
BM	BEAM		
BOT.	BOTTOM	O.C.	ON CENTER
CAB.	CABINET	O.D.	OUTSIDE DIAMETER
C-DX		O.G.	ORNAMENTAL GUTTER
CF	CUBIC FEET	OH	OVERHEAD
CH.	CHAPTER	OPP.	OPPOSITE
CL.	CENTER LINE	PKT.	POCKET
CLG.	CEILING	PL	PLATE
CMU	CONCRETE MASONRY UNIT	PLYWD.	PLYWOOD
CONC.	CONCRETE	PR	PAIR
COND.	CONDITION	PSF	POUNDS PER SQUARE FOOT
CONT.	CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CRPT	CARPET	P.T.	PRESSURE TREATED
CT	CERAMIC TILE	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
CY	CUBIC YARD	PWD.	PLYWOOD
DBL	DOUBLE	R	RADIUS, RISER
DEG.	DEGREES	REBAR	REINFORCING STEEL BARS
DF	DOUGLAS FIR	REF.	REFERENCE
DIA	DIAMETER	REQ'D	REQUIRED
DIM.	DIMENSION(S)	RM	ROOM
DIV.	DIVISION	R.O.	ROUGH OPENING
DN	DOWN	S	SOUTH
DP.	DEEP	SC	SOLID CORE
DR	DOOR	SECT.	SECTIONAL(S)
E	EAST	S.F.	SQUARE FOOT (FEET)
EA.	EACH	S.H.	SINGLE HUNG
ELEC.	ELECTRICAL	SHTG.	SHEATING
ELEV.	ELEVATION	SHWR.	SHOWER
EXISTG.	EXISTING	SIM.	SIMILAR
EXT.	EXTERIOR	SL	SLIDER
E.W.	EACH WAY	SL	SLIDER
FAU	FORCED AIR UNIT	SPECC	SPECIFICATIONS
F.G.	FIXED GLASS	SQ	SQUARE
FIN.	FINISHED	STD.	STANDARD
FLR.	FLOOR	STL	STEEL
F.O.P.	FACE OF POST	STRUCT.	STRUCTURAL
FOUND.	FOUNDATION	T	TREAD
F.O.W.	FACE OF WALL	TEMP.	TEMPERED
FRMG.	FRAMING	T.O.B.	TOP OF BEAM
FT	FOOT (FEET)	T.O.P.	TOP OF PLATE
		T.O.S.	TOP OF SLAB
GA.	GAUGE	TV	TELEVISION
G.F.I.	GROUND FAULT INTERRUPT	TYP.	TYPICAL
G.I.	GALVANIZED IRON		
GL.	GLASS	U.B.C.	UNIFORM BUILDING CODE
GYP.	GYP-SUM	U.M.C.	UNIFORM MECHANICAL CODE
GLU-LAM	GLUE LAMINATED BEAM	U.N.O.	UNLESS NOTED OTHERWISE
		U.P.C.	UNIFORM PLUMBING CODE
H/D	HOLD-DOWN	V	VOLT
HDR.	HEADER	VERT.	VERTICAL
HGT.	HEIGHT		
HORIZ.	HORIZONTAL	W	WEST
H.S.	HORIZONTAL SLIDER	WI	WITH
HT.	HEIGHT	WC	WATER CLOSET
HVAC.	HEATING, VENTILATION AND AIR CONDITIONING	WD.	WOOD
		WID	WASHER/DRYER
I.D.	INSIDE DIAMETER	WI	WATER HEATER
INCL.	INCLUDED	WIO	WITHOUT
IN.	INCH	WP	WATERPROOF
INSUL.	INSULATION	WWF	WELDED WIRE FABRIC
INT.	INTERIOR		
KIT	KITCHEN		
LAV	LAVATORY		
LAUN	LAUNDRY		
LBS.	POUNDS		
LINO	LINOSEUM		
L.W.	LIGHTWEIGHT		

GENERAL NOTES

GENERAL	GENERAL (CONT)	FLOOR PLAN NOTES
1. ALL WORK SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF THE CURRENT STATE AND LOCAL CODES	14. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTIONS ARISE PERTAINING TO THE DRAWINGS AND/OR SPECIFICATIONS.	1. SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE INSTALLED PER I.B.C. AND I.P.C.
2. AL WORK SHALL COMPLY WITH THE 2018 IES, IBC, IMC, IPC, IEC, OCCUPANCY GROUP DIVISION, BUILDING USE, PARCEL NUMBER, AND CONSTRUCTION TYPE AS AMENDED BY STATE OF ALASKA AND LOCAL JURISDICTION AS APPLY TO THIS PROJECT	15. REFER TO THE STRUCTURAL CALCULATIONS FOR ANY QUESTION REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS, AND SHEAR REQUIREMENTS, NO DEVIATIONS FROM THE STRUCTURAL PLANS, NOTES AND DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD. APPROVAL BY THE FIELD INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS OR SPECIFICATIONS.	2. PROVIDE APPROVED HOSE BIBS PER I.P.C.
3. PERMITS: ALL PERMITS AND FEES SHALL BE SECURED AND PAID FOR BY THEN CONTRACTOR OR OWNER.	16. SPECIFICATIONS TAKE PRECEDENCE OVER THE INFORMATION ON THE DRAWINGS, IN CASE OF CONFLICT, NOTIFY THE ARCHITECT AT ONCE.	3. THE WATER HEATER TEMPERATURE / PRESSURE RELIEF VALVE SHALL BE INSTALLED PER I.P.C.
4. SUBSTITUTION: NO SUBSTITUTIONS SHALL BE MADE WITHOUT THE OWNER'S APPROVAL, ALL CHANGES AFFECTING STRUCTURE SHALL HAVE APPROVAL FROM ENGINEER OF RECORD	17. WATER PIPE AND FITTINGS SHALL BE OF BRASS, COPPER, CAST IRON OR GALVANIZED STEEL, CAST IRON USED FOR WATER NEED TO BE GALVANIZED IF OVER TWO INCHES IN SIZE, CPVC OR PE WATER PIPE MANUFACTURED TO RECOGNIZED STANDARDS MAY BE USED.	4. WATER CLOSETS SHALL BE INSTALLED PER I.P.C.
5. INTENTION: THE INTENTION OF THE DRAWINGS IS TO INCLUDE ALL LABOR MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY FOR COMPLETE AND PROPER EXECUTION OF THE WORK.		5. SHOWER HEADS, LAVATORY AND SINK FAUCETS SHALL HAVE A MAXIMUM FLOW RATE PER I.P.C.
6. CHANGES: THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK.		6. UNDERFLOOR CLEANOUTS SHALL BE LOCATED PER I.P.C.
7. CUTTING & PATCHING: ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING & PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY THE WORK OF OTHER TRADES.		7. WARM AIR FURNACE INSTALLED IN AN ATTIC OR FURRED SPACE SHALL COMPLY WITH THE I.B.C. AND I.M.C.
8. SCOPE: ALL TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND PERFORM ALL WORK AS NECESSARY, INDICATED OR REASONABLY INFERRED OR REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPER FINISHED PRODUCT.		8. PROVIDE FIRE PROTECTION PER I.B.C.
9. CLEAN-UP: ALL TRADES SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK.		9. VENT DRYER (NIC) TO OUTSIDE AIR PER I.M.C.
10. TEMPORARY TOILETS: THE CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR ALL TRADES UNTIL COMPLETION OF WORK.		10. HANDRAILS SHALL BE INSTALLED PER I.R.C.
11. LINES & LEVELS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS, THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES AND LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION AND CONSTRUCTION OF THE WORK AND SHALL CALL THE ARCHITECT'S ATTENTION TO ANY DIFFERENCES PRIOR TO PROCEEDING WITH WORK.		11. GUARDRAILS SHALL BE INSTALLED PER I.R.C.
12. ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR SHALL REPORT TO ARCHITECT ALL CONDITIONS THAT PREVENT THE PROPER EXECUTION OF THE WORK.		12. PROVIDE 1 HR FIRE SEPARATION PER I.R.C.
13. CONTRACTOR SHALL ENSURE THAT ALL WORK IS DONE IN A PROFESSIONAL, WORKMANLIKE MANNER BY SKILLED MECHANICS AND SHALL REPLACE ANY AND ALL MATERIAL OR ITEMS DAMAGED BY A SUB-CONTRACTOR'S PERFORMANCE. SUB-CONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THEIR EXACT EXTENT AND OVERLAP OF EACH OTHERS WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF WORK.		13. DOOR FROM HOUSE TO GARAGE SHALL COMPLY WITH I.R.C.
		14. ALL GLAZING SHALL COMPLY WITH I.R.C. AND APPLICABLE WUI REQUIREMENTS
		15. ALL BEDROOM EGRESS WINDOWS SHALL COMPLY WITH I.R.C.
		16. CONSTRUCTION AT SHOWERS SHALL COMPLY WITH I.R.C.
		17. CONSTRUCTION OF THE WATER HEATER PLATFORM SHALL COMPLY WITH THE I.R.C.
		18. GARAGE CONSTRUCTION SHALL COMPLY WITH I.R.C.
		19. ALL AIR DUCTS PENETRATING PROPOSED SEPARATION WALL OR CEILING BETWEEN GARAGE & LIVING SPACE SHALL COMPLY WITH I.R.C.
		20. ALL WALLS ARE 2x4, U.N.O.
		21. PROVIDE DRAFT STOPS AT ALL CONCEALED LOCATIONS PER I.R.C.
		22. FLOOR MATERIAL SHALL MEET MINIMUM SLIP COEFFICIENT REQUIREMENTS

ELECTRICAL PLAN NOTES

1. ALL HARDWIRED LIGHTING IN KITCHEN AND BATHS SHALL COMPLY WITH I.E.C.
2. ALL EXTERIOR FIXTURES SHALL COMPLY WITH I.E.C.
3. ALL FIXTURES LOCATED ABOVE TUBS OR SHOWERS SHALL COMPLY WITH I.E.C.
4. ALL ELECTRICAL OUTLETS IN KITCHEN, BATHS, EXTERIOR OUTLETS AND OUTLETS IN GARAGE SHALL COMPLY WITH I.E.C.
5. ALL SMOKE DETECTORS SHALL COMPLY WITH I.E.C.
6. ELECTRICAL OUTLET AT DISHWASHER SHALL COMPLY WITH I.E.C.
7. ALL FIXTURES AND OUTLETS IN GARAGE SHALL COMPLY WITH I.E.C.
8. GAS & WATER PIPES SHALL BE INSTALLED PER I.E.C.
9. RECESSED CEILING FIXTURES IN INSULATED AREAS SHALL COMPLY WITH I.E.C.
10. RECEPTACLE OUTLETS FOR ELECTRIC RANGES AND DRYERS SHALL COMPLY WITH I.E.C.
11. ALL BATHROOM RECEPTACLES SHALL COMPLY WITH I.E.C.
12. ARC FAULT INTERRUPTER PROTECTION SHALL BE PROVIDED PER I.E.C.
13. PROVIDE GROUNDING ELECTRODE PER I.E.C.
14. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT THE TIME OF INSPECTION
15. PROVIDE SMALL APPLIANCE BRANCH CIRCUITS PER I.E.C.
16. PROVIDE ADEQUATE CATV CABLE TO REACH ANY CORNER OF STRUCTURE FOR FUTURE SATELLITE.

VICINITY MAP



PROJECT DESCRIPTION

BUILDING DESCRIPTION	AREA CALCULATIONS
Occupancy Group : A-2 Type Of Construction : V-B NON-SPRINKLERED Stories : 1	TOTAL SQUARE FOOTAGE EXISTING BAR SPACE 1924 S.F. NEW ENCLOSED ARCTIC ENTRY 530 S.F. NEW RESTAURANT EXPANSION 2816 S.F. NEW RETAIL SPACE 1152 S.F. TOTAL SQ. FT. 6422 S.F.
APPLICABLE BUILDING CODES	
APPLICABLE CODES 2018 I.B.C. 2018 I.M.C. 2018 I.P.C. 2018 I.E.C. 2018 I.R.C. 2018 IFC	

PROJECT NOTES

THE FINISHED GRADE SHALL FALL 6" MINIMUM WITHIN THE FIRST 10'-0" OF THE BUILDING. LOTS SHALL BE GRADED TO DRAIN ALL SURFACE WATER AWAY FROM FOUNDATION WALLS.

CONSULTANTS

ARCHITECTURAL DESIGNER
MAPLE BROOK ENGINEERING, INC.
CONTACT: BRANDON HELMS, P.E.
PO BOX 491, ST MARIES, IDAHO 83861
PHONE: 208.568.1171

STRUCTURAL ENGINEER
MAPLE BROOK ENGINEERING, INC.
CONTACT: BRANDON HELMS, P.E.
PO BOX 491, ST MARIES, IDAHO 83861
PHONE: 208.568.1171

SHEET INDEX

CS	COVER SHEET
A1.1	ARCHITECTURAL FLOOR PLAN
A2.1	ELEVATIONS
A3.1	SECTION & DETAILS
S0.1	GENERAL STRUCTURAL NOTES
S0.2	TYPICAL DETAILS
S1.1	STRUCTURAL PLANS
S2.1	STRUCTURAL DETAILS
EM1.1	SCHEMATIC ELECTRICAL PLAN SCHEMATIC PLUMBING PLAN
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L1.10	LANDSCAPE MATERIALS PLAN
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L1.21	LANDSCAPE CONSTRUCTION DETAILS
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L1.25	LANDSCAPE CONSTRUCTION DETAILS
L1.26	SHEET DELETED
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L2.00	SOILS MANAGEMENT PLAN
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L2.02	SOILS MANAGEMENT DETAILS/NOTES
L2.10	LANDSCAPE HYDROZONE PLAN
L3.00	IRRIGATION PLAN
L3.01	IRRIGATION PLAN
L3.02	IRRIGATION NOTES & LEGEND
L3.03	IRRIGATION DETAILS
L3.04	IRRIGATION DETAILS
L3.05	IRRIGATION DETAILS
L3.06	IRRIGATION DETAILS
L4.00	PLANTING PLAN
L4.01	PLANTING PLAN
L4.02	PLANTING NOTES & LEGEND
L4.10	PLANTING SPECIFICATIONS
L4.20	PLANTING DETAILS
L5.00	LIGHTING PLAN
L5.01	LIGHTING DETAILS
LS1	STRUCTURAL DETAILS
P-1	POOL
S-1	SPA
P1	POOL SITE PLAN
P1	POOL SITE PLAN
S1	SWIMMING POOL & DETACHED SPA PLANS

NOTE:
WORK DONE ON THIS PROJECT
SHALL COMPLY WITH THE 2018
IBC, IMC, IPC, IEC, IFC AND ALL
LOCAL CODES, ORDINANCES AND
REQUIREMENTS

MAPLE BROOK ENGINEERING, INC.
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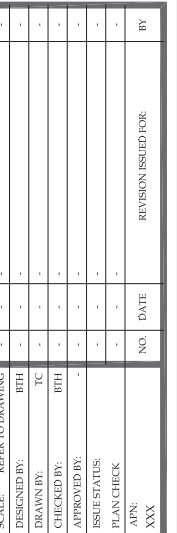
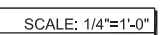
PROPOSED PROJECT:
RESTAURANT EXPANSION
PROJECT LOCATION: 2990 BIG LAKE ROAD, BIG LAKE, AK 99652

CLIENT:
R&B ALASKA, INC.
CONTACT: BILL BRISTER / PHONE: 907.947.1401
EMAIL: BILL.BRISTER@GMAIL.COM

PROJ. NO.: 11-20138
ISSUE DATE: 4/22/20
SUBMITTAL: PLAN CHECK
SHEET NO.

CS

- 1 ENCLOSE GAP BETWEEN BUILDINGS W/ FRAMED & INSULATED WALL
- 2 FINISH SLAB AT ENCLOSED GAP
- 3 ELECTRICAL PANEL
- 4 WALL MOUNT ADA COMPLIANT LAV
- 5 5'-0" DIA ADA TURNING SPACE
- 6 FURRED PLUMBING WALL
- 7 ADA COMPLIANT TOILET
- 8 WALL MOUNTED FOLDING CHANGING TABLE
- 9 RAISED DINING BAR, COORDINATE W/ OWNER
- 10 1 HOUR FIRE RATED WALL W/ 5/8" TYPE 'X' GYP BOARD TO ROOF SHEATHING
- 11 GREASE EXHAUSTING HOOD
- 12 STEAM EXHAUSTING HOOD



EMAIL: BILL.DRISTER@GMAIL.COM

A1.1



SCALE:	REFER TO DRAWING:	NO.	DATE	BY
DESIGNED BY:	BTB	-	-	-
DRAWN BY:	TC	-	-	-
CHECKED BY:	BTB	-	-	-
APPROVED BY:	-	-	-	-
ISSUE STATUS:	PLAN CHECK	-	-	-
APN:	XXX	-	-	-

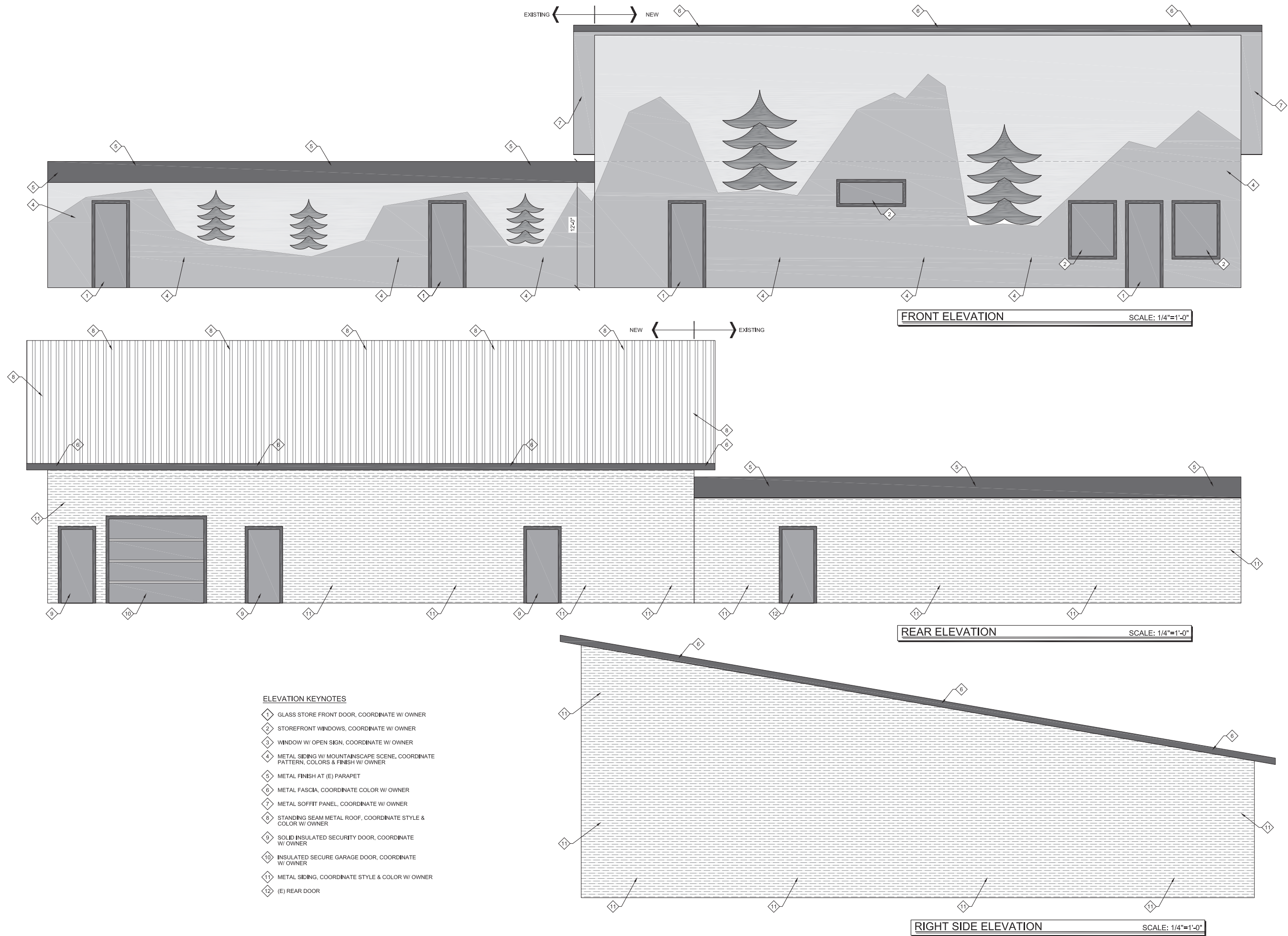
MAPLE BROOK ENGINEERING, INC.
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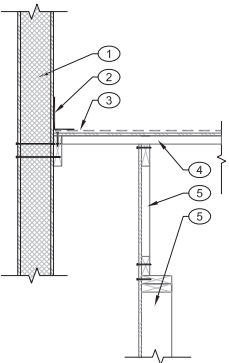
SHEET TITLE: **ELEVATIONS**

PROPOSED PROJECT:
RESTAURANT EXPANSION
PROJECT LOCATION: 2990 BIG LAKE ROAD, BIG LAKE, AK 99652
CLIENT:
R&B ALASKA, INC.
CONTACT: BILL BRISTER / PHONE: 907.947.1401
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PROJ. NO.:	11-20138
ISSUE DATE:	4/22/20
SUBMITTAL:	PLAN CHECK
SHEET NO.:	

A2.1





KEYNOTES:

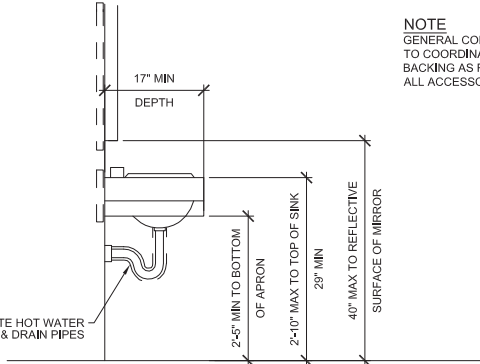
1. NEW SIP WALL PANEL, SEE STRUCT
2. NEW ROOF STRIP WELDED TO (E) ROOF MEMBRANE
3. (E) ROOF MEMBRANE TO REMAIN UNCHANGED
4. (E) ROOF STRUCTURE TO REMAIN
5. (E) ROOF TRUSS TO REMAIN
6. (E) WALL FRAMING TO REMAIN

5

WATERPROOFING AT NEW SIP WALL

REF:

SCALE: NO SCALE



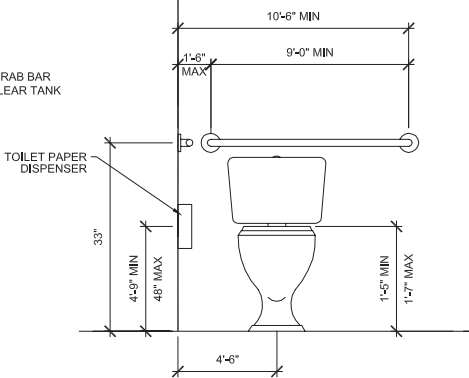
NOTE
GENERAL CONTRACTOR TO COORDINATE BACKING AS REQ'D FOR ALL ACCESSORIES

3

HANDICAP ACCESSIBLE WALL HUNG LAV

REF:

SCALE: NO SCALE



NOTE
3'-0" TO C. GRAB BAR REQ'D TO CLEAR TANK

1

HANDICAP ACCESSIBLE WATER CLOSET

REF:

SCALE: NO SCALE

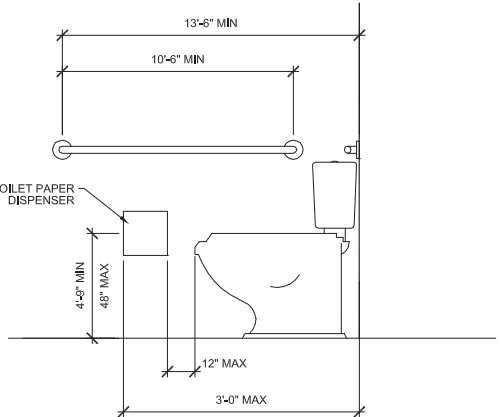


4

HANDICAP ACCESSIBLE LAV CLEARANCES

REF:

SCALE: NO SCALE

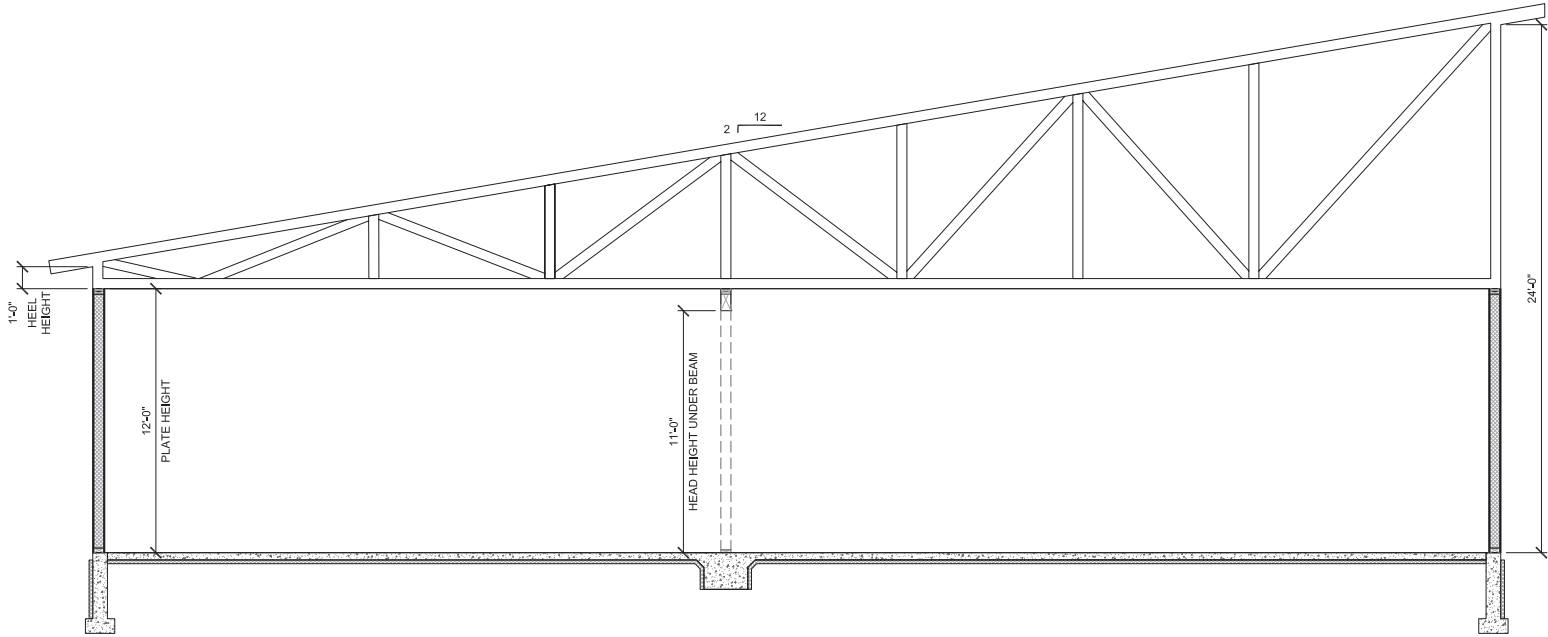


2

HANDICAP ACCESSIBLE WATER CLOSET

REF:

SCALE: NO SCALE



SECTION A-A

SCALE: 1/4"=1'-0"



SCALE:	REFER TO DRAWING:	NO.	DATE	BY
DESIGNED BY:	BTH	-	-	-
DRAWN BY:	TC	-	-	-
CHECKED BY:	BTH	-	-	-
APPROVED BY:	-	-	-	-
ISSUE STATUS:	PLAN CHECK	-	-	-
APN:	XXX	-	-	-
REVISION ISSUED FOR:				

MAPLE BROOK ENGINEERING, INC.



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SHEET TITLE:

SECTION & DETAILS

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GENERAL STRUCTURAL NOTES

GENERAL REQUIREMENTS

1. THESE PLANS HAVE BEEN PREPARED USING STANDARDS OF CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. THEY NECESSARILY ASSUME THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKMEN WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, IT IS UNDERSTOOD THAT THE CONTRACTOR WILL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR ALL MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
2. CALCULATION AND DESIGN OF MISCELLANEOUS NON-STRUCTURAL ITEMS, SUCH AS STAIRS, RAILINGS, NON-STRUCTURAL WALLS AND PREFABRICATED ITEMS, SUCH AS FLOOR AND ROOF TRUSSES, ARE NOT INCLUDED AND ARE TO BE PROVIDED BY OTHERS UNLESS SPECIFICALLY NOTED ON THESE DRAWINGS.
3. THESE DRAWINGS REPRESENT THE FINAL STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, FORMWORK, ETC., AS REQ'D FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. CONSTRUCTION MATERIALS SHALL BE UNIFORMLY SPREAD OUT SUCH THAT THE DESIGN LIVE LOAD PER SQUARE FOOT AS SPECIFIED HEREIN NOT EXCEEDED. VISITS TO THE SITE BY THE ENGINEER OF RECORD SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION PROCEDURES INCLUDING SHORING, BRACING, AND PROTECTION OF ADJACENT PROPERTY, STRUCTURES, STREETS AND UTILITIES IN ACCORDANCE WITH THE LOCAL BUILDING DEPARTMENT. ALL WORK OR CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS AND SAFETY REQUIREMENTS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS, CONDITIONS AND ELEVATIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL INFORM THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR OMISSIONS NOTED ON THE DRAWINGS. ANY SUCH DISCREPANCY, OMISSION OR VARIATION NOT REPORTED BEFORE START OF CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. WHEN DISCREPANCIES OCCUR IN THESE DRAWINGS, NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL STRUCTURAL NOTES AND TYPICAL DETAILS.
6. WHERE REFERENCE IS MADE TO VARIOUS TEST STANDARDS FOR MATERIALS SUCH STANDARDS SHALL BE THE LATEST EDITION AND/OR ADDENDA.
7. OPTIONS ARE FOR CONTRACTOR'S CONVENIENCE. IF ANY OPTION IS USED, THE CONTRACTOR SHALL USE THE LATEST EDITION AND/OR ADDENDA.
8. TYPICAL DETAILS AND NOTES SHALL APPLY, THOUGH NOT NECESSARILY INDICATED AT A SPECIFIC LOCATION ON PLANS, WHERE NO DETAILS ARE SHOWN. CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT. DETAILS MAY SHOW ONLY ONE SIDE ON CONNECTION OR MAY OMIT INFORMATION FOR CLARITY.
9. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR ARCHITECTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WITH APPROPRIATE TRADES, DRAWINGS AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
10. ALL INSPECTIONS REQUIRED BY THE BUILDING CODES, LOCAL BUILDING DEPARTMENTS, OR BY THESE PLANS SHALL BE PROVIDED BY AN INDEPENDENT INSPECTION COMPANY OR THE BUILDING DEPARTMENT. SITE VISITS BY THE ENGINEER OF RECORD DO NOT CONSTITUTE AN INSPECTION, UNLESS SPECIFICALLY CONTRACTED.
11. SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL STRUCTURAL ITEMS. SHOP DRAWINGS ARE REVIEWED ONLY FOR GENERAL COMPLIANCE WITH THE STRUCTURAL DRAWINGS. REVIEW DOES NOT INDICATE THAT THE SHOP DRAWINGS ARE CORRECT OR COMPLETE. RESPONSIBILITY FOR CORRECTNESS SHALL REST WITH THE CONTRACTOR. ANY CHANGES, SUBSTITUTIONS OR DEVIATIONS FROM CONTRACT DRAWINGS SHALL BE CLOUDED. ANY OF THE FOREMENTIONED SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEERS REVIEW UNLESS SPECIFICALLY NOTED ACCORDINGLY. THE SHOP DRAWINGS DO NOT SUPERSEDE OR REPLACE THE ORIGINAL CONTRACT DRAWINGS. ANY ENGINEERING PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF AN APPROPRIATELY REGISTERED ENGINEER. THE ENGINEER OF RECORD SHALL NOT BE RESPONSIBLE FOR THE ADEQUACY OF ENGINEERING DESIGNS PROVIDED BY OTHERS. ALLOW FIVE WORKING DAYS FOR THE ENGINEERS REVIEW. ONE COPY OF EACH SUBMITTAL SHALL BE RETAINED FOR OUR RECORDS.

FOUNDATION

- BEARING CAPACITY**
FOUNDATIONS WERE DESIGNED USING THE MINIMUM ALLOWABLE BEARING CAPACITY OF 1500 PSF PER 2018 IBC. WE RECOMMEND A GEOTECH REPORT BE COMPLETED, AS WE WILL NOT ASSUME LIABILITY FOR ENGINEERING EXPERTISE NORMALLY PROVIDED BY A REPUTABLE GEOTECHNICAL ENGINEER IF A GEOTECH REPORT IS NOT PROVIDED.
- EMBEDMENT**
ALL FOOTINGS SHALL MEET MINIMUM EMBEDMENT BELOW GRADE AS NOTED IN BASIS FOR DESIGN. GRADE SHALL BE DEFINED AS THE LOWEST OF THE FOLLOWING:
* BUILDING PAD SUBGRADE
* LOWEST GRADE W/IN 6" OF BUILDING
- SLAB ON GRADE**
CONVENTIONAL SLABS ON GRADE SHALL BE SUPPORTED BY COMPACTED FILL. FILL MATERIAL SHOULD BE MISTENED BUT NOT SATURATED JUST PRIOR TO CONCRETE PLACEMENT. CARE SHALL BE TAKEN WHEN PLACING SLABS ON GRADE NOT TO DISTURB FILL MATERIAL.
- BACKFILL**
1. BACKFILL AGAINST FOUNDATION WALLS OR EXTERIOR FOUNDATION WALLS SHALL NOT BE PLACED UNTIL AFTER THE TOPS OF THE WALLS ARE RESTRAINED BY THE COMPLETED FLOOR/ROOF STRUCTURE.

- DRAINAGE**
ADEQUATE DRAINAGE AWAY FROM THE STRUCTURE SHALL BE PROVIDED BY CONTRACTOR OR OTHERS, AS REQ'D

EPOXY ANCHORAGE

1. EPOXY-ANCHORED BOLTS, THREAD ROD & REBAR SHALL BE INSTALLED USING ONE OF THE FOLLOWING EPOXY ADHESIVES:
A. SIMPSON STRONG-TIE SET-XP ADHESIVE ANCHOR SYSTEM
- INSTALL THE ABOVE SYSTEM PER THE CURRENT ICC-ES REPORT & MFR.'S RECOMMENDATIONS. ALTERNATE EPOXY ADHESIVE ANCHOR SYSTEMS W/ CURRENT ICC-ES APPROVAL MAY BE USED W/ PRIOR WRITTEN APPROVAL BY ENGINEER.

BASIS FOR DESIGN

GOVERNING CODE 2018 IBC		
GRAVITY DESIGN ROOF	DL =	20 PSF
	RSL =	45 PSF
WIND DESIGN		
BASIC WIND SPEED		145 MPH
EXPOSURE		C
RISK CATEGORY		II
SEISMIC DESIGN		
SEISMIC DESIGN CATEGORY	D	
IMPORTANCE FACTOR	1.0	
SDS	1.478	
FOUNDATION		
ALLOWABLE BEARING PRESSURE	1500 PSF (D+L) 2000 PSF (W+L)	
MIN EMBEDMENT:		
EXTERIOR FOOTINGS:	42 INCHES	
INTERIOR FOOTINGS:	12 INCHES	
ALL EMBEDMENTS SHALL BE MEASURED BELOW LOWEST ADJACENT GRADE		

CONCRETE

1. MINIMUM 28 DAY STRENGTH:
SLAB 3000 PSI (DESIGNED FOR 2500)
FOOTINGS 3000 PSI (DESIGNED FOR 2500)
WALLS 3000 PSI (DESIGNED FOR 2500)
MAX WATER/CEMENT RATIO 0.5
CONCRETE SLUMP 4 INCHES
FLASH COMPOSITION 25%
2. CONCRETE MIXES SHALL BE DESIGNED BY A CERTIFIED LABORATORY AND APPROVED BY THE ENGINEER OF RECORD.
3. ALL CONCRETE SHALL BE REGULAR WEIGHT OF 145 POUNDS PER CUBIC FOOT USING HARD ROCK AGGREGATES CONFORMING TO ASTM C33. WATER SHALL BE CLEAN AND POTABLE.
4. PORTLAND CEMENT SHALL CONFORM TO ACI 318, CHAPTER 3.2, TYPE I.
5. NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY THE ENGINEER OR AUTHORIZED TESTING AGENCY.
6. CONCRETE MIXING, PLACEMENT, AND QUALITY SHALL BE PER ACI 318, CHAPTER 5. MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED EXCEPT SLAB ON GRADE OR ON COMPOSITE STEEL DECK WHICH NEED BE VIBRATED ONLY AROUND AND UNDER FLOOR DOORS OR SIMILAR ELEMENTS. REMOVE ALL DEBRIS FROM FORMS BEFORE PLACING CONCRETE. CONCRETE SHALL NOT BE DROPPED THROUGH REINFORCING STEEL (AS IN WALLS AND COLUMNS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. UNCONFINED FILL OF CONCRETE SHALL NOT EXCEED FIVE FEET. CARE SHALL BE TAKEN IN PLACING SLABS ON GRADE NOT TO DISTURB FILL MATERIAL.
7. ALL ITEMS TO BE CAST IN CONCRETE SUCH AS REINFORCING, DOWELS, BOLTS, ANCHORS, PIPES, SLEEVES, ET CETERA SHALL BE SECURELY POSITIONED IN THE FORMS BEFORE PLACING THE CONCRETE.
8. CONCRETE SLAB ON GRADE CONTROL JOINTS SHALL BE SAW CUT SUCH THAT THE ENCLOSED AREA DOES NOT EXCEED 150 SQUARE FEET (APPROXIMATELY 12'-0" X 12'-0").
9. PIPES OTHER THAN ELECTRICAL CONDUITS SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE EXCEPT WHERE SPECIFICALLY APPROVED BY THE ENGINEER. MAX PIPE SIZE SHALL BE 1/3 OF THE SLAB THICKNESS AND LOCATED AT THE MID-DEPTH. MINIMUM SPACING SHALL BE THREE TIMES THE PIPE DIAMETER. PIPES SHALL NOT IMPAIR THE STRENGTH OF THE MEMBER.
10. PROTECT CONCRETE FROM DAMAGE OR REDUCED STRENGTH DUE TO COLD OR HOT WEATHER IN ACCORDANCE W/ ACI 305 & 306.
11. ACI RECOMMENDATIONS TO CONTROL SLAB ON GRADE CRACKING:
* 1 1/2" MAX AGGREGATE SIZE
* ACI 302 AGGREGATE SPECIFICATION USING MIN OF #6 AND #4 AGGREGATES TO PROVIDE A WELL-GRADED AGGREGATE MIX.
* PROVIDE CONTROL JOINTS AT 2-3 TIMES THE SLAB THICKNESS IN FEET O.C.
EACH WAY (MAX) (IE: 4" SLAB=8'-0" TO 12'-0" JOINTS).
* MAX WATER/CEMENT RATIO=0.50
12. REINFORCING SHALL BE GRADE 60 DEFORMED BARS. LAP BARS 48 BAR DIAMETERS (18" MIN).

REINFORCING STEEL

1. REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615. REINFORCING SHALL BE GRADE 60 (FY = 60 KSI) DEFORMED BARS FOR ALL BARS #4 AND LARGER AND ALL BARS USED FOR CONCRETE WALLS. REINFORCING MAY BE GRADE 40 (FY = 40 KSI) DEFORMED BARS FOR ALL BARS #3 & SMALLER UNO ON PLANS OR DETAILS. ALL REINFORCING TO BE WELDED SHALL BE ASTM A706. GRADE 60 ALLOY WELDABLE STEEL.
2. ALL DIMENSIONS SHOWNING THE LOCATION OF REINFORCING STEEL NOT NOTED AS "CLEAR" OR "CLR" ARE TO CENTER OF STEEL. MIN COVER FOR NON-REINFORCED CONCRETE REINFORCING SHALL BE AS FOLLOWS, UNO ON PLANS OR DETAILS:
- EXPOSURE CONDITION: COVER: TOLERANCES (+/-):
- | | | |
|-----------------------|--------|------|
| FTGS & SLABS ON GRADE | 1 3/4" | 3/8" |
| WALLS | 3 1/2" | 3/8" |
3. LAP SPLICES OF REINFORCING STEEL IN CONCRETE BEAMS, SLABS & FTGS SHALL BE ACCORDING TO ACI 318 CHPT 12 OR LAP SCHEDULE WHERE PRESENT. UNO, STAGGER SPLICES AT MIN OF ONE LAP LENGTH. NO TACK WELDING OF REINFORCEMENT BARS ALLOWED. LATEST ACI CODE AND DETAILING MANUAL APPLY. PROVIDE BENT CORNER BARS TO MATCH & LAP VERTICAL BARS AT ALL CORNERS & INTERSECTIONS PER TYP DETAILS WHERE PROVIDED. VERT WALL BARS SHALL BE SPLICED AT OR NEAR FLOOR LINES. SPLICE TO BARS AT CENTER LINE OF SPAN & BOTTOM BARS AT THE SUPPORT IN SPANDRLS, BEAMS, GRADE BEAMS, ETC.... UNO.
- REBAR LAP SCHEDULE
- | BAR | (a) LAP | (b) 1,7 LAP |
|-----|---------|-------------|
| #4 | 18" | 31" |
| #5 | 23" | 39" |
| #6 | 28" | 48" |
| #7 | 36" | 62" |
| #8 | 47" | 80" |
| #9 | 59" | 101" |
| #10 | 75" | 128" |
| #11 | 92" | 157" |
- (a) WHERE SPLICES ARE STAGGERED AT LEAST ONE LAP LENGTH, USE THESE LAP LENGTHS.
- (b) WHERE MORE THAN 1/3 OF BARS ARE SLICED AT ONE LOCATION, USE THESE LAP LENGTHS.
4. MECHANICAL SPLICE COUPLERS SHALL HAVE CURRENT ICC-ES APPROVAL AND SHALL BE CAPABLE OF DEVELOPING 125% OF THE STRENGTH OF THE BAR.
5. WELDING OF REINFORCING BARS, METAL INSERTS & CONNECTIONS SHALL CONFORM TO AWS D1.4 & SHALL BE MADE ONLY AT LOCATIONS SHOWN ON PLANS OR DETAILS. ALL REINFORCING SHALL BE BENT COLD. BARS SHALL NOT BE UNBENT & RE-BENT.
6. REINFORCING BAR SPACING SHOWN ON PLANS ARE MAX ON CENTERS & PLACED PER CRSI SPECIFICATIONS & HANDBOOK. DOWEL ALL VERT REINFORCING TO FOUNDATION. SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE.

HOLDOWN ANCHORAGE

1. HOLDOWNS SHALL BE SIMPSON STRONG-TIE OR EQUAL & SHALL BE INSTALLED PER MFR.'S SPECS. VERIFY LOCATION OF HOLDOWNS W/ROUGH FRAMING LAYOUT TO ENSURE PROPER & ACCURATE INSTALLATION.
2. EMBEDDED ANCHOR BOLTS FOR HOLDOWNS SHALL CONFORM TO THE TABLE CONTAINED BELOW. BOLT DIA SHALL BE AS SPECIFIED BY HOLDOWN MFR. BOLTS, SHALL HAVE STANDARD HOOK OR STANDARD HEX AT EMBEDDED END.
3. HOLDOWN ANCHORS AT ENDS OF SHEAR WALLS MAY BE ANCHORED TO THE SLAB W/ EPOXY-GROUTED ALL-THREAD BAR IN DRILLED HOLE. USE SIMPSON SET-XP HIGH STRENGTH EPOXY OR HILTI HIT HY-150 ADHESIVE SYSTEM. ALTERNATIVE EPOXY SYSTEMS MAY BE USED PROVIDED THAT ICC-ES REPORTS ARE SUBMITTED AND APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. INSTALL PER MFR. SPECS. SPECIAL INSPECTION IS REQUIRED DURING ALL EPOXY-ANCHORED BOLT INSTALLATIONS. SEPARATE PERMIT & APPROVAL MAY BE REQUIRED BY THE BLDG DEPT FOR EPOXY INSTALLATIONS.
4. HOLDOWN ANCHORAGE, HOLDOWN SUBSTITUTION, AND/OR ANCHORAGE SUBSTITUTION AS ALLOWED BY THE PREVIOUS SECTION SHALL BE MADE ACCORDING TO THE FOLLOWING SCHEDULES:
- | SIMPSON H.D.: | BOLT: | EMBEDMENT: | POST: |
|---------------|-------|------------|--------|
| HDU2 | PAB5 | 6 1/2" | DBL 2x |
| HDU4 | PAB5 | 6 1/2" | DBL 2x |
| HDU6 | PAB5 | 9 1/2" | DBL 2x |
| HDU8 | PAB7 | 12" | 6x |
| HDU11 | PAB8 | 12" | 6x |
| HDU14 | PAB8 | 12" | 6x |
- STRAP TIE HOLD DOWNS
- | | |
|--------|------|
| LS1HD8 | HDU2 |
| STDH10 | HDU5 |
| STDH14 | HDU8 |
- ALTERNATE HOLD DOWNS
- | | |
|------|--|
| HDU2 | |
| HDU5 | |
| HDU8 | |

WOOD

- SAWN LUMBER**
SAWN LUMBER FRAMING SHALL COMPLY WITH THE LATEST EDITION OF THE WESTERN WOOD PRODUCTS OR THE WEST COAST LUMBER INSPECTION BUREAU. ALL SAWN LUMBER SHALL BE STAMPED WITH THE GRADE MARK OF AN APPROVED LUMBER GRADING AGENCY. ALL SAWN LUMBER SHALL BE DOUGLAS FIR LARCH, NO. 2 (UNO).
- PLYWOOD**
STRUCTURAL USE PANELS SHALL BE PERFORMANCE RATED BY THE AMERICAN PLYWOOD ASSOCIATION (APA). PANELS SHALL COMPLY WITH ICC-ES REPORT, EXP. 1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. STRUCTURAL USE PANELS SHALL CONFORM TO UBC STANDARD 23-2 & 23-3. PLYWOOD SHALL BE FIVE-PLY SHEATHING LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORTS. PLYWOOD MAY BE ORIENTED PER SHEAR WALL SCHEDULE. WHERE APPLIES, ORIENTED STRAND BOARD (OSB) MAY BE SUBSTITUTED FOR PLYWOOD, PROVIDE BLOCKING AT PANEL EDGES WHERE INDICATED ON PLANS OR SHEAR WALL SCHEDULE. PANELS SHALL CONFORM TO THE FOLLOWING NOMINAL PANEL THICKNESS, SPAN RATING AND NAILING PATTERN (UNO):
- | THICKNESS | GRADE | USE | SPAN | NAILING/EDGE/FIELD |
|-----------|--------------|------------|-------|--------------------|
| 7/16" | RATED | WALLS/ROOF | 24/16 | 8d @ 6"/12" |
| 15/32" | RATED | WALLS/ROOF | 32/16 | 8d @ 6"/12" |
| 1 1/2" | RATED | WALLS/ROOF | 32/16 | 8d @ 6"/12" |
| 19/32" | RATED | ROOF | 40/20 | 10d @ 6"/12" |
| 5/8" | RATED | ROOF | 40/20 | 10d @ 6"/12" |
| 3/4" | RATED | ROOF | 48/24 | 10d @ 6"/12" |
| 3/4" | T&G STRUCT 1 | FLOOR | 48/24 | 10d @ 6"/12" |

- BOTTOM PLATES**
ANY BOTTOM OR SOLE PLATES RESTING ON CONCRETE OR MASONRY SHALL BE PRESSURE TREATED DOUG FIR SOLE PLATES AND SHALL BE ANCHORED TO THE FOUNDATION AS NOTED IN THE ANCHOR BOLT SECTION OF THE GSN.
- CONNECTORS**
1. ALL NAILS, EXCEPT 16D, SHALL BE COMMON WIRE NAILS (UNO). 16D NAILS MAY BE SINKERS OR BOX (UNO). NAIL HEADS SHALL BE DRIVEN FLUSH WITH THE WOOD SURFACE. OVER OR UNDER DRIVEN NAILS ARE NOT ACCEPTABLE.
2. JOIST HANGERS SHALL BE SIMPSON OR EQUIVALENT WITH CURRENT ICC-ES APPROVAL.
3. ALL BOLTS SHALL BE INSTALLED IN HOLES 1/16" LARGER THAN THE DIA OF THE BOLT. BOLTS AND NUTS SEATING ON WOOD SHALL HAVE CUT STEEL WASHERS UNDER HEADS AND NUTS. DRNG THREADS TO PREVENT LOOSENING. LAG BOLTS SHALL BE INSTALLED IN PRE-DRILLED HOLES BY TURNING WITH A WRENCH.
4. WHERE METAL CONNECTORS ARE INSTALLED IN, OR EXPOSED TO POTENTIALLY CORROSIVE ENVIRONMENTS OR MATERIALS, FOLLOW MANUFACTURER'S RECOMMENDATIONS IN ORDER TO PROTECT THE CONNECTORS AGAINST DAMAGE THAT MAY ADVERSELY AFFECT THE LONG TERM PERFORMANCE OF THE HARDWARE.
5. MINIMUM NAILING SHALL BE PER IBC

- FLOOR JOISTS**
1. DO NOT NOTCH OR DRILL JOISTS OR LOADS BEARING STUDS W/OUT PRIOR APPROVAL OF THE ENGINEER THROUGH THE ARCHITECT.
2. PROVIDE DOUBLE FLOOR JOISTS UNDER WALLS RUNNING PARALLEL TO FLOOR FRAMING.
3. PROVIDE 2x BLOCKING BETWEEN JOISTS AT INTERIOR SUPPORTS.

4. TO MINIMIZE DEFLECTION, INSTALL ONE ROW OF FLOOR BRIDGING AT CENTER OF SPAN WHEN SPAN IS BETWEEN 10'-0" & 15'-0", AND 2 ROWS OF BRIDGING AT THIRD POINTS WHEN SPANS EXCEED 15'-0".

5. PREFAB PLYWOOD WEB JOISTS (TJI OR EQUAL) SHALL BE DESIGNED, FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF ICC-ES REPORT. CONNECTORS & BEARING MATERIAL SHALL BE FURNISHED BY A JOIST MANUFACTURER. ADDITIONAL MEMBERS SHALL BE SUPPLIED AS REQ'D TO SUPPORT MECHANICAL EQUIPMENT.

- MANUFACTURED LUMBER PRODUCTS**
ALL MANUFACTURED LUMBER PRODUCTS SHALL BE DOUG FIR MANUFACTURED IN ACCORDANCE WITH TRUS JOIST MACMILLAN MANUFACTURING STANDARDS REFERENCED IN ICC-ES REPORT OR APPROVED EQUAL, MEETING THE FOLLOWING CRITERIA:

1. LAMINATED VENEER LUMBER (LVL):
E = 1,900 KSI
Fb = 2,600 PSI
Fv(PERP) = 750 PSI
Fv(PAR) = 2,310 PSI
Fv = 285 PSI
2. PARALLEL STRAND LUMBER (PSL):
E = 2,000 KSI
Fb = 2,900 PSI
Fv(PERP) = 750 PSI
Fv(PAR) = 2,900 PSI
Fv = 290 PSI
3. LAMINATED STRAND LUMBER (LSL) (1.3E):
E = 1,300 KSI (1,500 KSI (1.5E))
Fb = 1,700 PSI (2,250 PSI (1.5E))
Fv(PERP) = 680 PSI (750 PSI (1.5E))
Fv(PAR) = 1,400 PSI (1,950 PSI (1.5E))
Fv = 400 PSI (400 PSI (1.5E))
G = 81,250 PSI (96,750 PSI (1.5E))

- GLUE LAMINATED BEAMS**
GLUE-LAMINATED BEAMS (GLB) SHALL BE DOUGLAS FIR COMBINATION 24F-V4 AT 15' MAX FASTENER WEAT LEAST 200 LBS ALLOWABLE SHEAR RESISTANCE IN 2000 PSI CONCRETE PER THE BELOW SCHEDULE. INSTALL ALL FASTENERS PER ICC-ES REPORT & MFR. RECOMMENDATIONS. EMBED 1 1/4" MIN. INSTALL SHOTPINS SO AS NOT TO SPILT BOTTOM PLATE. IF SPLITTING OCCURS, EQUIVALENT EXPANSION BOLTS SHALL BE INSTALL PER ABOVE RECOMMENDATIONS.

- SHOTPIN SPACING BASED ON MIN SHANK DIA**
- | SPECIFIED ANCHOR BOLT | 0.170-INCH DIA | 0.140-INCH DIA |
|-----------------------|----------------|----------------|
| 5/8" DIA AT 72" O.C. | 6 1/2" | 8" |
| 5/8" DIA AT 60" O.C. | 7" | - |
| 5/8" DIA AT 48" O.C. | 5 1/2" | - |
| 3/4" DIA AT 72" O.C. | 6" | - |

4. EXTERIOR BOLTS AND ACCEPTABLE SUBSTITUTIONS SHALL BE AS FOLLOWS:
- 4A. EXTERIOR ANCHOR BOLTS ARE DEFINED AS ALL ANCHOR BOLTS LOCATED W/IN 6" OF SLAB EDGES, STEPS, TURNDOVNS, OPENINGS, OR SIMILAR DISCONTINUITIES & DO NOT INCLUDE ANCHORS FOR HOLDOWNS.

- 4B. EXTERIOR CAST-IN-PLACE ANCHOR BOLTS MAY BE SUBSTITUTED W/ EPOXY-ANCHORED BOLTS. EXPANSION ANCHORS & SHOTPINS AS NOTED BELOW.

- 4C. PROVIDE MIN (1) 5/8" DIA EPOXY-ANCHORED BOLT OR EXPANSION ANCHOR AT EXTERIOR & INTERIOR WALL BOTTOM PLATE SPLICE. WHERE CAST-IN-PLACE ANCHOR BOLT DOES NOT OCCUR W/IN 9" OF EACH END OF EACH PIECE, INSTALL ANCHORAGE A MIN OF (7) BOLT DIAMETERS FROM END OF BOTTOM PLATE. SPACING OF CAST-IN-PLACE ANCHOR BOLTS SHALL REMAIN AS NOTED ABOVE OR ON PLANS.

- 4D. EPOXY-ANCHORED BOLTS OF SAME DIAMETER & SPACING MAY BE USED TO REPAIR MISLOCATED, MISSED, OR DAMAGED EXTERIOR ANCHOR BOLTS, PROVIDE MIN 7" EMBEDMENT FOR EPOXY-ANCHORED BOLTS.

- 4E. USE SIMPSON SET-XP, HILTI HIT HY-150, OR APPROVED EQUIVALENT EPOXY ADHESIVE. INSTALL PER MFR. SPECIFICATIONS. SPECIAL INSPECTION REQ'D PER 2018 IBC SECTION 1704.13 FOR ALL EPOXY-ANCHORING INSTALLATIONS (MAY BE WAIVED BY LOCAL BUILDING DEPT).

- 4F. EXPANSION ANCHORS MAY BE USED TO REPAIR MISLOCATED, MISSED OR DAMAGED EXTERIOR ANCHOR BOLTS (INCLUDING SHEAR WALLS). PROVIDE MIN (2) 5/8" DIA EXPANSION ANCHORS FOR EACH 5/8" DIA CAST-IN-PLACE ANCHOR BOLT. EXPANSION ANCHORS SHALL BE SPACED NOT CLOSER THAN 6 1/2" O.C. & SHALL BE INSTALLED W/IN 4 1/8" MIN EMBEDMENT & SHALL BE 1 3/4" MIN FROM SLAB EDGE.

- 4G. EXPANSION ANCHORS INSTALLED W/LESS THAN 2" EDGE DISTANCE FROM SLAB EDGE SHALL BE T/W RAMSET/RED HEAD TRUBOLT WEDGE ANCHORS. SUBSTITUTIONS TO TRUBOLT WEDGE ANCHORS SHALL ONLY BE PERMITTED W/ PRIOR WRITTEN APPROVAL FROM ENGINEER.

- 4H. AT EXTERIOR NON-SHEAR WALLS, USE LMA OR MAS AT 48" O.C. W/ MIN (2) PER BOTTOM PLATE PIECE.

PREFAB WOOD TRUSS

1. BOTTOM CHORDS OF TRUSSES, ACTING AS CEILING MEMBERS, MUST BE ABLE TO SUPPORT A 10 PSF CONCURRENT LIVE LOAD PER CBC REQ'D.
2. THE TRUSS MFR. SHALL BE RESPONSIBLE FOR THE DESIGN & FABRICATION OF THE PRE-ENGINEERED TRUSSES & SHALL DESIGN THE TRUSSES PER THE DESIGN CRITERIA IN THE GENERAL STRUCTURAL NOTES.
3. THE TRUSSES SHALL BE DESIGNED TO CARRY ANY ADDTL LOADS DUE TO MECH UNITS, OVERHEAD DOORS, ROOF OVERBUILDS, UP OR DOWN LATERAL OVERTURNING FORCES, ETC.

4. THE TRUSSES SHALL BE DESIGNED PER THE LATEST BUILDING CODE & LOCAL ORDINANCES. DESIGN MUST ALSO TAKE INTO ACCOUNT UNBALANCED SNOW LOADS, SNOW DRIFTING, INCREASED SNOW LOADS ON EAVES & IN VALLEYS, IMPACT LOADS FROM FALLING SNOW & ICE, ETC.

5. TRUSSES SHALL BE DESIGNED FOR LOADS AS SPECIFIED IN THE BASIS FOR DESIGN &/OR PLAN. DEFLECTIONS SHALL NOT EXCEED SPAN/360 FOR LIVE LO AND & SPAN/240 FOR TOTAL LOAD. TRUSS MEMBERS SHALL BE DESIGNED FOR COMBINED STRESSES BASED ON THE WORST LOADING CONDITION. TRUSS BEARING LENGTHS SHALL NOT EXCEED WIDTH OF SUPPORTING ELEMENTS AS INDICATED ON PLANS. TRUSS MFR. RESPONSIBLE FOR TRUSS TO TRUSS, TRUSS TO BEAM, TRUSS TO LEDGER HANGER SPECIFICATIONS, ETC.

6. THE TRUSS MFR. SHALL INDICATE PROPER BRACING OF MEMBERS AS WELL AS BRACING FOR TRUSS ERECTION.

7. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO FABRICATION.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE TRUSSES PER THE TRUSS MFR'S RECOMMENDATIONS & SPECIFICATIONS. NO WEB OR CHORD MEMBERS SHALL BE MODIFIED IN THE FILES W/OUT PRIOR WRITTEN APPROVAL FROM TRUSS MFR.

9. THE PROJECT ENGINEER, OR ENGINEER OF RECORD, IS NOT RESPONSIBLE FOR THE PRE-ENGINEERED TRUSSES NOR FOR THE INSTALLATION, ETC OF THE TRUSSES. ALL ENGINEERING PROVIDED BY THE TRUSS MFR. OR THEIR REPRESENTATIVES SHALL BE SUBMITTED FOR REVIEW & SHALL BEAR THE SEAL OF AN APPROPRIATELY REGISTERED ENGINEER.

10. WHERE TRUSS MFR. INDICATES MECHANICAL CONNECTION TO BE PROVIDED BY THE BLDG DESIGNER TO RESIST AN UPLIFT VALUE AS SPECIFIED IN THE TRUSS CALCULATIONS, THE REQ'D CONNECTION SHALL BE PER THE FOLLOWING TABLE. UNO ON PLANS. CONNECTION SHALL NOT BE CONSIDERED AS THE REQUIRED ANCHOR GOVERNING BLDG CODE. PER THE GSN, ALL SPECIFIED HARDWARE SHALL BE INSTALLED PER RECOMMENDATIONS OF THE MFR. UPLIFT FORCES WHICH EXCEED VALUES IN THE TABLE BELOW SHALL BE SPECIFICALLY ADDRESSED BY THE ENGINEER OF RECORD, AS NOTED ON PLANS.

UPLIFT VALUE	TOP PLATE ATTACHMENT
0-2000	(3) 15d TOENAILS - MIN TRUSS TO TOP PLACE CONNECTION
201-400	SIMPSON H5 - TRUSS TO TOP PLATE
401-600	SIMPSON H2.5A - TRUSS TO TOP PLATE*
601-930	SIMPSON H7 - TRUSS TO STUD*
931-1300	SIMPSON H15 - TRUSS TO STUD*
* FASTEN STUD TO FOUNDATION W/HGA10 W/(4) 1/4"x3" MIN TITEN SCREWS TO FOUNDATION & (4) sos 1/4x1-1/2 WOOD SCREWS TO STUD.	

ANCHOR BOLTS AT STUD WALLS

1. THE INFORMATION IN THIS SECTION APPLIES ONLY TO WOOD-FRAMED WALL ANCHORAGE AT FOUNDATION. HOLDOWN ANCHOR BOLTS ARE NIT ADDRESSED IN THIS SECTION.

2. ALL BOTTOM PLATES (INTERIOR & EXTERIOR) RESTING ON CONCRETE OR MASONRY SHALL BE ANCHORED W/ MIN 5/8" DIA X 7" EMBED CAST-IN-PLACE ANCHOR BOLTS AT 48" O.C. MAX UNO ON PLANS OR SHEAR WALL SCHEDULE. PROVIDE MIN (2) ANCHOR BOLTS PER BOTTOM PLATE PIECE. PROVE A MIN (1) ANCHOR BOLT LOCATED NOT MORE THAN 9" OR LESS THAN 4" FROM EACH END OF EACH PIECE. ANCHOR BOLTS FOR HOLDOWNS SHALL NOT BE CONSIDERED AS THE REQUIRED ANCHOR BOLTS FOR SHEAR WALLS. NUTS SHALL BE SECURELY FASTENED AGAINST, BUT NOT RECESSED INTO, BOTTOM PLATE. ALL BOLT SHALL HAVE MIN 1/4" THICK X 3" SQ PLATE WASHERS.

3. INTERIOR ANCHOR BOLTS AND ACCEPTABLE SUBSTITUTIONS SHALL BE AS FOLLOWS:

- 3A. INTERIOR ANCHOR BOLTS ARE DEFINED AS ANCHOR BOLTS THAT ARE LOCATED A MIN OF 6" FROM SLAB EDGES, STEPS, TURNDOVNS, OPENINGS, OR SIMILAR DISCONTINUITIES, & DO NOT INCLUDE ANCHORS FOR HOLDOWNS.

- 3B. INTERIOR CAST-IN-PLACE ANCHOR BOLTS MAY BE SUBSTITUTED W/ HILTI KWIK-BOLT OR RAMSET TRUBOLT EXPANSION ANCHORS OF EQUAL OR GREATER DIA W/ THE FOLLOWING MIN ELEMENTS:

DIAMETER	MIN EMBEDMENT
5/8"	2 3/4"
3/4"	3 1/4"

- 3C. INSTALL EXPANSION BOLTS ACCORDING TO ICC-ES REPORT & MFR. RECOMMENDATIONS. CONTRACTOR MAY USE ALTERNATE EXPANSION BOLT W/ EQUAL OR GREATER VALUE PROVIDED CURRENT ICC-ES REPORT IS SUBMITTED & APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.

- 3D. INTERIOR NON LOAD-BEARING PARTITION WALLS MAY BE ANCHORED TO THE SLAB W/ 10x140-INCH MIN SHANK DIA SHOTPINS AT 32" O.C. MAX.

- 3E. INTERIOR ANCHOR BOLTS MAY BE SUBSTITUTED W/ SHOTPINS USING EITHER RAMSET 3300 SERIES OR HILTI OR ANY EQUIVALENT ICC-ES APPROVED POWDER DRIVEN FASTENER WEAT LEAST 200 LBS ALLOWABLE SHEAR RESISTANCE IN 2000 PSI CONCRETE PER THE BELOW SCHEDULE. INSTALL ALL FASTENERS PER ICC-ES REPORT & MFR. RECOMMENDATIONS. EMBED 1 1/4" MIN. INSTALL SHOTPINS SO AS NOT TO SPILT BOTTOM PLATE. IF SPLITTING OCCURS, EQUIVALENT EXPANSION BOLTS SHALL BE INSTALL PER ABOVE RECOMMENDATIONS.

SPECIFIED ANCHOR BOLT	SHOTPIN SPACING BASED ON MIN SHANK DIA
5/8" DIA AT 72" O.C.	0.170-INCH DIA
5/8" DIA AT 60" O.C.	6 1/2"
5/8" DIA AT 48" O.C.	5 1/2"
3/4" DIA AT 72" O.C.	6"

4. EXTERIOR BOLTS AND ACCEPTABLE SUBSTITUTIONS SHALL BE AS FOLLOWS:

- 4A. EXTERIOR ANCHOR BOLTS ARE DEFINED AS ALL ANCHOR BOLTS LOCATED W/IN 6" OF SLAB EDGES, STEPS, TURNDOVNS, OPENINGS, OR SIMILAR DISCONTINUITIES & DO NOT INCLUDE ANCHORS FOR HOLDOWNS.

- 4B. EXTERIOR CAST-IN-PLACE ANCHOR BOLTS MAY BE SUBSTITUTED W/ EPOXY-ANCHORED BOLTS. EXPANSION ANCHORS & SHOTPINS AS NOTED BELOW.

- 4C. PROVIDE MIN (1) 5/8" DIA EPOXY-ANCHORED BOLT OR EXPANSION ANCHOR AT EXTERIOR & INTERIOR WALL BOTTOM PLATE SPLICE. WHERE CAST-IN-PLACE ANCHOR BOLT DOES NOT OCCUR W/IN 9" OF EACH END OF EACH PIECE, INSTALL ANCHORAGE A MIN OF (7) BOLT DIAMETERS FROM END OF BOTTOM PLATE. SPACING OF CAST-IN-PLACE ANCHOR BOLTS SHALL REMAIN AS NOTED ABOVE OR ON PLANS.

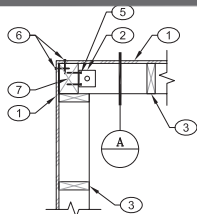
- 4D. EPOXY-ANCHORED BOLTS OF SAME DIAMETER & SPACING MAY BE USED TO REPAIR MISLOCATED, MISSED, OR DAMAGED EXTERIOR ANCHOR BOLTS, PROVIDE MIN 7" EMBEDMENT FOR EPOXY-ANCHORED BOLTS.

- 4E. USE SIMPSON SET-XP, HILTI HIT HY-150, OR APPROVED EQUIVALENT EPOXY ADHESIVE. INSTALL PER MFR. SPECIFICATIONS. SPECIAL INSPECTION REQ'D PER 2018 IBC SECTION 1704.13 FOR ALL EPOXY-ANCHORING INSTALLATIONS (MAY BE WAIVED BY LOCAL BUILDING DEPT).

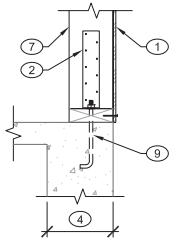
- 4F. EXPANSION ANCHORS MAY BE USED TO REPAIR MISLOCATED, MISSED OR DAMAGED EXTERIOR ANCHOR BOLTS (INCLUDING SHEAR WALLS). PROVIDE MIN (2) 5/8" DIA EXPANSION ANCHORS FOR EACH 5/8" DIA CAST-IN-PLACE ANCHOR BOLT. EXPANSION ANCHORS SHALL BE SPACED NOT CLOSER THAN 6 1/2" O.C. & SHALL BE INSTALLED W/IN 4 1/8" MIN EMBEDMENT & SHALL BE 1 3/4" MIN FROM SLAB EDGE.

- 4G. EXPANSION ANCHORS INSTALLED W/LESS THAN 2" EDGE DISTANCE FROM SLAB EDGE SHALL BE T/W RAMSET/RED HEAD TRUBOLT WEDGE ANCHORS. SUBSTITUTIONS TO TRUBOLT WEDGE ANCHORS SHALL ONLY BE PERMITTED W/ PRIOR WRITTEN APPROVAL FROM ENGINEER.

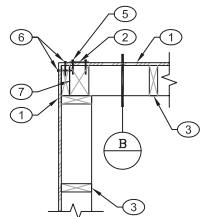
- 4H. AT EXTERIOR NON-SHEAR WALLS, USE LMA OR MAS AT 48" O.C. W/ MIN (2) PER BOTTOM PLATE PIECE.



PLAN - BOLTED HOLD DOWN



SECTION A



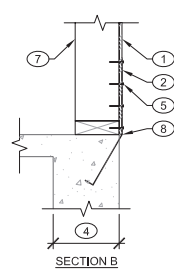
PLAN - STRAP HOLD DOWN

KEYNOTES:

1. WALL SHEATHING PER SHEAR WALL SCHEDULE
2. HOLD DOWN, SEE PLAN
3. WOOD STUD WALL, SEE PLAN
4. FOUNDATION, SEE PLAN
5. ATTACHMENT TO FRAMING PER HOLD DOWN MANUFACTURER
6. EDGE NAILING PER SHEAR WALL SCHEDULE
7. HOLD DOWN POST/DBL STUDS

NOTES:

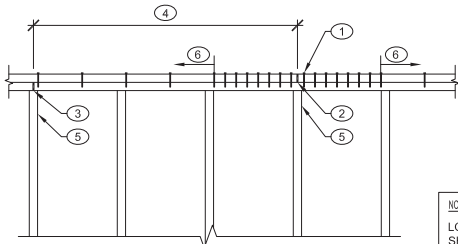
- A. ALL HOLD DOWN ANCHOR BOLTS SHALL HAVE 3\"/>



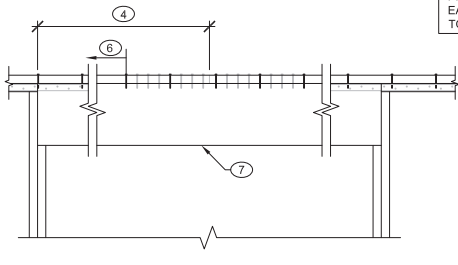
SECTION B

KEYNOTES (CONT):

6. INCREASE NAIL SPACING TO AVOID SPLITTING (UP TO 8\"/>
7. BEAM MAY ACT AS BOTTOM MOST MEMBER. STRAP BEAM TO BOTTOM MOST MEMBER ADJACENT TO BEAM W/ CS16 (3'-0\"/>
8. TOP PLATE MAY BE SPLICED ONLY IF BEAM SPAN IS GREATER THAN 8'-0\", NAIL EACH SIDE OF SPLICE PER KEYNOTE #1



SPLICE AT DOUBLE TOP PLATE



SPLICE AT BEAM

NOTE:

- LOCATE SPLICE AWAY FROM SHEAR WALLS. WHERE TOP PLATE MUST BE SPLICED AT SHEAR WALLS, PROVIDE MSTC28 STRAP AT TOP MOST PLATE MEMBER (ALT: PROVIDE CS16 W/ 8d NAILS EACH HOLE EACH SIDE OF TOP MOST PLATE MEMBER)

7 TYPICAL TOP PLATE SPLICE

REF:

SCALE: NO SCALE

KEYNOTES:

1. DOUBLE TOP PLATE, SPLICE PER PLAN NOTES
2. HEADER, SEE PLAN
3. OPENING, SEE PLAN
4. TRIMMER/KING STUDS PER PLAN NOTES
5. CONT SIMPSON CS14 STRAP W/ 8d NAILS EA HOLE. ALIGN STRAP W/ HEADER & SILL OF WINDOW. PROVIDE 2x BLOCKING UNDER STRAP. EXTEND STRAP TWICE OPENING WIDTH OR WRAP STRAP 8\"/>

NOTES:

- A. PROVIDE EDGE NAILING PER SHEAR WALL CALLOUT AROUND OPENING & ALONG TOP & BOTTOM PLATE.
- B. SEE PLAN FOR LOCATION WHERE STRAPPING IS REQ'D

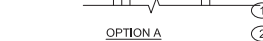
8 FORCE TRANSFER STRAPS AT SHEAR WALL

REF:

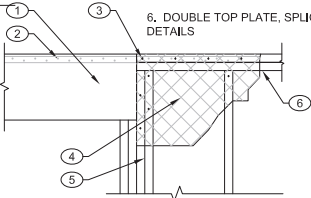
SCALE: NO SCALE

KEYNOTES:

1. WOOD BEAM OR JOIST, SEE PLAN
2. STRAP PER PLAN CENTERED ON END OF BEAM/JOIST.
3. EDGE NAILING, SEE SHEARWALL REQUIREMENTS
4. WALL SHEATHING PER SHEAR WALL SCHEDULE
5. 2x SHEAR WALL, SEE PLAN
6. DOUBLE TOP PLATE, SPLICE PER TYPICAL DETAILS



OPTION A



OPTION B

9 DRAG BEAM/JOIST

REF:

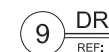
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KEYNOTES:

1. WOOD BEAM OR JOIST, SEE PLAN
2. STRAP PER PLAN CENTERED ON END OF BEAM/JOIST.
3. EDGE NAILING, SEE SHEARWALL REQUIREMENTS
4. WALL SHEATHING PER SHEAR WALL SCHEDULE
5. 2x SHEAR WALL, SEE PLAN
6. DOUBLE TOP PLATE, SPLICE PER TYPICAL DETAILS

KEYNOTES:

1. (36) 16d NAILS EACH SIDE OF JOINT IN TOP MOST PLATE MEMBER. SPACE NAILS IN SAME ROW 2\"/>
2. JOINT IN TOP MOST MEMBER
3. JOINT IN BOTTOM MOST MEMBER
4. OFFSET JOINTS 48\"/>
5. ALIGN STUD BELOW BREAK IN EITHER TOP PLATE MEMBER



3 STANDARD REBAR BENDS

REF:

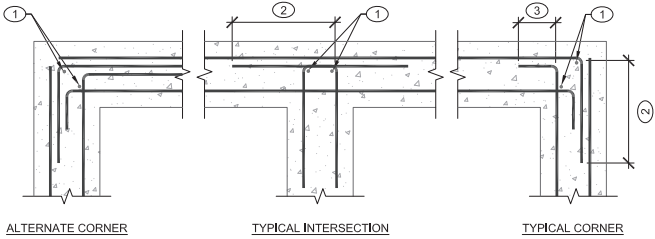
SCALE: NO SCALE

NOTES:

- A. WHERE SINGLE LAYER OF REINFORCEMENT OCCURS, PLACE REBAR AS SHOWN FOR OUTSIDE BARS

KEYNOTES:

1. (2) #5 BARS AT WALLS, TYP.
2. LAP REINFORCEMENT PER GSN
3. 6\"/>



ALTERNATE CORNER

TYPICAL INTERSECTION

TYPICAL CORNER

4 REBAR AT FOOTING OR MASONRY INTERSECTIONS

REF:

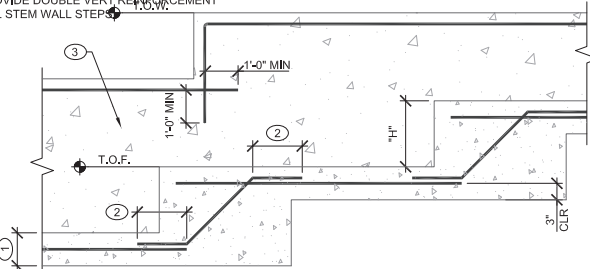
SCALE: NO SCALE

NOTES:

- A. BOTTOM OF ALL FOOTINGS SHALL BE LEVEL
- B. ALTERNATE HOOKS OF VERT STEM WALL REINFORCEMENT INTO STRIP FOOTING (NOT SHOWN FOR CLARITY)
- C. PROVIDE DOUBLE VERT REINFORCEMENT AT ALL STEM WALL STEPS

KEYNOTES:

1. CONT STRIP FOOTING, SEE PLAN FOR THICKNESS AND REINFORCEMENT
2. LAP REINFORCEMENT PER GSN
3. STEM WALL, SEE PLAN FOR THICKNESS AND REINFORCEMENT



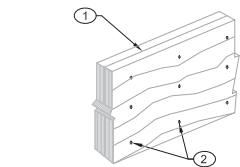
5 STEP IN STRIP FOOTING

REF:

SCALE: NO SCALE

KEYNOTES:

1. DOUBLE OR TRIPLE 1 3/4\"/>
2. (3) ROWS 16d NAILS @ 12\"/>
3. 2\"/>



DOUBLE MEMBER

TRIPLE MEMBER

6 BUILT UP BEAM

REF:

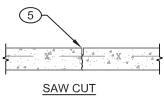
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NOTES:

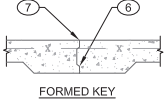
- A. SAW CUTS SHALL BE MADE SOON ENOUGH TO PREVENT SHRINKAGE CRACKING, BUT NOT SO SOON AS TO CAUSE SPALLING
- B. ZIP STRIP OR TOOLED JOINT MAY BE USED IN LIEU OF SAW CUT

KEYNOTES:

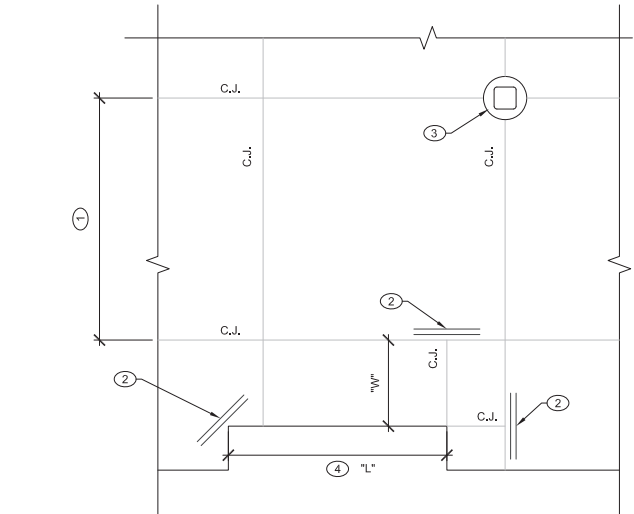
1. JOINT SPACING, 10\"/>
2. (2) #4x48\"/>
3. ALIGN CONTROL JOINTS W/ COLUMN, WHERE OCCURS
4. \"L\" SHALL NOT EXCEED 15 TIMES \"W\" FOR RECT SECTIONS
5. SAWCUT JOINT EQUAL TO 1/4 SLAB THICKNESS
6. CONT, PREFORMED KEY
7. POUR JOINT



SAW CUT



FORMED KEY



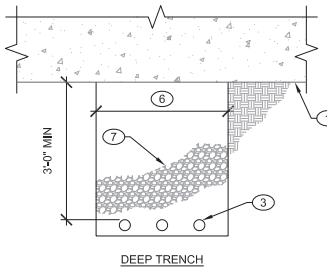
1 SLAB CONTROL JOINT

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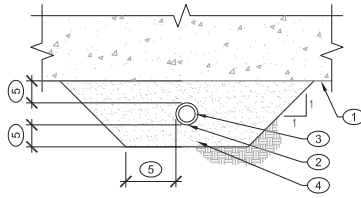
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KEYNOTES:

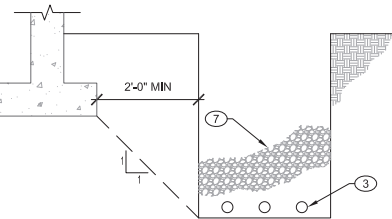
1. BOTTOM OF CONCRETE FOOTING
2. SLEEVE SIZED TO PROVIDE 1/2\"/>
3. UTILITY LINE
4. SLURRY GROUT PLACED PRIOR TO PLACEMENT OF FOOTING CONCRETE
5. CLEARANCE EQUAL TO SLEEVE DIA (6\"/>
6. 3'-0\"/>
7. BACKFILL AND RECOMPACT TRENCH PER GSN



DEEP TRENCH



SHALLOW TRENCH



TRENCH PARALLEL TO FOOTING

2 CONTINUOUS FOOTING AT UTILITY TRENCH

REF:

SCALE: NO SCALE



SCALE	REFER TO DRAWING	DATE	BY
DESIGNED BY:	BTB		
DRAWN BY:	TC		
CHECKED BY:	BTB		
APPROVED BY:			
ISSUE STATUS:			
PLAN CHECK:			
APP:			
XXX			

MAPLE BROOK ENGINEERING, INC.
WWW.MAPLE-BROOK.COM
PO BOX 491
ST MARIES, IDAHO 83861
PHONE: 208.568.1171
EMAIL: INFO@MAPLE-BROOK.COM

SHEET TITLE: TYPICAL STRUCTURAL DETAILS

PROPOSED PROJECT:
RESTAURANT EXPANSION
PROJECT LOCATION: 2990 BIG LAKE ROAD, BIG LAKE, AK 99652
CLIENT:
R&B ALASKA, INC.
CONTACT: BILL BRISTER / PHONE: 907.947.1401
EMAIL: BILL.BRISTER@GMAIL.COM

PROJ. NO.:	11-20138
ISSUE DATE:	4/22/20
SUBMITTAL:	PLAN CHECK
SHEET NO.:	

S0.2

STRUCTURAL PLAN KEYNOTES

- 1 EPOXY FOOTING/STEM WALL REINFORCEMENT 4" MIN INTO (E) FOUNDATION W/ SIMPSON SET-XP EPOXY NO SPECIAL INSPECTION REQ'D
- 2 CONNECT NEW FOOTING TO (E) FOUNDATION W/ WF1.0
- 3 INFILL GAP BETWEEN SLABS W/ NEW SLAB ON GRADE TO MATCH NEW SLAB ON GRADE.
- 4 WALL TO (E) ROOF W/ 2x6 DF #2 STUDS @ 16" O.C. W/ 3/8" SHEATHING W/ 8d NAILS @ 6" O.C. NAILING
- 5 STRAP NEW WALL TOP PLATE TO EXISTING TOP PLATE W/ SIMPSON MSTC40 STRAP
- 6 STRAP TOP PLATE TO SIP WALL W/ CMSTC16 STRAP. LAP STRAP 24" ONTO TOP PLATE & ATTACH TO SIP WALL W/ #8 DECK SCREWS EA HOLE W/ 8-0" MIN LENGTH
- 7 STRAP INFILL WALL TO (E) TOP PLATE W/ MSTC28 STRAP
- 8 ATTACH END STUD OF INFILL W/ SIP SCREWS @ 8" O.C. MAX
- 9 INTERIOR 2x6 FRAMED BEARING WALL
- 10 ALIGN TRUSS W/ FIRE RATED WALL. SHEATHE BOTH SIDES OF TRUSS W/ 5/8" TYPE 'X' GYP BOARD TO ROOF SHEATHING

STRUCTURAL PLAN NOTES

- A. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION. DISCREPANCIES SHALL BE RESOLVED WITH ARCHITECT PRIOR TO CONSTRUCTION.
- B. CONTRACTOR TO VERIFY ALL EXISTING STRUCTURAL ELEMENTS TO REMAIN ARE FREE FROM DEFECT. REPLACE IN KIND OR CONTACT EOR FOR DESIGN OF REPLACEMENT ELEMENT.
- C. ROOF TRUSS LAYOUT IS CONCEPTUAL & MAY BE MODIFIED. REFER TO THE FINAL, STAMPED APPROVED TRUSS LAYOUT DRAWINGS PROVIDED BY TRUSS MANUFACTURER FOR ALL TRUSS LAYOUTS.
- D. ALL ROOF SHEATHING SHALL BE 5/8" APA RATED SHEATHING W/ 10d NAILS @ 4" O.C. (EDGE & BOUNDARY NAILING) AND 10d NAILS @ 12" O.C. (FIELD NAILING) UNLESS OTHERWISE NOTED ON PLANS.
- E. ATTACH ALL ROOF TRUSSES TO WALL TOP PLATE W/ SIMPSON H1 CLIP, U.N.O.
- F. ALL TRUSS HANGERS AT GIRDER TRUSSES SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER.
- G. ALL EXTERIOR WALLS SHALL BE 5 1/2" SIP PANELS W/ TYPE 'S' (OSB) OR TYPE 'L' (LUMBER) SPLINES. U.N.O. SPLICE SINGLE TOP PLATES W/ MSTC40 STRAP
- H. CONNECT ALL CORNERS OF SIP WALL PANELS W/ SIP SCREWS @ 18" O.C. MAX, U.N.O.
- J. ATTACH ALL SIP PANELS PER SHEAR WALL SCHEDULE 'A' UNLESS OTHERWISE NOTED ON PLANS.
- K. SEAL ALL JOINTS IN SIP WALL, FLOOR AND ROOF PANELS PER MANUFACTURER PUBLISHED RECOMMENDATIONS WITH MASTIC & SIP TAPE.
- L. FOR OPENINGS GREATER THAN 8'-0" IN WALLS UP TO 10'-0", PROVIDE (2) 2X6 DF #2 KING STUDS, U.N.O.
- M. ALL FOOTINGS SHALL MEET MINIMUM EMBEDMENT SPECIFIED BY THE GENERAL STRUCTURAL NOTES. SEE SHEET S0.1
- N. ALL STEM WALLS SHALL BE 8" MIN WIDTH W/ (1) #4 BAR CONT TOP & BOTTOM. WHERE STEM WALL HEIGHT EXCEEDS 24", PROVIDE #4 BARS HORIZONTAL @ 12" O.C. MAX
- P. DEEPEN FOOTING AS REQ'D TO ALLOW FOR HOLD DOWN BOLT PLACEMENT. EXTEND DEEPEENED FOOTING 24" EA SIDE OF ANCHOR

MARK	ATTACHMENTS					ALLOWABLE SHEAR (#F)	A35/LTP4 SPACING
	TOP PLATE	BOTTOM PLATE	VERT FRAMING	SOLE NAILING	SILL ANCHORAGE		
A	8d BOX NAIL @ 6" O.C.	8d BOX NAIL @ 6" O.C.	8d BOX NAIL @ 6" O.C. (2 ROWS)	(2) 16d NAILS @ 12" O.C.	5/8" x 10" A.B. @ 4'-0" O.C.	250	20" O.C.
B	8d BOX NAIL @ 6" O.C.	8d BOX NAIL @ 6" O.C.	8d BOX NAIL @ 6" O.C. (2 ROWS)	(2) 16d NAILS @ 12" O.C.	5/8" x 10" A.B. @ 2'-8" O.C.	350	15" O.C.
C	8d BOX NAIL @ 3" O.C. (2 ROWS)	8d BOX NAIL @ 3" O.C. (2 ROWS)	8d BOX NAIL @ 3" O.C. (4 ROWS)	SDS 1/4"x6" @ 5" O.C. W/ 3x PLATE	5/8" x 12" A.B. @ 1'-4" O.C. W/ 3x PLATE	720	7 1/2" O.C.
D	8d BOX NAIL @ 2" O.C. (2 ROWS)	8d BOX NAIL @ 2" O.C. (2 ROWS)	8d BOX NAIL @ 2" O.C. (4 ROWS)	SDS 1/4"x6" @ 4" O.C. W/ 3x PLATE	5/8" x 12" A.B. @ 1'-4" O.C. W/ 3x PLATE	920	5 1/2" O.C.

NOTES:

1. USE SHEAR WALL TYPE A FOR ALL WALLS NOT NOTED ON PLANS.

2. PANEL TYPE MAY BE EITHER L OR S TYPE PANELS W/ MINIMUM OSB FACE THICKNESS OF 7/16"

3. FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH HAVING A SPECIFIC GRAVITY OF 0.50 MINIMUM

4. DOUBLE TOP PLATE IS REQUIRED FOR ALL WALLS REQUIRING (2) ROWS OF TOP PLATE NAILING

5. ALL VERTICAL FRAMING SHALL BE DOUBLE STUDS OR 4x NOMINAL FRAMING

6. SPLINES ARE 7/16"x3" OSB FOR WALL TYPES A & B AND 3/4"x3" FOR WALL TYPES C & D.

7. ALL ANCHOR BOLTS SHALL BE EMBEDDED PER GENERAL STRUCTURAL NOTES

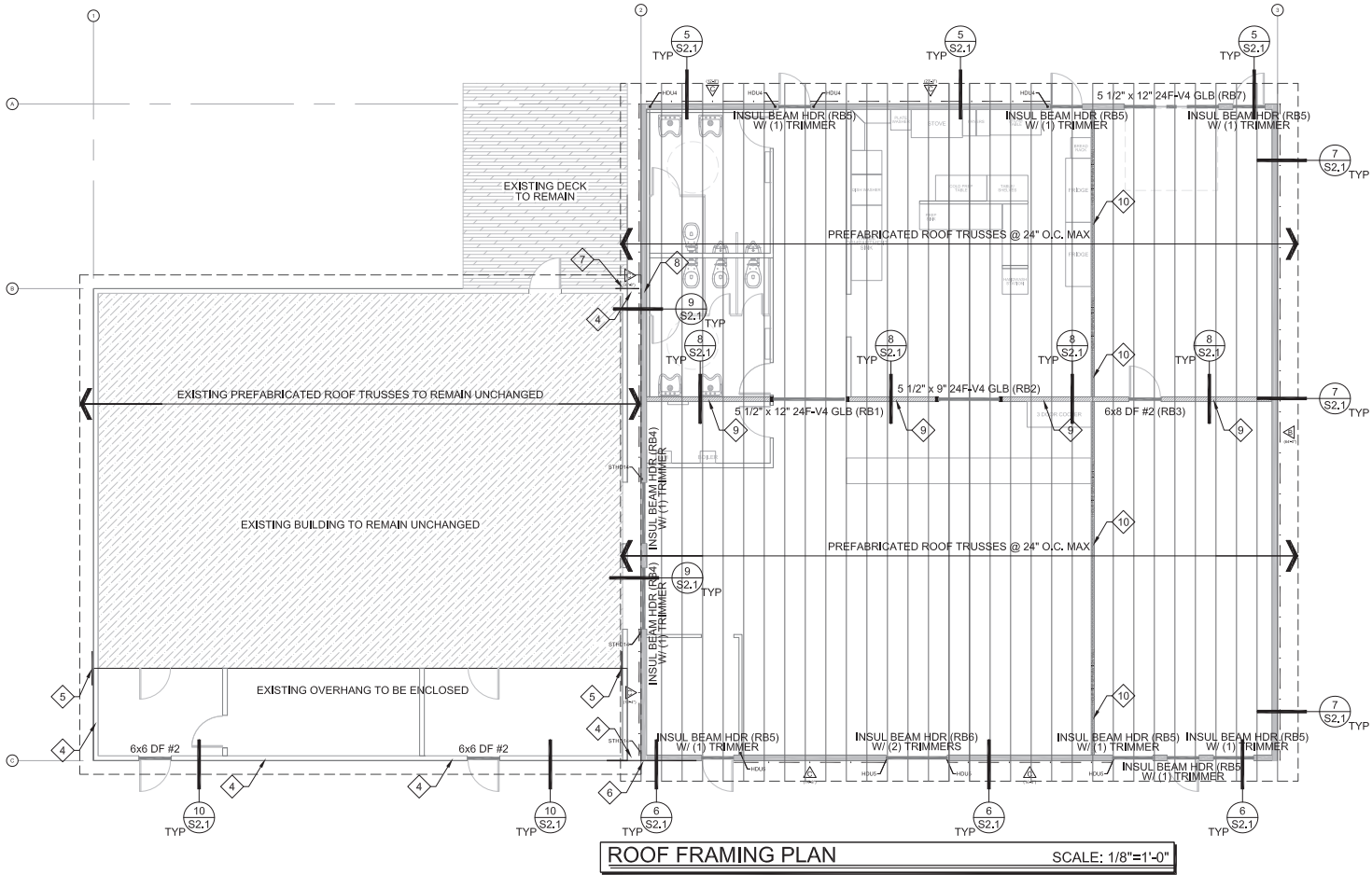
8. A MINIMUM OF (2) ANCHOR BOLTS SHALL BE USED ON EACH SILL PLATE SEGMENT. PROVIDE (1) ANCHOR BOLT W/IN 9" OF EACH END OF SEGMENT, AND NOT W/IN 4 1/2" OF END OF PLATE

9. PRESSURE TREATED SILL PLATES SHALL BE USED WHEN IN CONTACT WITH CONCRETE OR MASONRY

10. ALL NUTS ON ANCHOR BOLTS SHALL BE SECURELY FASTENED AGAINST SILL PLATE WITHOUT THE NUT OR THE WASHER BEING RECESSED INTO THE PLATE.

11. ALL NUTS SHALL HAVE 1/4"x3"x3" PLATE WASHERS

12. STAGGER ALL NAILS TO AVOID SPLITTING FRAMING MEMBERS



ELECTRICAL, MECHANICAL
AND PLUMBING NOTES

NOTE: FLOURESCENT LIGHTING IN ALL ROOMS WITH 1ST SWITCH LOCATION

○ SD= SMOKE DETECTOR
○ CD= CARBON MONOXIDE DETECTOR

NOTE: VERIFY ALL LIGHTING / OUTLET LOCATIONS AND SWITCH LOCATIONS W/
GENERAL CONTRACTOR & OWNER.

PROVIDE ELECTRICAL STUBS FOR LANDSCAPE LIGHTING, (VERIFY LOCATIONS W/
OWNER)

VERIFY SECURITY SYSTEM W/ OWNER.

PROVIDE HOLIDAY LIGHTS / OUTLETS AT EAVES TO SWITCH INSIDE, (VERIFY W/
OWNER PRIOR TO INSTALLATION)

VERIFY LOCATION OF DSL LINES W/ OWNER PRIOR TO INSTALLATION.

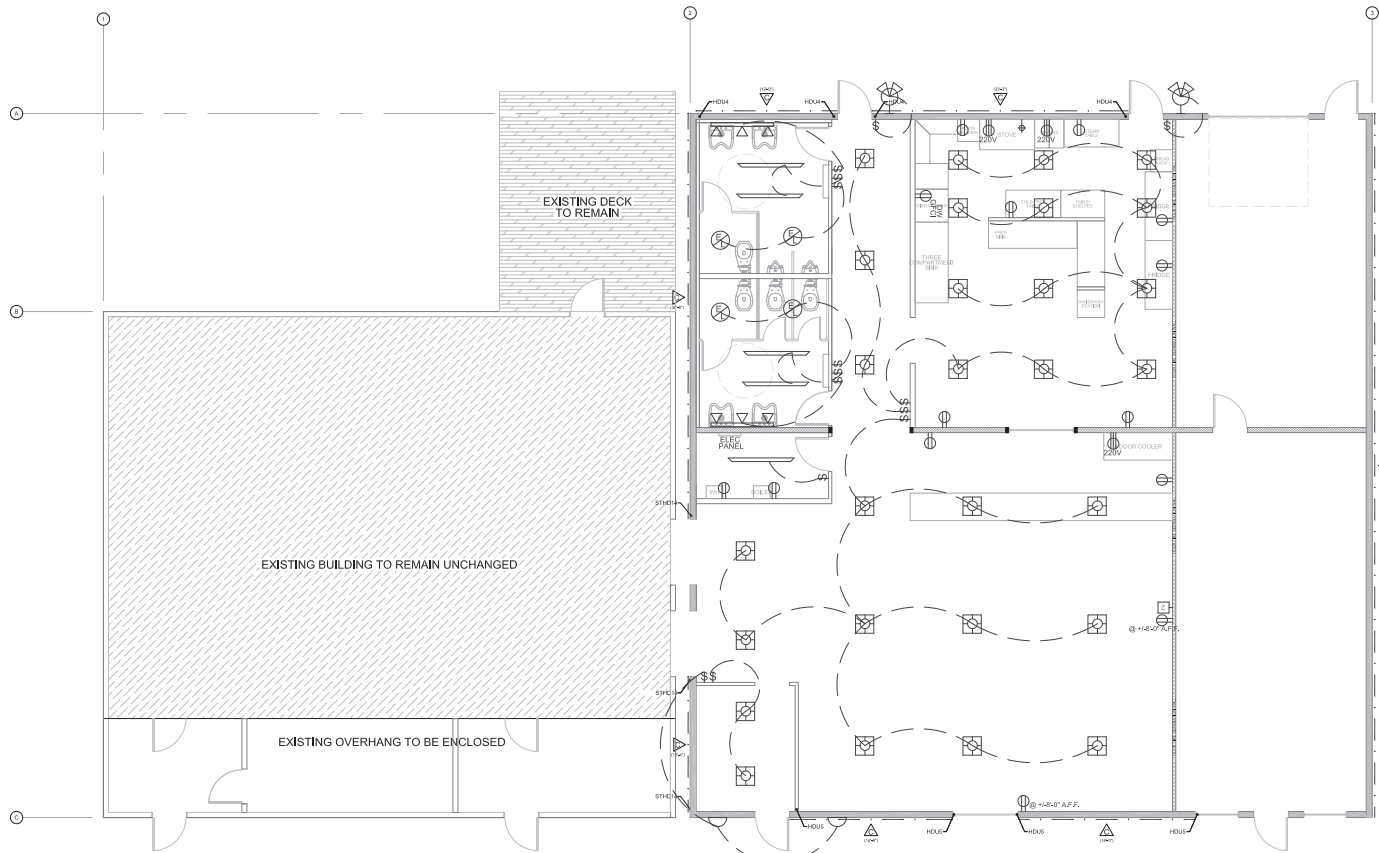
PROVIDE 400 AMP MAIN PANEL MINIMUM VERIFY LOCATION W/ GENERAL
CONTRACTOR & OWNER.

- MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT.
- FANLIGHTS IN WET OR DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR WET OR DAMP LOCATIONS". (PER SECTION NEC 410-4.1A OF THE NEC.)
- PROVIDE 4" DIA. SMOOTH METAL DRYER VENT W/ BACKDRAFT DAMPER TO EXTERIOR AS SHOWN ON PLAN. VENT RUN SHALL COMPLY WITH MNFR,S SPECS. AND SCTN. 504 & 908 OF THE UNIFORM MECHANICAL CODE. LENGTH OF RUN MAY EXCEED 14'-0" IF DIA. OF VENT IS INCREASED ACCORDING TO THE 1991 JANUARY/FEBRUARY EDITION OF IBC'S BUILDING STANDARDS CODE INTERPRETATION.
- ALL EXHAUST FANS SHALL HAVE BACKDRAFT DAMPERS.
- ALL TUBS AND SHOWERS SHALL HAVE PRESSURE BALANCE OF THERMOSTATIC MIXING VALVE CONTROL PER UPC 410.7.
- PROVIDE A MINIMUM OF 2-20 AMP CIRCUITS TO KITCHEN COUNTERTOPS FOR SMALL APPLIANCES PER NEC 210.52.
- ALL AIR DUCTS PENETRATING SEPARATION WALL OR CEILING BETWEEN GARAGE AND LIVING AREAS SHALL BE 26 GA. MINIMUM.
- ALL INCANDESCENT LIGHTING FIXTURES RECESSED INTO INSULATED AREAS SHALL BE APPROVED FOR ZERO-CLEARANCE INSULATION COVER.
- LIGHTING IN KITCHEN & BATHROOMS SHALL HAVE AN EFFICACY OF AT LEAST 40 LUMENS PER WATT.
- SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE ALARM SHALL BE AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING.
- PROVIDE INDIVIDUAL CONTROL VALVES OF PRESSURE BALANCE TYPE OF THERMOSTATIC MIXING VALVE TYPE. SUCH THAT WATER TEMPERATURE MAXIMUM IS A SETTING OF 120 DEG. (F).
- CEILING ELECTRICAL BOXES SHALL BE APPROVED FOR CEILING FAN SUPPORT.
- PROVIDE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL 125V, 15 & 20 AMP RECEPTACLE OUTLETS INSTALLED IN DWELLING BEDROOMS. (NEC 210-12)
- BATHROOM RECEPTACLES ARE TO BE SUPPLIED BY AT LEAST ONE 20-AMP BRANCH CIRCUIT AND SHALL HAVE NO OTHER OUTLETS. (NEC 210-52d)

ELECTRICAL SYMBOLS

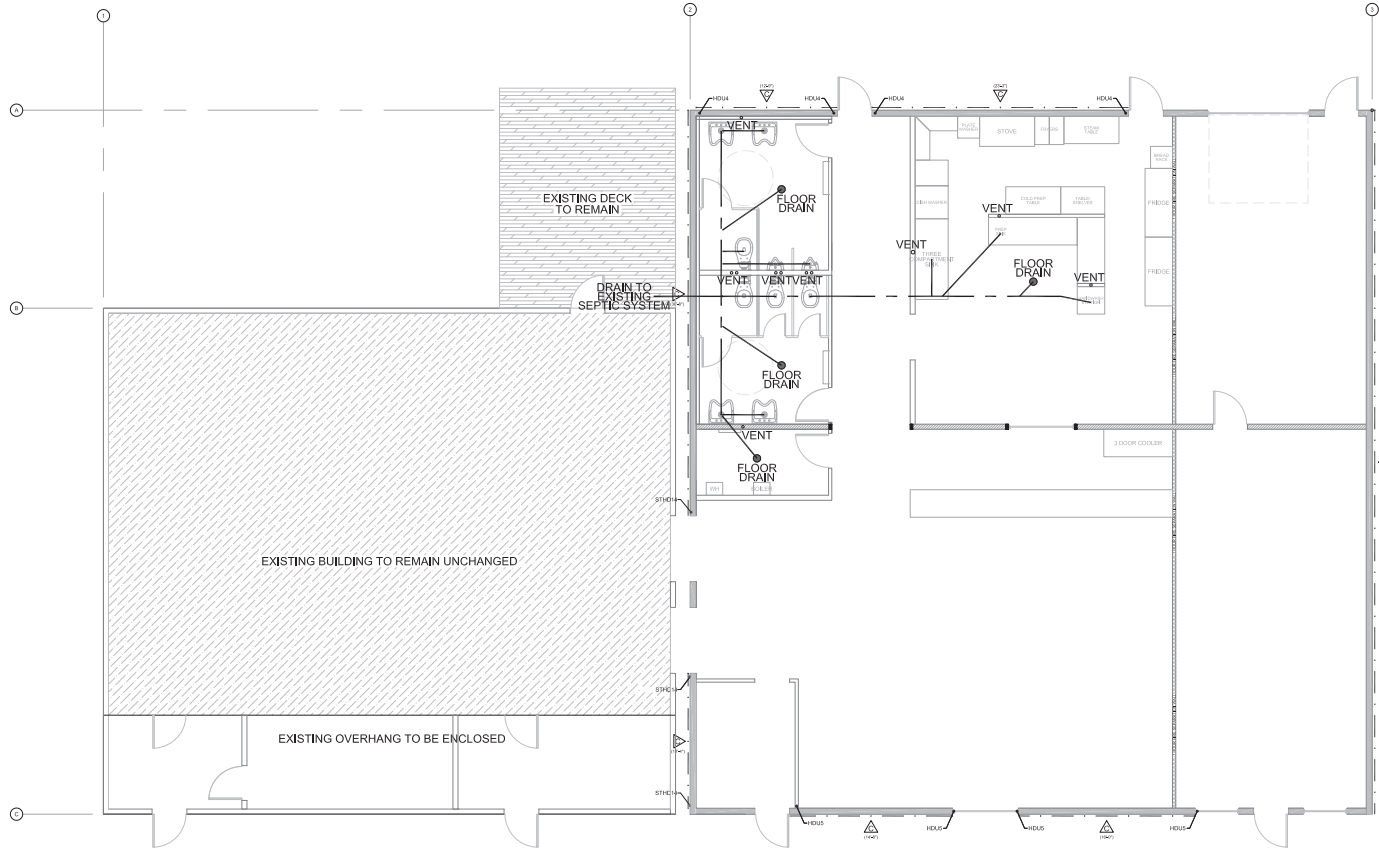
CF	CEILING FAN	△	WALL LIGHT/SCONCE
CF	CEILING FAN W/ LIGHT	⊗	HEAT LAMP/LIGHT
⊕	DUPLEX RECEPTACLE W/ LOWER SWITCHED	⊕	SUSPENDED FIXTURE
⊕	110V DUPLEX RECEPTACLE OUTLET	⊕	FLUSH FIXTURE CEILING MOUNTED
⊕	110V GROUND FAULT RECEPTACLE OUTLET	⊗	EXHAUST / LIGHT
⊕	SINGLE RECEPTACLE OUTLET	⊕	WALL LIGHT FIXTURE
⊕	220V OUTLET	⊕	FLOOD LIGHT OR SENSOR
⊕	WATER PROOF RECEPTACLE OUTLET	⊕	BREAKER BOX
⊕	SINGLE POLE SWITCH	⊕	JUNCTION BOX
⊕	DIMMER SWITCH	⊕	RECESSED CAN LIGHT
⊕	THREE-WAY SWITCH	⊕	BELL
⊕	FOUR-WAY SWITCH	⊕	TELEVISION
⊕	AUTOMATIC DOOR SWITCH	⊕	PHONE
⊕	TIME SWITCH	⊕	LAN
⊕	GROUND FAULT SWITCH	⊕	FLOURESCENT
⊕	SMOKE/CO DETECTOR	⊕	LIGHT BAR/TRACK LIGHT
⊕	RECESSED SPOT LIGHT	⊕	LED LIGHT BAR
⊕	PENDANT LIGHT FIXTURE	⊕	GAS METER
⊕	RECESSED FLOURESCENT	⊕	HOSE BIB
⊕	THERMOSTAT	⊕	GAS STUB
⊕	DISCONNECT SWITCH - PROVIDE MIN. OF 30"x36" CLEAR SPACE	⊕	KEY

IMPORTANT NOTE: FINAL LAYOUT SHALL REQUIRE APPROVAL BY OWNER AND CERTIFIED ELECTRICIAN'S STAMP. ELECTRICAL PLAN MUST MEET ALL LOCAL AND NATIONAL ELECTRICAL CODES W/ STANDARD PRACTICE.



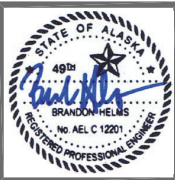
SCHEMATIC ELECTRICAL PLAN

SCALE: 1/8"=1'-0"



SCHEMATIC PLUMBING PLAN

SCALE: 1/8"=1'-0"



SCALE:	REFER TO DRAWING:	NO.	DATE	BY
DESIGNED BY:	BTH			
DRAWN BY:	TC			
CHECKED BY:	BTH			
APPROVED BY:				
ISSUE STATUS:				
PLAN CHECK:				
APP:	XXX			

MAPLE BROOK ENGINEERING, INC.

WWW.MAPLE-BROOK.COM
PO BOX 491
ST MARIES, IDAHO 83861
PHONE: 208.568.1171
EMAIL: INFO@MAPLE-BROOK.COM



SHEET TITLE: ELECTRICAL/PLUMBING

PROPOSED PROJECT:
RESTAURANT EXPANSION

PROJECT LOCATION: 290 BIG LAKE ROAD, BIG LAKE, AK 99652

CLIENT:
R&B ALASKA, INC.

CONTACT: BILL BRISTER / PHONE: 907.947.1401
EMAIL: BILL.BRISTER@GMAIL.COM

PROJ. NO.:	11-20138
ISSUE DATE:	4/22/20
SUBMITTAL:	PLAN CHECK
SHEET NO.:	

EM1.1



State of Alaska
Department of Transportation and Public Facilities

Driveway Permit 31724

This permit allows the owner to construct and maintain a driveway within a State owned highway Right of Way.

Owner:	R&R Alaska inc DBA Floaters
Mailing Address:	12270 East Outer Springer Loop, Wasilla, AK 99654
Driveway location: 2990 S Big Lake Road - Lot 2, Block 3 Fishers Y Subd Plat 79-440, Tax Parcel ID.1783B02L003	

Design Criteria

A.	Driveway width	24	Feet
B.	Left edge clearance	50	Feet
C.	Right edge clearance	95	Feet
D.	Left return radius	40	Feet
E.	Right return radius	40	Feet
F.	Shoulder width	2	Feet
G.	Approach angle	90	Degrees
H.	Curb type	None	
I.	Curb to sidewalk distance	10	
J.	Left driveway foreslope	6:1	Or match existing
K.	Right driveway foreslope	6:1	Or match existing
L.	Culvert length	65	Feet (field fit)
M.	Landing grade	2	Percent
N.	Landing length	30	Feet
O.	Culvert size	18	Inches
P.	Culvert type	Corrugated Metal Pipe (CMP)	
Q.	Ditch depth	3	Feet
R.	Shoulder type	Gravel	
S.	Road surface type	Paved	
T.	Driveway surface type	Asphalt	

RECEIVED
 JUN 27 2022

Mat-Su Borough
 Development Services

This permit applies only to the State right of way.

This permit grants permission for a driveway allowing access to and from your property onto a State maintained highway. It does not permit the following within the right of way or within that portion of a driveway that is within the right of way: (1) Parking of vehicles "for sale"; (2) Obstructions of any kind (i.e. logs, cables, fencing, etc.); (3) Advertising signs or banners/flags; (4) Parking vehicles with signs/advertising on the side.

A driveway constructed under permit within a highway right-of-way is the property of the State, but all cost and liability arising from the construction, operation, or maintenance of a driveway is at the sole expense of those lands served.

The Department is not obligated to change its maintenance practices to accommodate a driveway constructed under a permit, or to incur any additional expense removing snow berms or other obstructions from a driveway within a right of way resulting from the Department's activities, or activities under a permit issued under 17 AAC 15.

Owner is responsible for adjusting, relocating or removing the driveway without cost or liability to the Department if the use or safety of the highway requires.

This permit is not a property right but a temporary authorization, revocable by the State upon violation of any permit terms or conditions, or for other reasons. All reasonable attorney's fees and costs associated with legal or enforcement actions related to the terms and conditions of this permit will be borne by the Owner.

Any survey monument or monument accessory that is disturbed or destroyed during construction or maintenance of the driveway will be restored or replaced by a Land Surveyor licensed in the State of Alaska.

The Owner will be responsible for all necessary Federal, State, and Municipal permits and licenses required by law, pay all taxes and special assessments lawfully imposed upon the permitted area, and pay other fees and charges assessed under applicable law.

Placement of fill material in waters of the U.S., including wetlands and streams, requires prior authorization from the U.S. Army Corps of Engineers. It is the responsibility of the owner to contact the Corps before filling activities take place.

The Owner shall construct and maintain a driveway in such a manner that the highway, and all of the highway's appurtenances or facilities, including drainage facilities, pipes, culverts, ditches, traffic control devices, street lights, pathways, and sidewalks are not impaired or endangered in any way by the construction or maintenance. If you damage any improvements within the State owned right of way, you will be responsible for returning them to their previous condition. The Department will inspect and approve the restored improvements.

Owner will indemnify, defend, and hold harmless the State, and its officers, employees, and contractors, from any and all claims or actions resulting from injury, death, loss, or damage sustained by any person or personal property resulting directly or indirectly from Owner's use of or activities in the permitted area.

Landings from all paved roads must be paved and maintained from edge of the road to the length of the landing as stipulated in this permit.

If a culvert is required by this driveway permit, culvert ends must be installed at the time of installation and maintained continuously by the owner.

No person shall place, leave, or deposit upon any street, avenue, alley, sidewalk, or other public right of way any snow or ice which has been removed from a private driveway, private parking area, or the adjacent property. Owner is responsible for contractor's actions concerning placement of snow from Owner's property.

If driveway construction or maintenance interferes with the public's safety and/or use of facilities within State owned right of way, you will be directed to stop work until adjustments are made.

While doing construction or maintenance activities do not park equipment or stockpile material on the shoulder during non-working hours.

Owner is responsible for sight distance clearing of brush and obstructions adjacent to their property

Contact the Department for information about acceptable driveway markers (i.e., size, materials, distance, etc.) for placement within the right of way.


Attachments included as part of this permit are:

- DOT&PF As Built
- DOT&PF Approach Summary

I, Robert Brister, acknowledge and accept that (R&R Alaska inc. DBA Floaters.) will comply with all the provisions and conditions that the Department of Transportation and Public Facilities has included as a condition of issuing this permit.


Owner Signature

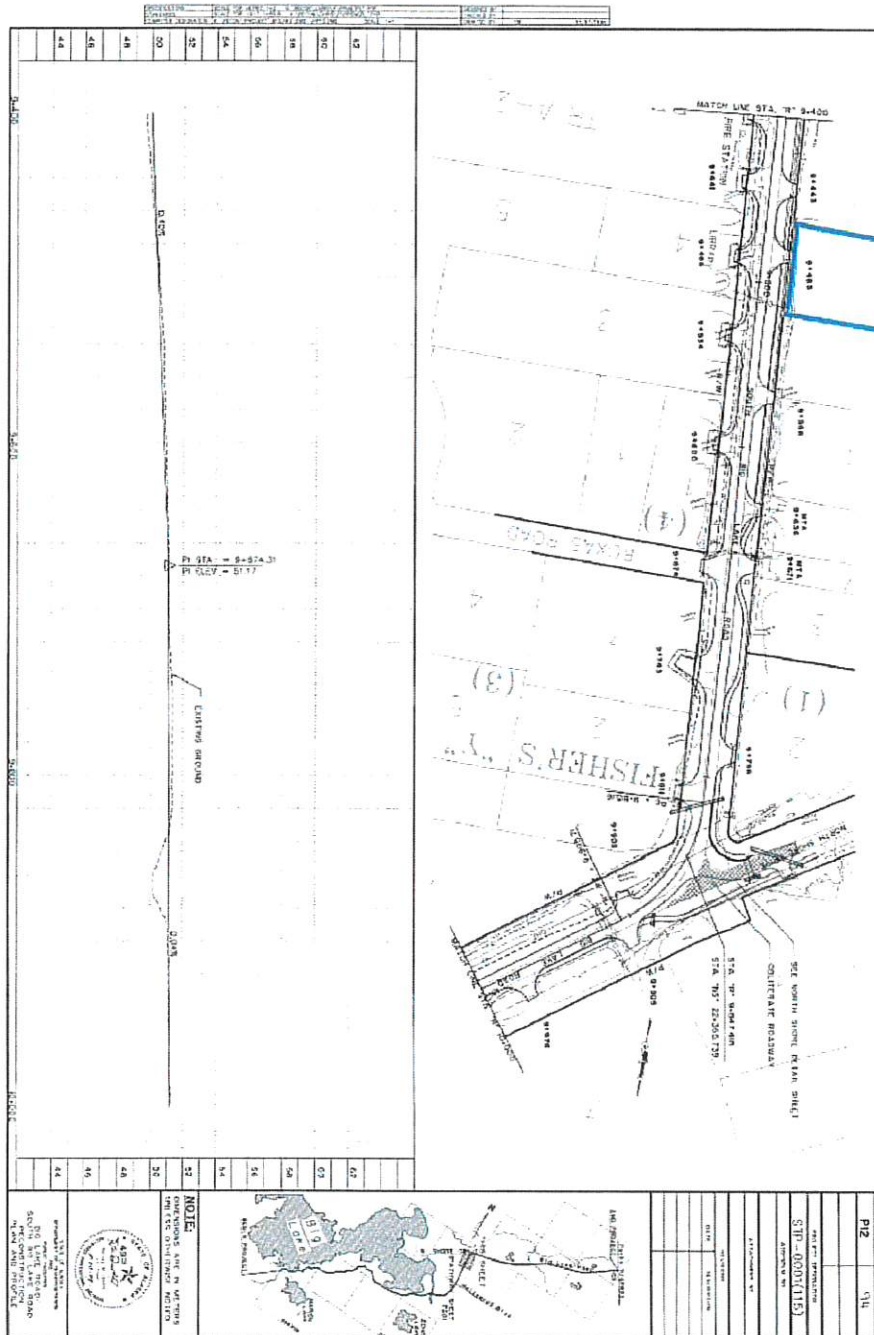
6/10/22
Date


DOT&PF Signature

06.14.22
Date

gjk

DOT&PF As-Built



DOT&PF Approach Summary

Attention Matanuska Susitna Borough Planning Department:

The purpose for the application contained within is to extend Floaters Pub existing Beverage Dispensary License (BDL) to include Floaters family restaurant. There has been a pub at this location since approximately June of 1970. While we would like to serve alcoholic beverages in the restaurant area our vision is for a family friendly establishment with the alcohol being subdued in the restaurant area with alcohol advertising being limited to the menu, and all drinks served in unlabeled glasses not in bottles or cans. The addition of a family-oriented restaurant will allow us to better serve the community, host special events and fund raisers for local nonprofits and reduce our reliance on special use permits from the Alcohol Beverage Control Board. The area of the requested expansion of the BDL is listed in the attached drawings.

Respectfully

Bob Brister, Bill Brister

Floaters Pub & family restaurant.





1. Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?

Floaters is located at 2990 south Big Lake road there has been a pub or bar at this location since approximately June 1970. This is a predominately commercial area, Floaters is bordered on one side by an empty office building and on the other by an empty fabrication shop. Extension of the Beverage dispensary license (BDL) to the restaurant area will provide local job opportunities and enable Floaters to better serve the needs of the community as well as host banquet and mid-size group gatherings. Enabling the service of alcoholic beverages to guest in these areas would be a service that guests would expect, and not detract from the value, character or integrity of community.

2. Will granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?

Floaters is an existing pub purchased by the current owners June 2020. There have been no instances where law enforcement has needed to respond to our business since that time. Extending our current BDL to cover the restaurant will allow our guests to enjoy alcoholic beverages with their meal. As there are no nearby restaurants with a BDL that have year-round access, we expect the facility to offer the community a more covenant alternative than driving several miles to an alternative location. The facility will also add much needed jobs to the local economy.

3. Are sufficient setbacks, lot area, buffers and other safeguards being provided?

The property as it currently stands meets all setbacks, lot area, buffers, and safeguards. The building is set back approximately 100 feet from south Big Lake road, approximately 20 feet from the south side yard lot line, approximately 40 feet from the north lot line, and approximately 100 feet from the west lot line. The nearest school is approximately 3000 feet away and the nearest church is approximately one mile away.

4. Is there any potential negative effect upon other properties in the area due to such factors as dust, noise, obtrusive advertising and glare?

Extending the existing BDL to cover the restaurant will not create any dust or increase noise from the existing facility. Existing lot lighting and lighted signage is aimed downward inside our parking lot and set back from the road. Extending the BDL to cover the restaurant will not impact on signage, lighting or glare.

5. Is there any potential negative effect on the safe, efficient flow of traffic on any highway, arterial, collector or street from which access to and from the establishment is obtained?

The expansion of the beverage dispensary license within the existing building does not change any of the current flows of traffic or in any way create a negative impact on the safe and efficient flow of traffic.

6. What measures are being proposed to reduce any negative effects upon adjacent and nearby properties by property line buffers and atrial buffers, planted berms, landscaping, reduction or elimination of obtrusive or garish signing or other features, lowered building elevation, clustering with other commercial establishments and use of frontage roads to reduce the number of entries and exists onto the highways, arterials and collectors and where the surrounding area is predominately residential character of the development?

The facility is located in a commercial area on south Big Lake road. It has a well-maintained entrance to the facility. The north lot line has a 6-foot wooden fence the south lot line has a 6-foot chain link fence, the west lot line is 100 feet and has a green belt. The front of the building will be upgraded with flower beds and additional foliage in summer of 2022. Extending the BDL to the restaurant will not change the existing nature of the area.

7. Are there adequate parking facilities to accommodate a reasonably expected increased demand for parking created by issuing the permit?

Extending the existing BDL to include the restaurant area is not expected to

substantially increase the demand for parking, there is currently adequate parking to accommodate a full house in both the pub and restaurant.

8. Will access to the premise create an unreasonable traffic hazard?

The existing pattern has been functioning with no hazard since 1970. Extending the existing BDL to the restaurant will have no impact on the existing traffic pattern.

9. Will a reasonably expected increase in traffic overtax the existing road system?

Floaters is accessed by a borough-maintained road. We do not believe extending the BDL to cover the existing restaurant area will cause an increase in traffic that would overtax the road.

10. Is the use compatible with the character of the surrounding neighborhood?

Floaters is located in a primarily industrial area with an empty office building on one side and an empty insulation fabrication shop on the other. Floaters has an existing BDL for the pub, extending the service area to include the restaurant would not impact the character of the surrounding industrial area.

11. Is there or would the use tend to result in a high crime rate or a high incidence of alcohol-related accidents in the area?

There has been a full-service beverage dispensary at this location for approximately 50 years, extending the service to cover the restaurant area allowing patrons to have food with their beverage would not increase crime or alcohol related incidents. Floaters is a veteran owned family run business that prides itself on responsible service of alcohol. Patrons ability to have a meal with their alcoholic beverage reduces the likelihood of over indulgence. The restaurant is a family friendly environment. All staff are required to maintain current professional alcohol training certificates. There is a zero-tolerance policy for over service of alcohol or

the use of drugs on the premises. No persons are allowed in the alcohol service area if they are intoxicated. Floaters also offers free taxis to customers that feel they may need rides back to nearby lodging.

12. Does the applicant or a person with an interest in the application have an interest in a liquor license which was suspended or revoked in the last 12 months preceding the application?

No

13. Has the applicant or person with an interest in the application demonstrated that the person is untrustworthy or unfit to conduct the operation of a licensed business, or is a potential source of harm to the public?

The applicants have lived in Alaska since 1974 and in the Matanuska Susitna Borough since 1991. William Brister operated a successful auto repair business in Palmer for 12 years has worked as a utility operations manager. Robert Brister worked as a Navy Corpsman, Paramedic and a Safety supervisor. Both Robert and William Brister have recently worked as DOD (Department of defense) contractors in positions requiring Federal background checks and security clearances and were subject to random drug testing. The bar manager PJ Brister has managed several pubs and bars including the American Legion in Palmer.

SUPPLEMENTAL INFORMATION

1. Maximum occupancy capacity of facility as determined by Fire Marshall
The existing pub area is rated for 65 persons. The restaurant is rated for 95 however due to social distancing we have limited seating to 76 seats we expect to maintain seating at this level as it makes a more pleasant atmosphere for our patrons and the public has come to expect a little more room.
2. Number of employees needed to work on the largest work shift.
We expect to have 6 employees on shift. Extending the existing Beverage dispensary license (BDL) to cover the restaurant area is not expected to have a significant impact on staffing levels.
3. Number of regular parking spaces provided
We have parking available in the front and rear of the facility combined we have parking for a minimum of 66 vehicles
4. Number of handicap spaces provided
We have 4 designated handicap parking spaces.
5. Is the use a sole occupant in a building or a tenant in a building?
Floater is the sole occupant.
6. Total square footage of space in building occupied by this use
The existing pub covered by the BDL is 1720 square feet. The total square footage of the restaurant is 3844 this area includes many areas where alcohol would not be served including kitchens, storerooms and utility rooms. The area we would like to extend the BDL to cover is 1516 square feet dining area.
7. Hours of operation
The pub is open 11 am to 10 pm Sunday to Wednesday and 11 am to midnight

Thursday to Saturday.

The restaurant will be open 11am – 8pm Monday thru Friday and 8 am to 10 pm Saturday and Sunday.

8. Noise mitigation measures

There are several noise mitigation measures. The exterior walls are made of Structural insulated panels that are very effective at noise suppression. We have built in dead spaces and incorporated noise suppressive building materials into the facility. We do not expect that extending the existing BDL to cover the restaurant will cause any increase in noise from the facility. We work closely with our nearest neighbors to ensure noise is not an issue and regularly monitor noise levels at our property lines. Our nearest neighbors on 3 sides are closed businesses the nearest residential property is behind our building approximately 300 feet through a small green belt. We do have a fenced and approved outdoor beer garden where patrons can enjoy a game of corn hole or horseshoes both low noise events. We do not currently plan on hosting outdoor music events or other loud events. If we were to hold a special outdoor event we would ensure that it was held on a weekend and concluded at a reasonable hour no later than 10pm and would coordinate with our neighbors

FOOTINGS

2990 SOUTH BIG LAKE ROAD

PARKING SPACE = 8 FT X 24 FT

FENCE

293.47

FENCE

42	41	40	39	38	37	36	35	34	33	32
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31

30

29

28

27

17.03

39	37	35	33	31	29	27	25	23	21	19	17	15	13	11	9	7	5	3	1
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Open Area

80 ft

Beer Garden

80

43	44	45	46	47
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RESTAURANT

Deck

PCB

36.5

71.5

20.6

304.1

26	25	24	23	22	21	20	19	18	17
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16	15	14	13	12	11
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5.5 ft

175.51

SOUTH BIG LAKE ROAD

DRIVE WAY

RECEIVED
JUN 27 2022

Mat-Su Borough
Development Services

1	2	3	4	5	6	7	8	9	10
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Mark Whisenhunt

From: robert brister <bob.brister@hotmail.com>
Sent: Sunday, July 24, 2022 8:57 AM
To: Mark Whisenhunt
Subject: Response to conditional land use permit
Attachments: asbuilt new (1).pdf; Mr.docx

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mr. Whisenhunt please see the attached response pertaining to our conditional land use permit.

SOUTH BIG LAKE ROAD (STATE ROAD) DRIVEWAY

503°35'07"E 75.5 (M)
503°34'20"E 75.30 (R)

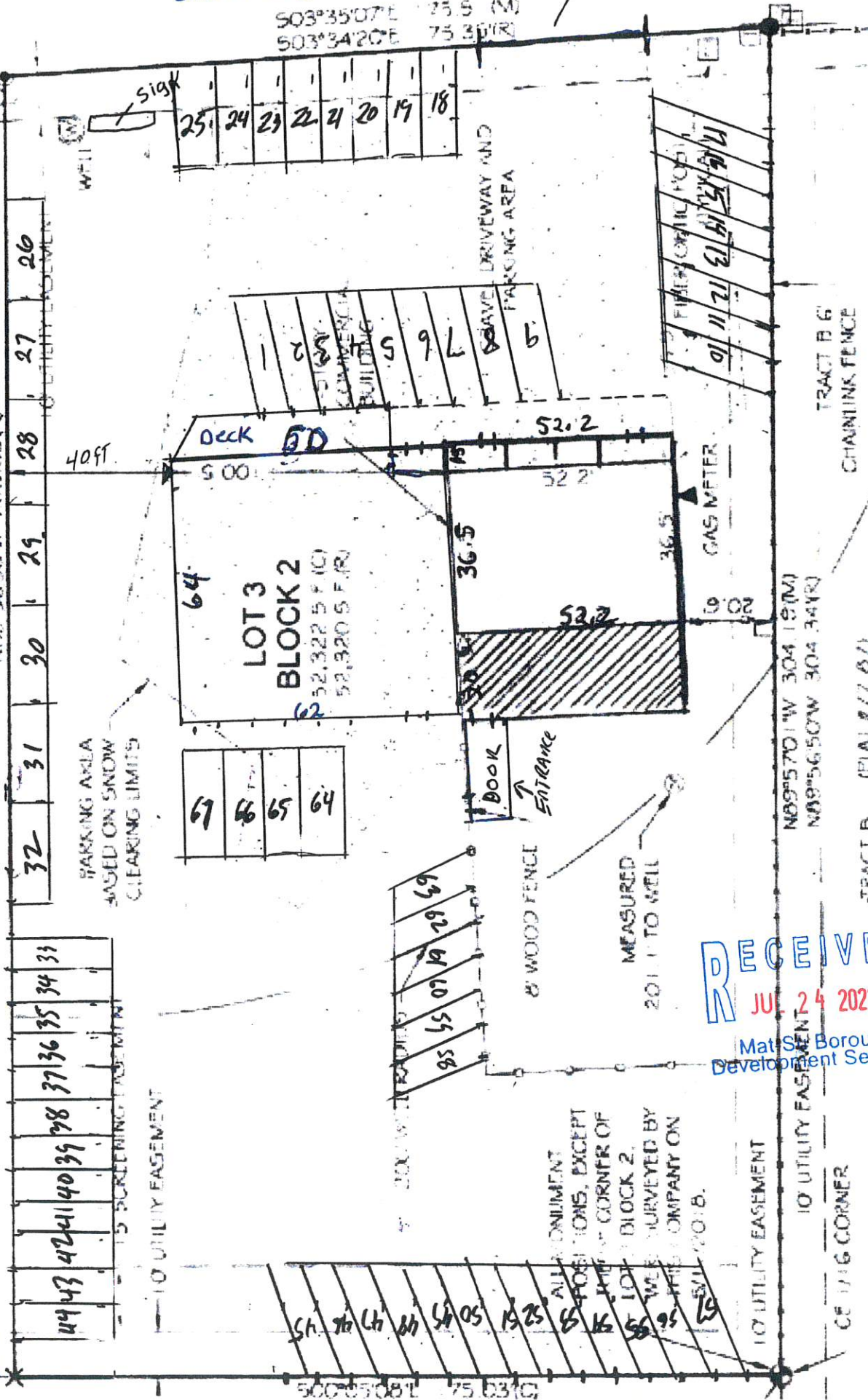
33 (R)

LOT 1A
PLAT # 2018-901

N89°58'3"W 293.47 (M)
N89°56'50"W 293.60 (R)

4. 3 FEET OF SNOW COVERS THE GROUND
AT TIME OF SURVEY.

03 (C)
00 (R)



RECEIVED
JUL 24 2022
Mat S. Borough
Development Services

Mr. Whisenhunt

Per our previous conversation regarding your response to Floaters conditional land use permit dated July 8 2022.

Item 1. (a) The submitted site plan is insufficient. a. Per MSB 17.70.030(B) the site plan must show “the proposed or existing location of all buildings and structures on the site, size, height and bulk of building, signage, access points, buffering, proposed contouring and landscaping, drainage, vehicular and pedestrian circulation patterns, parking areas and the specific location of the use or uses to be made of the development shall be submitted with the application.”

Per our discussion

The proposed or existing location of all buildings and structures on the site is on multiple previously submitted documents including the accepted floor plan.

The size and height are on previously submitted documents, as we have discussed and agreed the bulk of the building is an irrelevant term.

Signage, is clearly noted on the previously submitted document.

The only access point is the driveway, the driveway is on a state-maintained road. There are no dedicated pedestrian access points the nearest being a bike path that is on the state land not ours and thus not on our drawing.

Buffering such as fences, berms, green belts are clearly noted on the previously submitted drawings.

There are no proposed contouring or landscaping changes, it's a flat gravel lot the same as on the existing and approved conditional land use permit. The contour of the lot is unchanged from the existing approved conditional land use permit.

There are no changes to drainage it's a flat gravel lot with little runoff. The drainage is unchanged from the existing approved conditional land use permit.

There are no dedicated pedestrian circulation patterns on the exterior of the building, as far as vehicle traffic there is one access point at the driveway it is a gravel parking lot, parking spaces and walkways are not marked on the lot.

Parking spaces are clearly on the drawing submitted as on previous drawings as noted above they are not marked on the lot itself as it's a gravel lot.

I understand your main concern was that you believe the hand drawn site map submitted was not to scale, the attached drawing is to scale.

Item 1B Also, see page 3 of the application for a list of items to be shown on the site plan (i.e. to scale).

Everything mentioned on page 3 that exist on our lot is listed on the drawing or previously submitted drawings such as the accepted floor plan we cannot indicate items that do not exist such as a dedicated pedestrian access on the drawing. The drawing is to scale.

RECEIVED
JUL 24 2022
Mat-Su Borough
Development Services

Item 1C c. Ensure anything mentioned in the narrative must be shown on the site plan (i.e. access from property, parking spaces etc...).

All existing physical structures are included on the site plan, there are also numerous things in the narrative that are not traditionally included or effectively conveyed in a site plan such as hours of operation, number of employees expected on a shift, is the use compatible with the surrounding area ect. If there is something specific you require we will certainly attempt to provide it, the statement above is very broad and general we believe we have complied with it.

Item 1d d. Show any public/private easements on the subject parcel

There are no easements on our lot therefore there are no easements on the drawing.

. • (a-d) The picture of a hand drawn site plan is insufficient and does not meet any of the requirements noted above. It may be beneficial to acquire help to develop your site plan.

Per our discussion the only issue you could specifically name was the quality of the picture and that you did not believe it was to scale, we believe we have adequately addressed that issue, in addition we have spoken with the borough mayor and assembly members who have assured us that a hand drawn plan with minor scale discrepancies would not be considered a significant issue by the assembly and would not interfere with it being approved.

Item 3 3. Please detail all noise mitigation measure related to music and any outdoor activities which take place.

• The updated narrative mention there may be outdoor music events, but only provided an end time of 10:00p.m. Outdoor music events can be very disruptive to neighboring property, which is why it is important to provide detailed information related to such an event (including noise mitigation measures, source location of outdoor music, expected volume/decibels etc...).

We are not seeking to add any music events that would fall outside of our previously approved existing conditional land use permit that is currently in effect. The single residential property that borders our land is approximately 300 feet from our facility and are frequent customers in our eatery, we maintain a good relationship with them and have had no complaints. We frequently monitor sound levels at our property line with an Extech sound level meter to ensure we are in compliance with 8.52 noise and amplified sound and vibration. If we were to hold an outdoor event with a band or loud music we will seek a temporary noise permit per MSB 8.55.

Based on our discussion I believe your primary concern was the scale map and clarification of some missing features and noise mitigation issues. I do hope this clarifies our response and addresses your concerns, if there is anything further needed please feel free to contact me at 907 7154382, or email Bob.brister@hotmail.com.

. Bob Brister

Peggy Horton

From: robert brister <bob.brister@hotmail.com>
Sent: Wednesday, August 10, 2022 4:52 PM
To: Bill Brister; Peggy Horton
Subject: Re: Floaters

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Bill and I have reviewed the document and approve the changes please move forward with the application.

From: Bill Brister <bill.brister@gmail.com>
Sent: Wednesday, August 10, 2022 4:47 PM
To: robert brister <bob.brister@hotmail.com>
Subject: Fwd: Floaters

Sent from my iPhone

Begin forwarded message:

From: Peggy Horton <Peggy.Horton@matsugov.us>
Date: August 9, 2022 at 4:10:34 PM AKDT
To: bill.brister@gmail.com, robert brister <bob.brister@hotmail.com>, Alex Strawn <Alex.Strawn@matsugov.us>
Subject: FW: Floaters

To all,

Please address any response to me as Mr. Strawn will be out the rest of the week. Let us know if the site plan is adequate to show your development or if any changes are needed and confirm the statements below, please.

Thank you,

Peggy Horton
Matanuska-Susitna Borough
Development Services Division
Planner II
907-861-7862

From: Alex Strawn <Alex.Strawn@matsugov.us>
Sent: Tuesday, August 9, 2022 3:53 PM
To: bill.brister@outlook.com
Cc: Peggy Horton <Peggy.Horton@matsugov.us>
Subject: Floaters

Good afternoon Bill,

It was a pleasure meeting with you and Bob today. Attached is the site plan I assisted you in putting together based on the information you provided. A few things mentioned at the visit today included the following:

There is a 8-10 tall berm along the western boundary of the property.

There will be no amplified outdoor music. A special event permit will be obtained for any event involving amplified outdoor music.

There is an outdoor beer garden gate that will remained locked while the bar is in operation.

The public must go through the pub in order to access the outdoor beer garden.

Signage on the front of the restaurant is lit with a backlight.

There is now plywood on the western side of the beer garden fence as a noise mitigation measure.

Please confirm that these statements are true and add anything I missed.

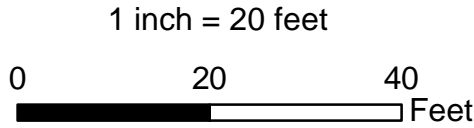
Thanks,
Alex Strawn
Planning & Land Use Director

Matanuska-Susitna Borough
350 E. Dahlia
Palmer, AK 99645
(907) 861-7850

SITE PLAN



Floaters Site Plan



Recent Correspondence

Mark Whisenhunt

From: Mark Whisenhunt
Sent: Friday, March 18, 2022 3:45 PM
To: 'bill.brister@gmail.com'
Subject: 2014 Conditional Use Permit and Blank Application from
Attachments: 2014 Permit Approval packet.pdf; Alcoholic Beverage Uses Application.pdf

Good Afternoon Bill,

I have attached a blank application form and the 2014 Conditional Use Permit for Floaters. In a separate email, I'll send you an example application to help you build your application.

General Conditional Use Permit modification process:

- Conditional Use Permits and modifications thereof are required to have a public hearing in front of the Matanuska-Susitna Borough Planning Commission. Prior to scheduling the hearing, we are required review your application and request/obtain all pertinent information in order to evaluate your request as the standards of MSB 17.70. Once we have received all required information and deem the application "complete," we will schedule a hearing. The hearing will be held approximately 8 to 10 week from the day we deem the application complete.
- We will then send out public notices in accordance with MSB 17.03. You are required to pay the advertising and mail costs related to these notices. These costs usually do not exceed \$150 total.
- All comments we receive will be forwarded to you. You may choose to respond to the comments, but are not required to. Your response should be sent to me directly.
- The staff working on your request will write a report and recommendation to the Planning Commission. When the report is finalized, it will be provided to you and to the Planning Commission. It will also be available for the public to review.
- At the public hearing you will have a 15 minute period available to you. You may use this time as you wish. Some applicants choose to have a presentation to clarify any topics of concern, but most use it to just be available for questions the Planning Commission may have. In any event, it is available to you.
- The Planning Commission typically make a decision on the request on the same night of the public hearing.

If you have questions, please feel free to give me a call or email. Thank you.

Respectfully,

Mark Whisenhunt
Planner II
Matanuska-Susitna Borough
Office: (907) 861-8527
mark.whisenhunt@matsugov.us



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-7876

E-mail: permitcenter@matsugov.us

July 22, 2014

Jeff Ross
Floaters
P.O. Box 521731
Big Lake, AK 99652

SUBJECT: Approval of Modified Conditional Use Permit for Floaters Beverage Dispensary
LOCATION: Fishers "Y" Subdivision, Block 2, Lot 3; 2990 S. Big Lake Road

Dear Mr. Ross:

On July 21, 2014 the Borough Planning Commission approved the Alcoholic Beverage Uses Conditional Use Permit for the enlargement of the outdoor service area and modification of the hours for outdoor amplified music in the Floaters beer garden. The Commission based this decision set forth in Planning Commission Resolution 14-19. A copy of this resolution is attached to the conditional use permit.

Please be advised that in accordance with MSB 15.39 – Board of Adjustment and Appeals, an appeal may be filed within 21 days from the date on which the written decision was issued. Appeals are filed with the Borough Clerk's office.

Should you have any questions or require additional information please let me know.

Sincerely,

Susan Lee
Planner II

Pc: Alcoholic Beverage Control Board



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-7876

Email: PermitCenter@matsugov.us

REGULATION OF ALCOHOLIC BEVERAGE USES CONDITIONAL USE PERMIT

PERMIT#: 177020140002

ACTION: In accordance with Matanuska-Susitna Borough Code 17.70, a conditional use permit to enlarge the outdoor service and modify the hours for outdoor amplified music in the Floaters beer garden is hereby granted as referenced within this document.

EFFECTIVE DATE: July 21, 2014

PERMITTED SITE: Fishers "Y" Subdivision, Block 2, Lot 3; 2990 S. Big Lake Road; Township 17 North, Range 3 West, Section 31, Seward Meridian

PERMITTEE: Jeff & PJ's Living Trust (Jeff & Pamela Ross)
P.O. Box 521731
Big Lake, AK 99652

PROPERTY OWNER: Jeff & PJ's Living Trust (Jeff & Pamela Ross)
P.O. Box 521731
Big Lake, AK 99652

General Requirements and Conditions:

All development and use of the permitted site shall occur as described in the approved application submitted and as further specified by the conditions listed herein. Any deviation from the requirements or conditions of this permit or from borough code may be grounds for penalties as authorized by borough code.

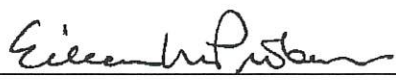
This permit does not constitute a license from the State of Alaska, Alcoholic Beverage Control Board. The permittee is required to comply with all applicable Alaska Statute provisions and all conditions of any license issued there under.

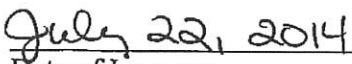
Specific Conditions of the Permit:

1. The owner and/or operator shall comply with all other applicable federal, state, and local regulations.
2. If the operation expands or alters from the information submitted in the application, an amendment to the conditional use permit shall be required.

3. Signage and lighting shall be limited to that which does not directly shine onto the adjacent properties or thoroughfares.
4. There shall be no outdoor amplified music between 10 p.m. and 12 p.m. (Noon), Monday – Sunday.
5. The operation shall comply with the maximum permissible sound level limits allowed, per the requirements of MSB 8.52 – Noise, Amplified Sound and Vibration.
6. The existing vegetative buffers shall be maintained as depicted on the site plan.
7. The fence surrounding the outdoor service area shall be maintained in good repair.
8. The service gate shall remain locked when the outdoor service area is in operation.
9. Patrons shall enter the outdoor service area through the bar.
10. All parking for the facility shall be on-site.
11. The 1998 and 2006 Conditional Use Permits are still in effect, except for the modifications to the outdoor service area and the hours for outdoor amplified music.

This permit is approved by Matanuska-Susitna Borough Planning Commission Resolution No. 14-19, passed on July 21, 2014. A copy of the resolution and site plan are attached. This permit may be appealed within 21 days of approval in accordance with MSB 15.39 Board of Adjustment and Appeals.


Eileen Probasco, Director
Planning and Land Use Department


Date of Issuance

By: Susan Lee
Introduced: June 16, 2014
Public Hearing: July 21, 2014
Action: Passed

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. 14-19**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT FOR THE EXPANSION OF THE OUTDOOR SERVICE AREA AT FLOATERS; LOCATED ON FISHERS "Y" SUBDIVISION, BLOCK 2, LOT 3; 2990 S. BIG LAKE ROAD; WITHIN TOWNSHIP 17 NORTH, RANGE 3 WEST, SECTION 31, SEWARD MERIDIAN.

WHEREAS, an application has been received from Jeff & PJ's Living Trust for the modification of the Floaters conditional use permit under MSB 17.70; and

WHEREAS, a conditional use permit is required for the modification of an existing conditional use in accordance with the terms of the existing permit; and

WHEREAS, the Planning Commission has reviewed this application with respect to standards set forth in MSB 17.70.100 and 17.70.110; and

WHEREAS, the applicant is proposing to add 6,500 square feet to the existing 1,320 square foot outdoor service area; and

WHEREAS, a liquor beverage dispensary has operated almost continually at this location since 1978; and

WHEREAS, an outdoor service area has been in operation at this facility since 2006; and

WHEREAS, Floaters is located on South Big Lake Road which is mostly developed with commercial properties; and

WHEREAS, the proposed conditional use permit modification is consistent with the Big Lake Comprehensive Plan; and

WHEREAS, there have not been any complaints filed regarding the operation of a beverage dispensary at this location; and

WHEREAS, the nearest other operating beverage dispensary in the Big Lake area is The Islander on Big Lake about two miles from this site; and

WHEREAS, the adjacent properties to the back (west) side of this lot are developed with residences, however, they are not visible from the bar or outdoor service area; and

WHEREAS, the site is in an area where uses are continuing established trend of a commercial center development along the South Big Lake Road; and

WHEREAS, the conditional use is compatible with and will preserve or not materially detract from the value, character and integrity of the surrounding area; and

WHEREAS, the Borough has no record of complaints filed under MSB Code 8.40, Liquor License Referrals, against the existing beverage dispensaries in the area; and

WHEREAS, the nearest school is Big Lake Elementary which is about 3,000 feet from this site; and

WHEREAS, the nearest church is about one mile from this site; and

WHEREAS, State regulations preclude beverage dispensaries within 200 feet of a school or church; and

WHEREAS, there are warning signs posted on both sides of the driveway alerting drivers of the bike path that runs in front of the property; and

WHEREAS, no evidence has been submitted indicating that this conditional use will be harmful to the public health, safety, convenience and welfare; and

WHEREAS, the existing building is set back over 100 feet from South Big Lake Road, about 20 feet from the south side yard lot line and about 100 feet from the north and west lot lines; and

WHEREAS, the proposed enlarged outdoor service area will be adjacent to the south side yard lot line, about 50 feet from the west (rear) lot line, and about 100 feet from the north side yard lot line; and

WHEREAS, the outdoor service area will be surrounded by fencing that is a combination of chain link and eight foot high wood fencing; and

WHEREAS, the gate on the north side of the fence is locked; and

WHEREAS, patrons must enter the beer garden through the bar. There is no exterior entrance into the outdoor service area; and

WHEREAS, there is a planted vegetative buffer along the north property line and a natural vegetative buffer along the south and west property lines; and

WHEREAS, sufficient setbacks, lot area, buffers or other safeguards are being provided; and

WHEREAS, there are two building mounted signs on the front of the building; and

WHEREAS, no new signage is proposed; and

WHEREAS, there is exterior lighting on the front and rear entrances and north corners of the property; and

WHEREAS, the exterior lights are on dusk timers and motion sensors and do not shine directly onto adjacent properties or thoroughfares; and

WHEREAS, the parking lot is gravel covered; and

WHEREAS, the outdoor service area will be open during the same time as the bar; and

WHEREAS, the current hours of operation are from 2 p.m. to 8 p.m., seven days a week; and

WHEREAS, there may be speakers in the outdoor service area connected to the television, radio or juke box; and

WHEREAS, there will not be any routine live music in the beer garden; and

WEHREAS, there will not be any outside amplified music from 10 p.m. to 12 p.m. (Noon), Monday - Sunday; and

WHEREAS, the operation must comply with the maximum permissible sound level limits allowed, per the requirements of MSB 8.52 - Noise, Amplified Sound and Vibration; and

WHEREAS; there will not be any negative effects upon the properties in the area due to such factors as dust, noise, obtrusive advertising and glare; and

WHEREAS, Floaters is accessed from South Big Lake Road from a 50 foot wide driveway; and

WHEREAS, traffic patterns have been established with the existing development on the site; and

WHEREAS, this stretch of South Big Lake Road is straight with no site obscuring objects; and

WHEREAS, there should not be any negative effect on the safe, efficient flow of traffic on any highway, arterial, collector or street from which access to and from the establishment is obtained; and

WHEREAS, measures are in place to reduce any negative effect upon adjacent and nearby properties, as the building is one-story in height, no new driveways are proposed, no new advertising is proposed, the outdoor service area is fenced, and the outdoor service area can only be accessed through the bar; and

WHEREAS, based on the borough parking policy, 22 spaces are required; and

WHEREAS, adequate parking is being provided as there is room for at least 30 regular parking spaces and one handicapped accessible parking space at this facility; and

WHEREAS, parking spaces are 10' x 20' in size with 25' of backing; and

WHEREAS, no new driveways are proposed for this facility; and

WHEREAS, traffic will be able to circulate through the parking areas; and

WHEREAS, parking areas are located on the east (front) and north sides of the building; and

WHEREAS, the enlargement of the beer garden should not change the established traffic patterns for this site; and

WHEREAS, access to the premise should not create an unreasonable traffic hazard; and

WHEREAS, the expansion of the beer garden should not greatly increase traffic in the area; and

WHEREAS, traffic will be similar to retail sales establishments generally permitted in the area; and

WHEREAS, the problem of increasing traffic along the two-lane South Big Lake Road created by increasing commercialization of the road should not be attributed to this one use; and

WHEREAS, traffic should not overtax the existing road systems; and

WHEREAS, there have not been any complaints filed with the borough regarding the operation of the beverage dispensary and associated outdoor service area at this establishment; and

WHEREAS, the proposed modification to the existing facility will be operating within an established commercial area that continues to expand and develop; and

WHEREAS, the proposed beer garden expansion is compatible with the character of the surrounding neighborhood; and

WHEREAS, staff obtained accident data from the Bureau of Highway Patrol for one square mile around the facility for the years 2012 - 2014 (to date) and there have been a total of 25 accidents for Driving Under the Influence; and

WHEREAS, there is no information available to determine where the individuals involved in the alcohol-related accidents obtained the alcoholic beverages; and

WHEREAS, based on all available information, this use will not result in a high crime rate or high incidence of alcoholic-related accidents in the area; and

WHEREAS, there is no evidence that the expansion of the outdoor service area for the beverage dispensary at this location will increase the crime rate in the area or increase alcohol-related accidents; and

WHEREAS, the Alcoholic Beverage Control Board (ABC) has no record of violations by Jeff or PJ Ross or Floaters; and

WHEREAS, the applicant has not had a liquor license suspended or revoked in the 12 months preceding the application; and

WHEREAS, there have not been any complaints filed or violations with the borough regarding the operation of a beverage dispensary at this location; and

WHEREAS, no information has been submitted indicating the applicant is untrustworthy or unfit to conduct business in the borough or that the applicant is a potential source of harm to the public; and

WHEREAS, the applicant has demonstrated that he is not untrustworthy or unfit to conduct business in the borough or that the applicant is a potential source of harm to the public; and

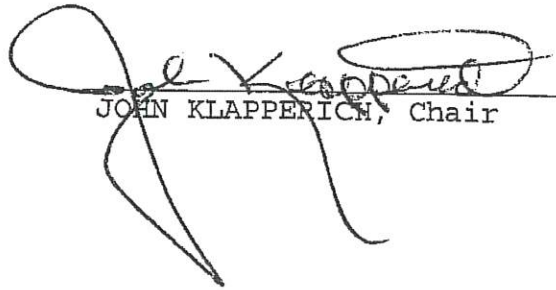
WHEREAS, the Matanuska-Susitna Borough Planning Commission adopts the findings of fact outlined in the staff report prepared and presented in the record for this resolution.

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby finds this application does meet the standards of MSB 17.70.100 and 17.70.110 and does hereby approve the conditional use permit for the expansion of the outdoor service area at Floaters with the following conditions:

1. The owner and/or operator shall comply with all other applicable federal, state, and local regulations.
2. If the operation expands or alters from the information submitted in the application, an amendment to the conditional use permit shall be required.
3. Signage and lighting shall be limited to that which does not directly shine onto the adjacent properties or thoroughfares.
4. There shall be no outdoor amplified music between 10 p.m. and 12 p.m. (Noon), Monday - Sunday.
5. The operation shall comply with the maximum permissible sound level limits allowed, per the requirements of MSB 8.52 - Noise, Amplified Sound and Vibration.
6. The existing vegetative buffers shall be maintained as depicted on the site plan.
7. The fence surrounding the outdoor service area shall be maintained in good repair.
8. The service gate shall remain locked when the outdoor service area is in operation.
9. Patrons shall enter the outdoor service area through the bar.
10. All parking for the facility shall be on-site.

11. The 1998 and 2006 Conditional Use Permits are still in effect, except for the modifications to the outdoor service area and the hours for outdoor amplified music.

ADOPTED by the Matanuska-Susitna Borough Planning Commission this 21st day of July, 2014.


JOHN KLAPPERICH, Chair

ATTEST


MARY BRODIGAN, Planning Clerk

(SEAL)

YES: *Endic, Healy, Klapperich, Walden, Kendig, and*
Rauchensteiner
NO:

Deep Woods

New 8' Fence

201001-0081

p.2

(Deep Wild Woods)

Scale
□ = 4' W



- New 9' Fence Proposed

Existing - 10' Chainlink Fence
* use existing chainlink fence on S. side

SEPT INSPECTION TUBE

Proposed New EXPANDED outdoor AREA

Big Tree

EXISTING SEPTIC SYSTEM

Table

Big Tree

10' x 40'

Buried SEPTIC TANK

Table

9' Locking Utility Gate

+100'

Existing "To Be Moved" 9' Fence

Existing, MSB Approved outdoor AREA

Deck

Existing Porch (Too close to Bldg)

Window

10' EASEMENT

Existing Building - No Changes

TOP GOLF COURSE

PROPOSAL # 3

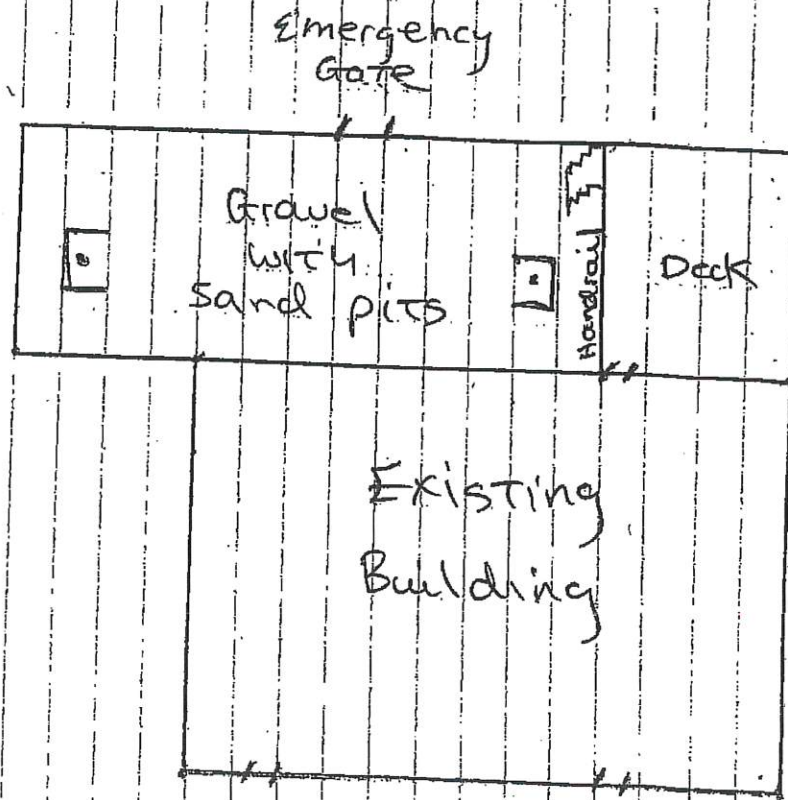
+100'

PARKING

South Bldg to Road +100'

10' Chainlink Fence on S. side

~~PROPOSED~~ MODIFICATIONS Scale $\square = 4\text{ft}$
Existing, Approved Bear garden



Deck is approx 18 in off the ground.
8 ft fence all around still leaves
6 1/2 ft of containment around
the deck area



MATANUSKA-SUSITNA BOROUGH

350 East Dahlia Avenue, Palmer, Alaska 99645-6488

Planning Department

Code Compliance Division (907) 745-9862

FAX (907) 745-9876

e-mail: ccb@msb.co.mat-su.ak.us

ALCOHOLIC BEVERAGE USES CONDITIONAL USE PERMIT #9802

Pursuant to MSB 17.70, the Planning Commission of the Matanuska-Susitna Borough granted this permit on November 16, 1998 by approval of Planning Commission Resolution No. 98-53(AM).

THIS PERMIT IS ISSUED TO:

Robin and Gerald Jeffery for Robin's Landing liquor beverage dispensary.

This permit recognizes the right of the permittee or his lawful successor-in-interest to operate and use the following described premises:

T.R.S.M.: Township 17 North, Range 3 West, Section 21, Seward Meridian
TAX PARCEL ID#: 1783B02L003 (Fishers "Y" Subdivision, Block 2, Lot 3)

for the following use: Liquor Beverage Dispensary

in conformance with the approved application and site plan, a copy of which is attached hereto, and the conditions specific to Resolution No. 98-53(AM).

This permit grants no additional rights to the holder of this permit other than the identification of a use which has been determined by the Borough to be authorized under MSB 17.70.

This permit does not constitute a license from the Alcoholic Beverage Control Board. The permittee is required to comply with all applicable Alaska statute provisions and all conditions of any license issued thereunder.

The violation of any condition of approval of this permit or of Federal, State or Matanuska-Susitna Borough laws governing the permitted use may constitute grounds for revoking this permit or for other actions or penalties authorized by law. No use is permitted by this permit other than as specifically described, including all conditions and terms of this permit.

This decision may be appealed within 15 Borough business days of the date of approval by the Planning Commission in accordance with MSB 15.39 Board of Adjustment and Appeals.

Marcell Martin
Marcell Martin, Director
Planning and Land Use Department

12/18/98
Date of Issuance

MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION 98-53 (AM)

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION
APPROVING A CONDITIONAL USE PERMIT UNDER MSB 17.70 TO ESTABLISH A
BEVERAGE DISPENSARY AT BLOCK 2, LOT 3, FISHERS "Y" SUBDIVISION

WHEREAS, an application has been received from Gerald and Robin Jeffery for a conditional use permit under MSB 17.70 to establish a beverage dispensary, known as Robin's Landing, at Block 2, Lot 3, Fishers "Y" Subdivision; and

WHEREAS, the Planning Commission has reviewed the application with respect to standards set forth in MSB 17.70.100 and 17.70.110; and

WHEREAS, the Commission finds that the conditional use will be compatible with and will not materially detract from the value character and integrity of the surrounding areas as the developed properties surrounding the proposed facility are mostly commercial and a beverage dispensary (Ship Ahoy) operated at this location from 1978 to 1997; and

WHEREAS, the Commission finds that granting this conditional use permit will not be harmful to the public health, safety, convenience and welfare; and

WHEREAS, sufficient setbacks, lot area, buffers, and other safeguards are being provided, as the site plan indicates that the building is in compliance with the setback requirements and the applicant will be planting a vegetative buffer around the site; and

WHEREAS, there will not be any negative effects upon other properties in the area as there will be a building mounted sign and the exterior lighting will be limited to that which does not directly shine on to adjacent properties or thoroughfares; and

WHEREAS, there should not be any negative effects to the safe efficient flow of traffic on to South Big Lake Road as the driveway is existing and this stretch of the road is straight with no site obscuring objects; and

WHEREAS, adequate parking facilities will be provided for the proposed facility; and

WHEREAS, the Commission finds that there is no evidence that the location of a liquor beverage dispensary at this location would increase the crime rate in the area or increase alcohol-related accidents; and

WHEREAS, the Commission finds that according to the records of the Alaska Alcoholic Beverage Control Board, the owners of the liquor license of this proposed facility have not been guilty of any violations of regulations of that Board; and

WHEREAS, the Planning Commission found no reason to believe that the applicant or any person with an interest in the application has demonstrated that he or she is untrustworthy or unfit to conduct the operation of a licensed business, or are a potential source of harm to the public because the Alaska Alcoholic Beverage Control Board reported that the applicants had no record of violations of its regulations.

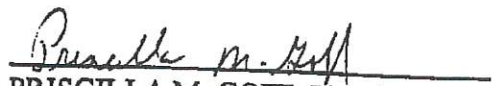
NOW, THEREFORE, BE IT RESOLVED that the Matanuska-Susitna Borough Planning Commission hereby adopts the staff report as findings in this matter and does hereby grant a permit under MSB 17.70 to Gerald and Robin Jeffery to establish a liquor beverage dispensary at Block 2, Lot 3, Fishers "Y" Subdivision, in accordance with application materials submitted with the following conditions:

1. The applicant comply with all other applicable federal, state and local regulations.
2. If the operation expands and/or alters, the Planning Commission will review the expansion and/or alteration plans for compliance with the intent of MSB 17.70.
3. Plant and maintain a vegetative buffer (as indicated in the application material) for a buffer and boundary protection along the property lines by July 30, 1999.
4. If Robin's Landing does not begin operating within three years from the date of issuance of the conditional use permit, the applicant will submit a request for an extension of time to begin operation, to the Planning Commission for review.

ADOPTED by the Matanuska-Susitna borough Planning Commission this 16 day of November, 1998.

ATTEST:


CRAIG SAVAGE, Chair


PRISCILLA M. GOFF, Planning Clerk
(SEAL)

Level Land Throughout - Natural Drainage
Rear Area of lot exists in its
natural wooded state

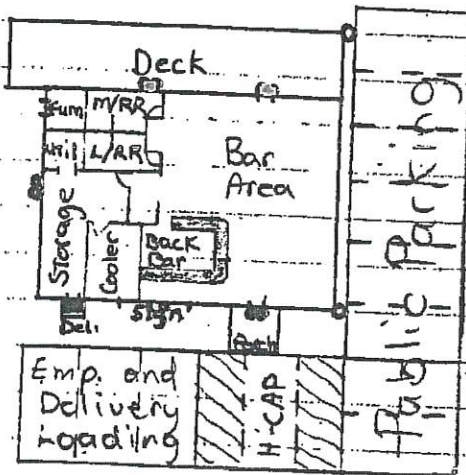
North
Arrow

Scale 1" = 8'

Util. Ease.
10ft.

EXISTING
Trailer Pad
Approx. 24 x 40

Septic



- Structure 36x52x1872 Sq. Ft. Area
- Rear Deck 12x58
- Front Porch 8x8
- Delivery Porch 4x4
- Exterior mounted Sign 12x4
- Exterior Lighting All Front, Rear Entrances & North Corners are on Dusk Time
- Two Motion Sensor
- Proposed Buffer and Boundary Protection Along Property Lines
- 36ct. Siberian Pea Shrub mature to 8-10ft. each w/ 6ft spread
- 12 clusters of Three
- Proposed Comp. may
- 30ct. Parking Space
- 2 Emp. - 1 Del. Loading
- 27 Public inc. 1 Handic
- All 10x20 with 8ft Side Access For Handic
- All with min. of 25ft Backing & loading Sepe
- 10ft. Utility Easement

Plot No. 79-440 Palmer
SM, T12N, R36W, Sec. 2
Fishers "Y" Sub B12 b1

Robin E. Jeffery
892-7939

← .25 mile
To Hollywood Blvd.

Big Lake Rd

→ .20 mile
To Roxas Rd.



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Planning Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 745-9833 • Fax (907) 745-9876

Email: planning@matsugov.us

MATANUSKA-SUSITNA BOROUGH ALCOHOLIC BEVERAGE USES CONDITIONAL USE PERMIT – CUP 2006-0004

Pursuant to MSB 17.70, the Planning Commission of the Matanuska-Susitna Borough granted this permit on November 20, 2006 by approval of Planning Commission Resolution No. 06-55.

THIS PERMIT IS ISSUED TO:

Robin Jeffery for Robin's Landing liquor beverage dispensary.

This permit recognizes the right of the permittee or his lawful successor-in-interest to operate and use the following described premises:

T.R.S.M.: Township 17 North, Range 3 West, Section 21, Seward Meridian
LOCATION ID: Fishers "Y" Subdivision, Block 2, Lot 3 (1783B02L003)

for the following use: Outdoor beverage service area (beer garden)

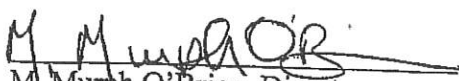
in conformance with the approved application and site plan, a copy of which is attached hereto, and the conditions specific to Resolution No. 06-55.

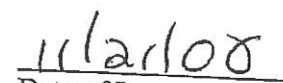
This permit grants no additional rights to the holder of this permit other than the identification of a use which has been determined by the Borough to be authorized under MSB 17.70.

This permit does not constitute a license from the Alcoholic Beverage Control Board. The permittee is required to comply with all applicable Alaska Statute provisions and all conditions of any license issued thereunder.

The violation of any condition of approval of this permit of Federal, State, or Matanuska-Susitna Borough laws governing the permitted use may constitute grounds for revoking this permit or for other actions or penalties authorized by law. No use is permitted by this permit other than as specifically described, including all conditions and terms of this permit.

This decision may be appealed within 15 calendar days of the date of approval by the Planning Commission in accordance with MSB 15.39 Board of Adjustment and Appeals.


M. Murph O'Brien, Director
Planning and Land Use Department


Date of Issuance

MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION 06-55

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT UNDER MSB 17.70 TO MODIFY THE BEVERAGE DISPENSARY CONDITIONAL USE PERMIT AT ROBIN'S LANDING ON BLOCK 2, LOT 3, FISHERS "Y" SUBDIVISION, WITHIN TOWNSHIP 17 NORTH, RANGE 3 WEST, SECTION 21, SEWARD MERIDIAN

WHEREAS, an application has been received from Robin Jeffery dba Robin's Landing, for a conditional use permit under MSB 17.70 to modify the existing permit by allowing beverage service outdoors in a fully enclosed area of horseshoe pits and a deck on Block 2, Lot 3, Fishers "Y" Subdivision; and

WHEREAS, the planning commission has reviewed this application with respect to standards set forth in MSB 17.70.100 and 17.70.110; and

WHEREAS, Robin's Landing has had a permitted beverage dispensary at this location since 1998 and there have not been any complaints filed regarding its operation; and

WHEREAS, this property is in an area where uses are continuing an established trend of a commercial center development along the South Big Lake Road; and

WHEREAS, the modification to the beverage dispensary conditional use permit is compatible with and should not detract from the character of the neighborhood; and

WHEREAS, the Borough has no record of complaints filed under MSB Code 8.40 (Liquor License Referrals) against the existing liquor beverage dispensaries in the area; and

WHEREAS, the facility is located within the Big Lake Comprehensive Plan planning area, which does not specifically address liquor beverage dispensaries; and

WHEREAS, the Borough code does not limit the number of these types of businesses in a given area; and

WHEREAS, the proposed use does not appear to be significantly harmful to the public health, safety, or welfare if operated in accordance with State alcohol laws and with Borough regulations; and

WHEREAS, the existing building and proposed modifications are in compliance with the setback requirements; and

WHEREAS, the outdoor service area will be enclosed within an eight foot high privacy fence; and

WHEREAS, the residences in the adjacent subdivision to the back of Robin's Landing are not visible from this facility; and

WHEREAS, sufficient setbacks, lot area, buffers, and other safeguards are being provided; and

WHEREAS, no new signage or lighting is proposed for the outdoor service area; and

WHEREAS, the hours of operation for the outdoor area will be the same as the bar; and

WHEREAS, there will not be any outdoor entertainment, such as amplified music; and

WHEREAS, Robin's Landing is accessed from South Big Lake Road and this stretch of the road is straight with no site obscuring objects; and

WHEREAS, there should not be any negative effect to the safe efficient flow of traffic along South Big Lake Road as the road is straight with no site obscuring objects in this area and traffic should be similar to retail businesses generally permitted in the Borough; and

WHEREAS, the proposed modification is to an existing facility that has been in operation since 1998 and the addition of the outdoor service area (deck and horseshoe pits) should not have a significant impact on the surrounding area; and

WHEREAS, based on the borough's parking policy, 22 parking spaces are required and 29 spaces are provided. Adequate parking is being provided; and

WHEREAS, no new driveways are proposed for this facility; and

WHEREAS, the addition of the outdoor service area to Robin's Landing should not increase traffic in the area. The problem of increasing traffic along the two-lane South Big Lake Road created by increasing commercialization of the road should not be attributed to this one use; and

WHEREAS, Robin's Landing has been operating at this location since 1998 and the proposed modification to the existing facility will be operating within an established commercial area that continues to expand and develop; and

WHEREAS, staff finds no standards that makes the proposed modification inherently incompatible with its surrounding neighborhood; and

WHEREAS, the nearest church is located approximately one mile away and Big Lake Elementary School is about .70 of a mile south of the site and State regulations preclude beverage dispensary licenses within 200 feet of a church or school; and

WHEREAS, staff collected accident data for one square mile around the facility for the years 2003 - 2004 and during this time period there were 15 accidents in the area, of which four were alcohol related; and

WHEREAS, presently there is no information available to determine where the individuals involved in the alcohol-related accidents obtained the alcoholic beverages; and

WHEREAS, no other information was received that indicates that this use would result in a high crime rate or high incidence of alcoholic-related accidents in the area; and


WHEREAS, the Alcoholic Beverage Control Board has no record of violations by Robin Jeffery dba Robin's Landing; and

WHEREAS, staff has no information indicating that the applicant is untrustworthy or unfit to conduct business in the borough or that the applicant is a potential source of harm to the public.

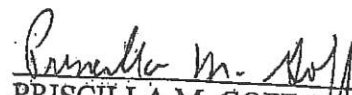
NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission finds this application does meet the standards of MSB 17.70.100 and 17.70.110 and does hereby approve the modification to the conditional use permit to allow an outdoor service area (deck and horseshoe pit area), with the following conditions:

1. The applicant shall comply with all other applicable federal, state, and local regulations.
2. If the operation expands or alters, an amendment to the conditional use permit shall be required.
3. No amplified music in the outside service area during Sunday through Thursday from noon to 4 p.m. and from 10 p.m. to noon, and on Friday and Saturday from noon to 4 p.m. and from 11 p.m. to noon and comply with all requirements of MSB Chapter 8.52 - Amplified Sound and Vibration.
4. The applicant will maintain the fence in good repair.

ADOPTED by the Matanuska-Susitna Borough Planning Commission this 20 day of November, 2006.


HELGA LARSON, Chair

ATTEST:


PRISCILLA M. GOFF, Planning Clerk

(SEAL)

Level Land Throughout - Natural Drainage
Rear Area of lot exists in its
natural wooded state

North
Arrow

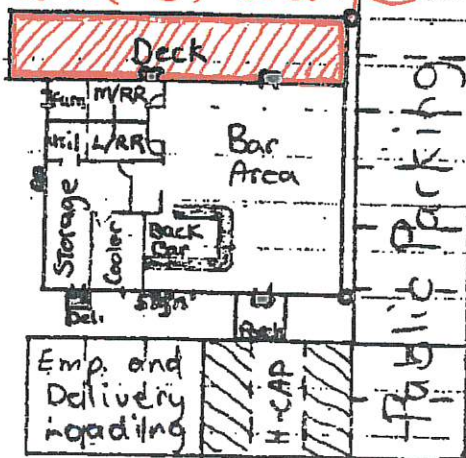
Scale 1" = 8'

Util. Ease.
10ft.

Existing
Trailer Pad
Approx 24x40

Original
Permit

area of change



Public
Parking

50ft.
Access

- Structure 36x52x11
1872 Sq. Ft. Area
Rear Deck 12x58
Front Porch 8x8
Delivery Porch 4x4
- Exterior mounted
Sign 12x4
- Exterior Lighting
All Front, Rear, Entrance
& North Corners are on Dusk Timer
Two More on Motion Sensor
- Proposed Buffer
and Boundary Protection
Along Property Line
30ct. Siberian Redwood
mature to 8-10ft
each 4/6ft spread
12 clusters of Three
- Proposed Comp. may
30ct. Parking Spaces
2 Emp. - 1 Del. Loading
27 Public inc. 1 Handic
All 10x20 with 8ft
Side Access for Handic
All with min. of 25ft
Backing & Loading Sepr
- 10ft. Utility Easement

Plot No. 79-440 Palmer
SM, T17N, R3W, Sec.
Fishers "Y" Sub B12 &

Robin S. Jeffery

-304.34-

-175.35-

← .25 mile
To Hollywood Blvd.

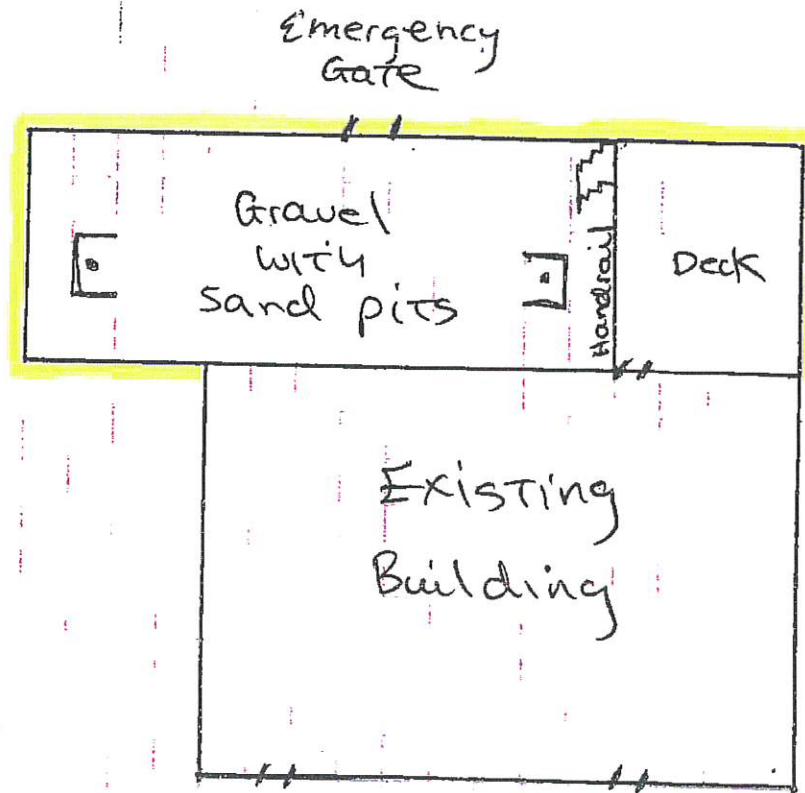
Big Lake Rd

→ .20 mile
To Roxas Rd.

892-1301

Proposed modifications

Scale $\square = 4\text{ ft}$



Deck is approx 18 in off the ground.
8 ft fence all around still leaves
6 1/2 ft of containment around
the deck area

Mark Whisenhunt

From: Mark Whisenhunt
Sent: Monday, March 21, 2022 7:17 AM
To: 'Bill Brister'
Subject: RE: Example MSB 17.70 Application Material

Breweries do not require a Conditional Use Permit, so there is no application on file. Thank you.

Respectfully,

Mark Whisenhunt
Planner II
Matanuska-Susitna Borough
Office: (907) 861-8527
mark.whisenhunt@matsugov.us

From: Bill Brister <bill.brister@gmail.com>
Sent: Saturday, March 19, 2022 10:03 AM
To: Mark Whisenhunt <Mark.Whisenhunt@matsugov.us>
Subject: RE: Example MSB 17.70 Application Material

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good morning Sir

Can I get a copy of the Big Lake Brewery as it is closer to what we are doing. Thanks

Bill Brister
R & B Alaska inc.
12270 E Outer Springer Loop
Palmer Alaska 99645
PH. 9079470401

From: Mark Whisenhunt <Mark.Whisenhunt@matsugov.us>
Sent: Friday, March 18, 2022 4:02 PM
To: bill.brister@gmail.com
Subject: Example MSB 17.70 Application Material

Example application for your convenience. Attached.

Respectfully,

Mark Whisenhunt
Planner II
Matanuska-Susitna Borough
Office: (907) 861-8527
mark.whisenhunt@matsugov.us

Mark Whisenhunt

From: Mark Whisenhunt
Sent: Friday, April 22, 2022 2:00 PM
To: 'Bill Brister'
Subject: Floaters RFAI Letter 4-22-22
Attachments: Floaters RFAI Letter 4-22-22.pdf

Please see the attached letter requesting information related to your application to modify and existing Conditional Use Permit. Thank you.

Respectfully,

Mark Whisenhunt
Planner II
Matanuska-Susitna Borough
Office: (907) 861-8527
mark.whisenhunt@matsugov.us



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

www.matsugov.us

April 22, 2022

Bill Brister
12270 E. Outer Springer Loop
Palmer, AK 99645

SUBJECT: CUP Application for Alcoholic Beverage Use – Request for Required Information
LOCATION: 2990 South Big Lake Road (Tax ID# 1783B02L003)

Dear Mr. Brister,

Borough staff has reviewed the application material and the site plan(s) submitted on March 21, 2022 to modify an existing conditional use permit for Alcoholic Beverage Use (Beverage Dispensary) per MSB 17.70 on the above referenced property. It has been determined that the following information needs to be provided and/or clarified in order to process this request:

1. The submitted site plan is insufficient.
 - a. Per MSB 17.70.030(B) the site plan must show “the proposed or existing location of all buildings and structures on the site, size, height and bulk of building, signage, access points, buffering, proposed contouring and landscaping, drainage, vehicular and pedestrian circulation patterns, parking areas and the specific location of the use or uses to be made of the development shall be submitted with the application.”
 - b. Also, see page 3 of the application for a list of items to be shown on the site plan (i.e. to-scale).
 - c. Ensure anything mentioned in the narrative must be shown on the site plan (i.e. access from property, parking spaces etc...).
 - d. Show any public/private easements on the subject parcel.
 - e. The submitted floor plans must also be to-scale and detailed sufficiently (a legend may help).
 - f. We cannot accept a certified as-built which has been hand modified by a person other than the certifier.
2. The narrative mentions “SIP.” Please identify this and all other acronyms.
3. Please detail all noise mitigation measure related to music and any outdoor activities which take place.
4. The narrative mentions the hours of operation being 11:00am to 12:00pm. Did you mean 11:00am to 12:00am (midnight)? Please update narrative appropriately.

5. Please provide a copy of the approved driveway permits for the access points onto the subject property.

Once an application has been determined to be complete, staff will begin the public notification process and schedule a public hearing.

Should you have any questions or require additional information, please feel free to contact me at the above mailing address, phone: 861-8527, or email: mark.whisenhunt@matsugov.us. Thank you for your time and consideration on this matter.

Respectfully,



Mark Whisenhunt
Planner II
Matanuska-Susitna Borough



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

www.matsugov.us

July 8, 2022

Bill Brister
12270 E. Outer Springer Loop
Palmer, AK 99645

SUBJECT: CUP Application for Alcoholic Beverage Use – Request for Required Information
LOCATION: 2990 South Big Lake Road (Tax ID# 1783B02L003)

Dear Mr. Brister,

Borough staff has reviewed the application material and the site plan(s) submitted on June 27, 2022 to modify an existing conditional use permit for Alcoholic Beverage Use (Beverage Dispensary) per MSB 17.70 on the above referenced property. It has been determined that the following information needs to be provided and/or clarified in order to process this request:

1. The submitted site plan is insufficient.
 - a. Per MSB 17.70.030(B) the site plan must show “the proposed or existing location of all buildings and structures on the site, size, height and bulk of building, signage, access points, buffering, proposed contouring and landscaping, drainage, vehicular and pedestrian circulation patterns, parking areas and the specific location of the use or uses to be made of the development shall be submitted with the application.”
 - b. Also, see page 3 of the application for a list of items to be shown on the site plan (i.e. to-scale).
 - c. Ensure anything mentioned in the narrative must be shown on the site plan (i.e. access from property, parking spaces etc...).
 - d. Show any public/private easements on the subject parcel.
 - *(a-d) The picture of a hand drawn site plan is insufficient and does not meet any of the requirements noted above. It may be beneficial to acquire help to develop your site plan.*
 - e. The submitted floor plans must also be to-scale and detailed sufficiently (a legend may help).
 - *Floor plans of the expansion have been received.*
 - ~~f. We cannot accept a certified as-built which has been hand modified by a person other than the certifier.~~
 - *This item is resolved. Thank you.*

- ~~2. The narrative mentions “SIP.” Please identify this and all other acronyms.~~

- *This item is resolved. Thank you.*
3. Please detail all noise mitigation measure related to music and any outdoor activities which take place.
- *The updated narrative mention there may be outdoor music events, but only provided an end time of 10:00p.m. Outdoor music events can be very disruptive to neighboring property, which is why it is important to provide detailed information related to such an event (including noise mitigation measures, source location of outdoor music, expected volume/decibels etc...).*
- ~~4. The narrative mentions the hours of operation being 11:00am to 12:00pm. Did you mean 11:00am to 12:00am (midnight)? Please update narrative appropriately.~~
- *This item is resolved. Thank you.*
- ~~5. Please provide a copy of the approved driveway permits for the access points onto the subject property.~~
- *This item is resolved. Thank you.*

Once an application has been determined to be complete, staff will begin the public notification process and schedule a public hearing.

Should you have any questions or require additional information, please feel free to contact me at the above mailing address, phone: 861-8527, or email: mark.whisenhunt@matsugov.us. Thank you for your time and consideration on this matter.

Respectfully,



Mark Whisenhunt
Planner II
Matanuska-Susitna Borough

From: [Peggy Horton](#)
To: [Mark Whisenhunt](#)
Subject: FW: Floaters CUP Application Bullet Points
Date: Tuesday, August 23, 2022 10:43:35 AM
Attachments: [Floaters RFAI Letter 7-28-22.pdf](#)

From: Peggy Horton
Sent: Thursday, July 28, 2022 3:46 PM
To: bill.brister@gmail.com; robert brister <bob.brister@hotmail.com>
Subject: Floaters CUP Application Bullet Points

Please read attached letter for bullet points. I tried to be as complete as possible and give you some reasoning for our questions.

Thank you,

Peggy Horton
Matanuska-Susitna Borough
Development Services Division
Planner II
907-861-7862



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

www.matsugov.us

July 28, 2022

Bill Brister & Bob Brister
12270 E. Outer Springer Loop
Palmer, AK 99645

SUBJECT: CUP Application for Alcoholic Beverage Use – Request for Required Information

Dear Mr. Brister and Mr. Brister,

I just want to start out by saying I understand that you are frustrated with the back and forth. Perhaps what is needed is an in-person meeting, at your place, or here at the borough building, where we can go over the application in full. This is an open invitation, let me know.

On Monday, July 25, 2022, the participants in a meeting (Mr. Bob Brister; Mayor Devries; Peggy Horton, Planner II; and Alex Strawn, Planning and Land Use Director) agreed to provide you bullet points for what is needed to fulfill a complete application. I developed this list after looking at the application available to me in our computer records and in paper form within the project folder. Unfortunately, I did not have access to previous phone conversations or email traffic between you and Mark Whisenhunt.

- When we speak about the requirements on a site plan, not everything needs to go on a single site plan, you may include multiple site plans to show the required items.

Discussion: The site plans should not show conflicting information as this would bring confusion into the mix. So far we have the 2020 as-built submitted with the original application with your drawing on it, a parking diagram submitted 6/27/2022, a new site plan with a different parking pattern, showing the expanded building, and with vehicular and pedestrian circulation submitted 7/26/2022, and engineer's plans of the existing facility.

- My understanding is, you want to move forward with the plans already provided. Is that true, or will you provide a site plan using a scale (which we can verify using a scaled ruler in our office) such as 1" = 30' or 1" = 50', or 10' increments thereof?

Discussion: The dimensions of the lot as shown on the 2020 as-built are the same as used on the parking plan/vehicle & pedestrian circulation plan submitted on 7/26/22, although the dimensions are really very hard to read, almost indecipherable. We see all the buildings, but we do not see a scale used. A scaled site plan lets the Planning Commission and staff see exactly how each component will fit and how much space, both empty and filled, there is on the property. It also ensures the development is built and used in accordance with the approved plans.

- Show on a site plan the location and type of existing vegetation to be retained and any proposed new vegetation. We don't need genus and species, just terms such as trees, bushes, plants, grasses, etc.

Discussion: The property has changed since 2014 (when the last update to the CUP was approved). Sound mitigation efforts approved in 2014 for Floaters included the "deep woods" along the western property line and the "deep wild woods" at the northwest corner. Those woods existed in 2016, but do not today (according to our 2021 aerial photography). The 2020 as-built shows a 10' utility easement and a 15' screening easement along the western property line. This screening easement was one of the vegetative buffers used in the 2006 and 2014 CUP for sound mitigation. The parking plan submitted 7/26/2022 shows that these two areas are proposed for parking and no longer used for a screening easement or as sound mitigation.

- The original narrative states flower beds will be installed spring 2022. Currently there are a few flower baskets hanging from the pub roofline. Decide what will be in your application.

Discussion: This should be discussed in your landscaping description.

- Please provide a copy of the original 2020 as-built, without your drawing on it, to show the existing easements on the property along the eastern, western, and southern sides.

- Are any of the light fixtures on the outside of the facility producing glare or light onto the neighboring properties?

Discussion: The application narrative states you are directing the lights downward, but if they are producing glare or light onto neighboring properties, there may be a requirement to place shields on them to mitigate that light spillage.

- Put all the signage for your business on the site plan or discuss in a narrative format. Is any of the signage lit in a way that will shine onto adjacent properties or into the road? If so, you may wish to change that so it does not.

Discussion: The code requires signage be shown on the site plan. The Floaters sign by the road is the only sign shown on any of the site plans provided. The sign on the front of the restaurant and on the roof of the pub are not described on your site plan or in the narrative. If you don't show it on the site plan, tell us about it in your narrative.

- Will you have outdoor amplified sound from a jukebox, or other noise making system? If yes, explain how you will keep the noise from impacting the current or future neighbors or neighboring commercial operations. Type and placement of speakers, times, decibel level, etc. are important factors for approval.

Discussion: You have stated an understanding that the operation shall comply with the maximum permissible sound level limits allowed per MSB 8.52 and if you decide to have outdoor band or music event you will obtain a temporary noise permit. The 2014 CUP approved the outdoor music partially due to the noise mitigation measures of the "deep woods" along the west boundary and the "deep wild woods" at the northwest corner. Those are no longer in place according to your most recent parking plan.

- The times approved in 2014 for no outdoor amplified music in the beer garden were 10 p.m. to 12 p.m. (noon) Monday – Sunday. Do you want to keep those same hours or change them? If changed, to what hours? If not doing any outdoor music, just say so.
- Can the public enter the outdoor service area without going through the bar?
- Is there an outdoor service area gate and will it remain locked when the outdoor service area is in operation?

Once an application has been determined to be complete, staff will begin the public notification process and schedule a public hearing.

Should you have any questions or require additional information, please feel free to contact me at the above mailing address, phone: 861-7862, or email: peggy.horton@matsugov.us. Thank you for your time.

Respectfully,

Peggy Horton

Peggy Horton
Planner II
Matanuska-Susitna Borough

Peggy Horton

From: Peggy Horton
Sent: Tuesday, August 9, 2022 4:10 PM
To: bill.brister@gmail.com; robert brister; Alex Strawn (Alex.Strawn@matsugov.us)
Subject: FW: Floaters
Attachments: Floaters.pdf

To all,

Please address any response to me as Mr. Strawn will be out the rest of the week. Let us know if the site plan is adequate to show your development or if any changes are needed and confirm the statements below, please.

Thank you,

Peggy Horton
Matanuska-Susitna Borough
Development Services Division
Planner II
907-861-7862

From: Alex Strawn <Alex.Strawn@matsugov.us>
Sent: Tuesday, August 9, 2022 3:53 PM
To: bill.brister@outlook.com
Cc: Peggy Horton <Peggy.Horton@matsugov.us>
Subject: Floaters

Good afternoon Bill,

It was a pleasure meeting with you and Bob today. Attached is the site plan I assisted you in putting together based on the information you provided. A few things mentioned at the visit today included the following:

- There is a 8-10 tall berm along the western boundary of the property.
- There will be no amplified outdoor music. A special event permit will be obtained for any event involving amplified outdoor music.
- There is an outdoor beer garden gate that will remained locked while the bar is in operation.
- The public must go through the pub in order to access the outdoor beer garden.
- Signage on the front of the restaurant is lit with a backlight.
- There is now plywood on the western side of the beer garden fence as a noise mitigation measure.

Please confirm that these statements are true and add anything I missed.

Thanks,
Alex Strawn
Planning & Land Use Director

Matanuska-Susitna Borough
350 E. Dahlia
Palmer, AK 99645

(907) 861-7850

From: [Mark Whisenhunt](#)
To: [robert brister](#)
Cc: [Bill Brister](#)
Subject: RE: Floaters LLC: Complete Application
Date: Friday, August 19, 2022 10:28:00 AM

Hi Bob,

I sent the email below to Bill yesterday. I'll be sure to include you as well in the future. Thanks.

Respectfully,

Mark Whisenhunt
Planner II
Matanuska-Susitna Borough
Office: (907) 861-8527
mark.whisenhunt@matsugov.us

From: Mark Whisenhunt
Sent: Thursday, August 18, 2022 3:06 PM
To: Bill Brister <bill.brister@gmail.com>
Subject: Floaters LLC: Complete Application

Greetings,

You now have a complete application associated with your request for a Conditional Use Permit to expand your beverage dispensary (bar) operation. I have scheduled a public hearing in front of the Planning Commission for **October 3, 2022 at 6:00 p.m.** in the Borough Assembly Chambers. The address is 350 E. Dahlia Avenue in downtown Palmer. Additionally, I have begun the public notification process.

Please note: At the public hearing you will have a 15 minute period available to you. You may use this time as you wish. Some applicants choose to have a presentation to clarify any topics of concern, but most use it to just be available for questions the Planning Commission may have. In any event, it is available to you.

Public Notice Process: I will keep you posted on any public comments we receive. After I receive the costs for the mailing and advertising, I will send you a letter requesting payment of said costs. You can expect the letter in about 2-3 weeks, via email.

Please let me know if you have any questions. Thank you for your time.

Respectfully,

Mark Whisenhunt
Planner II

Matanuska-Susitna Borough

Office: (907) 861-8527

mark.whisenhunt@matsugov.us

Mark Whisenhunt

From: Peggy Horton
Sent: Tuesday, August 23, 2022 10:44 AM
To: Mark Whisenhunt
Subject: FW: Floaters

From: Kendra Johnson <Kendra.Johnson@matsugov.us>
Sent: Wednesday, July 27, 2022 2:58 PM
To: Peggy Horton <Peggy.Horton@matsugov.us>
Subject: Floaters













