

CMP-7-6-3-22561

PLN - DVS - Permits - DVS - 9228000U012 -
Beverage Dispensary - 177020220001 - Big Lake
Brewing Company LLC

RECEIVED
AUG 17 2022
PERMIT CENTER



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

Email: permitcenter@matsugov.us

APPLICATION FOR A CONDITIONAL USE PERMIT REGULATION OF ALCOHOLIC BEVERAGE USES - MSB 17.70

NOTE: Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Borough staff will not process incomplete applications.

Application fee must be attached, check one:

☒ \$1,500 for Beverage Dispensary
☐ \$1,500 for Package Store

Required Attachments:

☒ Site plan as detailed on Page 3
☒ Narrative with operational details and all information required on Page 2
☒ State of Alaska Alcoholic Beverage License

Subject Property:

MSB Tax Account ID#(s): 9228000U012

Street Address: 5120 S Big Lake Road, Big Lake Alaska 99652

Facility/Business Name: Big Lake Brewing Company, LLC

Name of Property Owner

South Shore, LLC

Mailing: 4237 E Meridian Loop
Wasilla, AK 99654

Phone: Cell N/A

Wk 907-376-4711 Hm

E-mail: Todd@howdieinc.com

Name of Agent / Contact for application

Nathan J Hickman

Mailing: 2505 Barrow Street, Ste B
Anchorage, AK 99503

Phone: Cell 907-229-2028

Wk 907-278-4546 Hm N/A

E-mail: nathan@hmicak.com

	Attach a narrative explaining, in detail, how the applicant will meet the following requirements of MSB 17.70.	Attached
#1	How the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	
#2	How the granting of the conditional use permit will not be harmful to the public health, safety, convenience and welfare?	
#3	Are sufficient setbacks, lot area, buffers and other safeguards being provided?	
#4	Is there any potential negative effect upon other properties in the area due to such factors as dust, noise, obtrusive advertising and glare?	
#5	Is there any potential negative effect on the safe, efficient flow of traffic on any highway, arterial, collector or street from which access to and from the establishment is obtained?	
#6	What measures are being proposed to reduce any negative effect upon adjacent and nearby properties? (Example: visual buffers, planted berms, landscaping, reduction or elimination of obtrusive or garish signing or other features, lowered building elevation, clustering with other commercial establishments and use of frontage roads to reduce the number of entries and exits onto highways, arterials and collectors) Where the surrounding area is predominantly residential in character, do site and building design features that contribute to the residential character of the development?	
#7	Are there adequate parking facilities to accommodate a reasonably expected increased demand for parking created by issuing the permit?	
#8	Will access to the premises create an unreasonable traffic hazard?	
#9	Will a reasonably expected increase in traffic overtax the existing road system?	
#10	Is the use compatible with the character of the surrounding neighborhood?	
#11	Is there or would the use tend to result in, a high crime rate or a high incidence of alcohol-related accidents in the area?	
#12	Does the applicant or a person with an interest in the application have an interest in a liquor license which was suspended or revoked in the 12 months preceding the application?	No
#13	Has the applicant or person with an interest in the application demonstrated that the person is untrustworthy or unfit to conduct the operation of a licensed business, or is a potential source of harm to the public?	No
#14	What is the maximum occupancy capacity of facility as determined by Fire Marshall?	600
#15	What is the number of employees proposed to work on largest work shift?	30
#16	How many regular parking spaces will the use provide?	38
#17	How many handicapped parking spaces will the use provide?	4
#18	Is the use a sole occupant in a building or a tenant in a building?	Yes
#19	How much square footage will the proposed use occupy in the building?	18,500
#20	What are the proposed hours of operation?	11am - 12am
#21	What noise mitigation measures are proposed?	

	Submit a detailed site plan, <u>drawn to scale</u>. Drawings under the seal of an engineer or surveyor are recommended but not required.	Attached
A.	Show proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the liquor use. Draw lot dimensions and indicate setback distance of structure(s) from the lot lines, rights-of-way, and waterbodies.	A1.3
B.	Show the dimensions of all structures.	A1.3
C.	Show signage, existing and proposed.	Ex 1
D.	Provide interior floor plans specifying the location of the use or uses to be made of the development. Provide dimensions on the interior floor plan.	A1.3
E.	Provide the location and dimensions for all access points to and from the site to public rights-of-way.	Ex 1+2
F.	Indicate any existing or proposed land contouring.	N/A
G.	Indicate any existing or proposed vegetation or other landscaping.	Existing
H.	Indicate any existing or proposed buffering – fences, trees, or berms.	Existing
I.	Provide a drainage plan.	Existing
J.	Provide vehicular and pedestrian circulation patterns.	Ex 1+2
K.	Indicate exterior lighting plans.	A1.3
L.	Show the distance(s) to the nearest road intersection in all directions from proposed permit site along roads adjacent to the site.	Ex 1
M.	Provide the location and dimensions of proposed or existing parking areas.	Ex 1+2
N.	Indicate a scale and north arrow.	Ex 1

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Staff will provide applicant with a statement of advertising and mailing charges. Payment must be made **prior** to the application presentation before the Borough Planning Commission.

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax Account ID #(s) 9228000U012 and,
I hereby apply for approval an alcoholic beverage use conditional use permit on that property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.70 and with all other applicable borough, state, and federal laws.



I understand that other rules such as local, state, and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorizations may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety, and welfare, and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I understand that changes from the approved conditional use permit may require further authorization by the Borough Planning Commission.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

	Todd Nugent	8/17/22
Signature: Property Owner	Printed Name	Date
	Nathan J Hickman	8.17.2022
Signature: Agent	Printed Name	Date

MAT -SU BOROUGH

Back to Intranet (https://intranet.matsugov.us/) Home (/kmm)

Other Permits Master (/kmm/Lists/OtherPermitsMaster)

Permit ID	6058
Date Created	8/17/2022 1:54 PM
Customer Name	Big Lake Brewing Company
Customer Id	
Order Number	
Order Placed On	
Order Total	\$1,500.00
ConfirmationNumber	
PermitCreatedDate	
Payment Status	Paid
PermitStatus	
PermitAmount	\$1,500.00
Order Item Id	
PermitObjectID	
Ordered Product Details	
Customer Phone	9073518800
Facility Name (Optional)	Big Lake Brewing Company, LLC

Content Type: Other Permits
Version: 3.0
Created at 8/17/2022 1:54 PM by Darcy Hickman (/kmm/_layouts/15/listform.aspx?PageType=4&ListId={47131ed3-ca79-485a-807e-26d5f921a524}&ID=25955)
Last modified at 8/17/2022 2:09 PM by System Account (/kmm/_layouts/15/listform.aspx?PageType=4&ListId={47131ed3-ca79-485a-807e-26d5f921a524}&ID=1073741823)

Close

100'

100

EXISTING 6' FENCE

150'

9

518 E FIREWEED
PALMER, AK
T: 907.746.6670
F: 907.746.6680
wolfarchitecture.com

RESEARCH BY JEFF

**FIRST LEVEL
DIMENSION PLAN**

A1.3

A1.3

2

W

N

= EXTERIOR LIGHTING

Tammy Kent. G

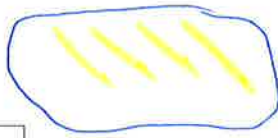
↑ Tannery Yunt: Court ↑




A1.3

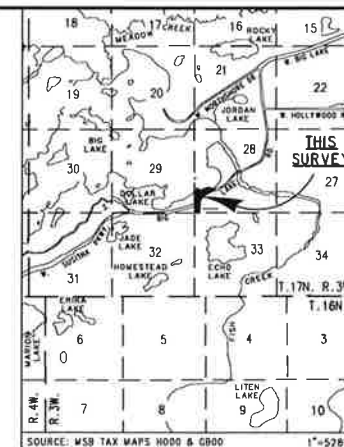
CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING	TANGENT
C1	485.34	819.67	33°55'34"	478.29	N50° 18' 08"E	250.02
C2	311.69	819.67	21°47'15"	309.81	N56° 22' 18"E	157.75
C3	173.66	819.67	12°08'19"	173.33	N39° 24' 31"E	87.15
C4	293.78	820.21	20°31'20"	292.22	S43° 35' 41"W	148.48
C5	491.85	1638.78	17°11'47"	490.01	S62° 28' 24"W	247.79
C6	25.04	820.21	1°44'58"	25.04	S52° 58' 52"W	12.52
C7	189.26	1638.78	6°37'01"	189.15	S57° 11' 01"W	94.73
C8	102.34	1638.78	3°34'41"	102.33	S62° 16' 52"W	51.19
C9	124.57	1638.78	4°21'19"	124.54	S66° 14' 52"W	62.31
C10	75.68	1638.78	2°38'46"	75.68	S69° 44' 54"W	37.85

CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING	TANGENT
C11	78.20	193.20	23°11'28"	77.67	S74° 30' 38"W	39.64
C12	71.72	20.00	205°27'53"	39.02	N37° 32' 35"W	88.51
C13	12.06	20.00	34°32'07"	11.87	N22° 27' 25"E	6.22
C14	20.94	20.00	60°00'00"	20.00	N35° 11' 22"E	11.55
C15	67.94	215.00	18°06'23"	67.66	S74° 14' 34"W	34.26
C16	99.42	215.00	26°29'40"	98.54	S83° 27' 25"E	50.61
C17	9.84	10.00	56°21'45"	9.45	S42° 01' 42"E	5.36

 = yellow dash is overflow parking

 = RED is vehicle traffic pattern

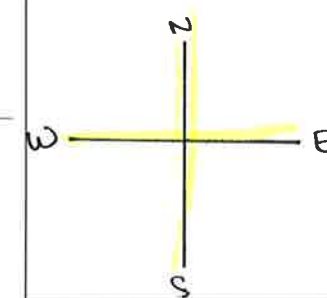
BIG LAKE



SECTION 34.08.170 OF THE COMMON INTEREST OWNERSHIP ACT REQUIRES THAT A CERTIFICATION BE MADE WHICH STATES THE PLAT CONTAINS THE INFORMATION AS SET FORTH IN SECTION 34.08.170.

I DO HEREBY CERTIFY THAT THIS PLAT IS A TRUE AND CORRECT LAYOUT OF UNITS ACCURATELY SURVEYED TO DEPICT A BOUNDARY AND AS-BUILT SURVEY, AND THAT THE INFORMATION AS REQUIRED BY ALASKA STATUTE 34.08.170 IS PROVIDED FOR ON THIS PLAT FILED HERewith

PROFESSIONAL LAND SURVEYOR
REGISTRATION NO. 1513312

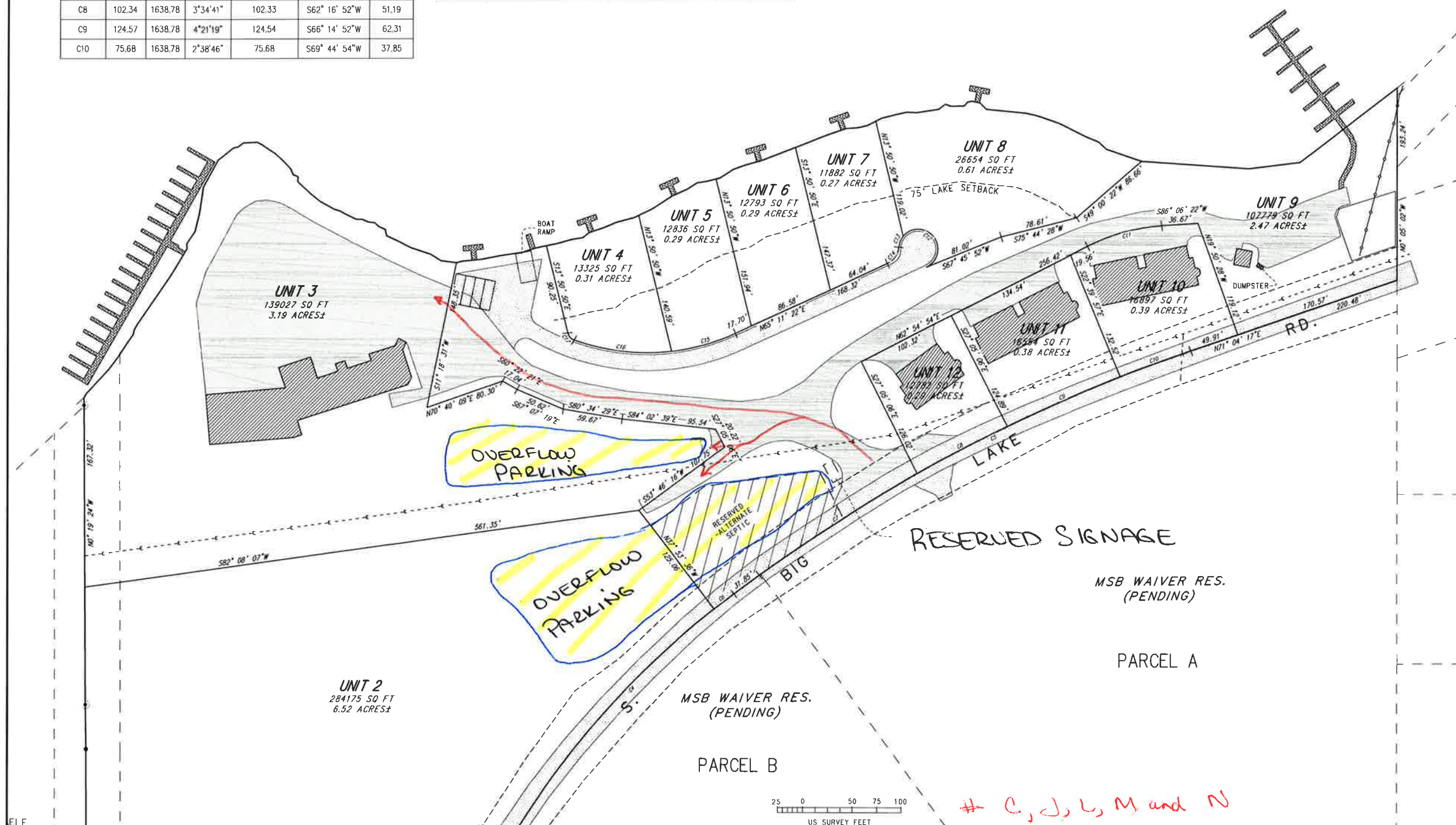


A CONDOMINIUM PLAT OF
BIG LAKE CONDOS
CREATING
UNITS 1 THRU 12
LOCATED ON
PARCEL 2
SOUTH PORT CONDOMINIUMS
PHASE II
(2007-138)

PALMER RECORDING DISTRICT
LOCATED WITHIN
SEC. 28, T. 17N. R. 3W. SM. AK
CONTAINING 19.53 ACRES MORE OR LESS

HANSON
LAND SOLUTIONS
ALASKA BUSINESS LICENSE #1525
305 EAST FIREWEED AVENUE
PALMER, ALASKA, 99645
(907)746-7738

FILE:FB21-205|CX:CEH|SCALE:1"=100'|10/12/21|2 OF 3



C, J, L, M and N

Exhibit 1

PARKING / TRAFFIC PATTERNS

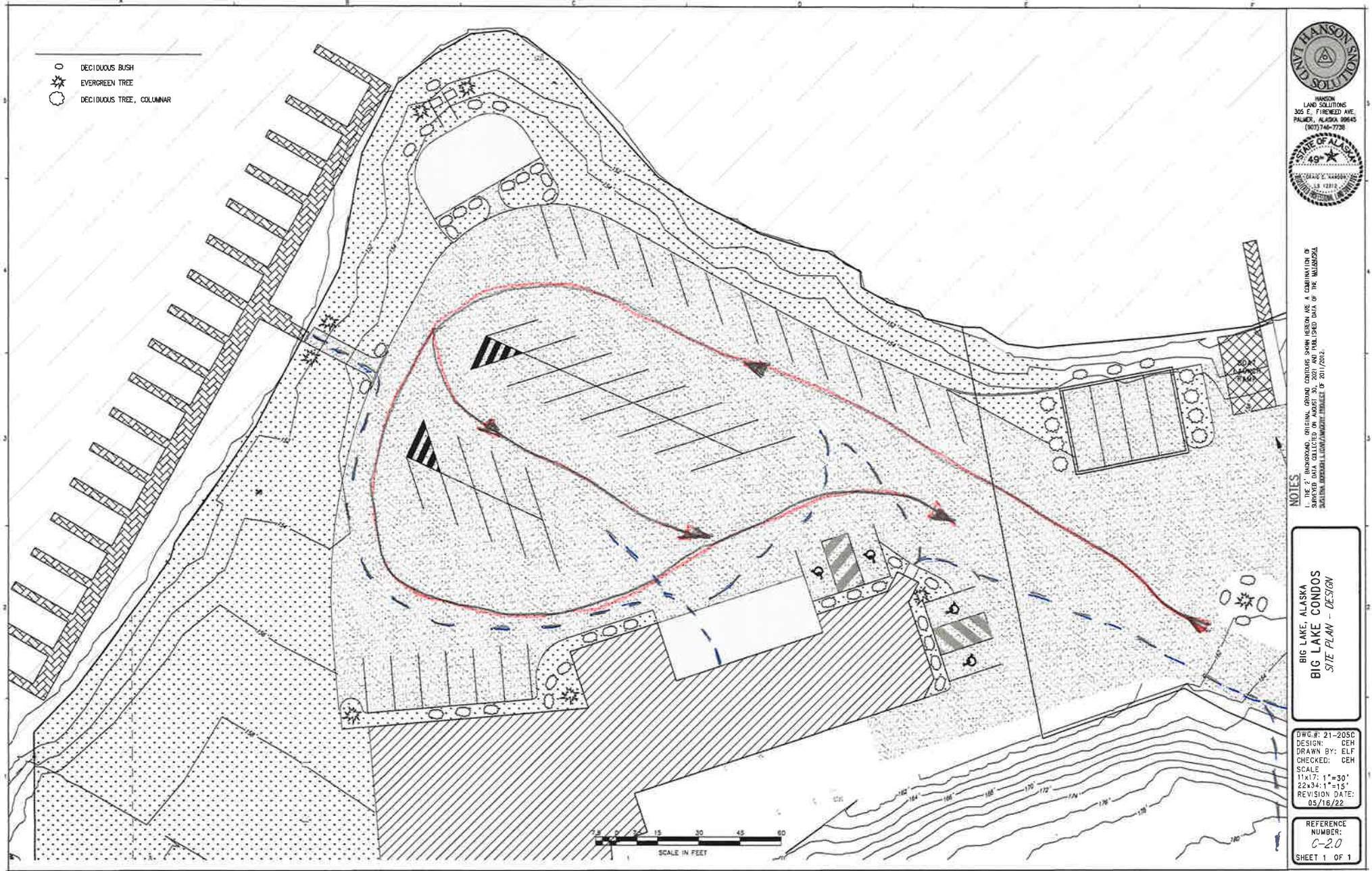


Exhibit 2
J & M

----- BLUE LINE = PEDESTRIAN TRAFFIC
 ————— RED = VEHICULAR TRAFFIC PATTERN



5120 S Big Lake Road, Big Lake Alaska 99652
907-892-BEER (2337)

In consideration of the conditional use permit MSM 17.7 for Big Lake Brewing Company, see following narrative:

(Item 1) The owners have procured said property that was previously used for

- Storage and repair of boats, snowmobiles, ATV's and highway vehicles, which left behind many truckloads of the same as well as parts and abandoned equipment. The owners have removed and remediated all existing property hazards including a 20,000-gallon fuel tank, fuel lines, and old docks.
- Aardvark Catering/Pizza Thyme utilized a smaller single-story portion of this facility to operate an establishment with a restaurant license and a beverage dispensary license.
 - This shows a pattern that the same location has been deemed safe and contributes to the surrounding community.

(Item 2) We have met with local fire stations and safety personnel on a several occasions and have coordinated efforts to continue safe egress and population welfare.

(Item 4, 10, 11) The property has been improved immensely to include new landscape, asphalt helping to keep the dust down. Drainage swales and docks, along with new siding and decks installed with natural colors that sync and agree with the surrounding vegetation adjacent properties and structures.

The updated facility has not only enhanced the lake and curb side appeal, but it has also proven to invite the local's and visitors alike, providing a sense of community and a safe gathering space. The owners intend to be a venue that can host many local events, such as markets, local music and art talents inside and out. Due to the community involvement and a responsible presence, and the implementation of security cameras will discourage and reduce crime. Hours of operation will agree with the neighbors, city ordinances and local partnership.

The use of the property will be similar to the adjacent property of Sunset View which hosts similar venues, so the noise should not be a factor.

(Item 3, 5, 7, 8 & 9) All roadway access has been improved to include asphalt, extended parking to the South and an existing boat ramp has been removed to further allow more safe parking and flow

of the same. The parking lot has been striped with parking stalls and arrows making the direction and flow clear.

(Item 6) The entrance from the main road has been widened and visually modified to allow safer traffic easement and flow. New signage will be installed using natural timbers and mild but adequate lighting for wintertime (no fluorescent or blinking lights). Landscaping has been added to match the properties next door, creating a uniform resort style look.

The facility enjoys patrons from the lake as well as the road and the addition of watercraft and floatplane docks has been embraced and continues to enhance the safe flow and access of guests from properties on Big Lake as well as outlying water ways.

(Item 10) Our facility is compatible with the surrounding area and the property has been operating in a similar capacity in excess of 10 years. Prior to Big Lake Brewing Company taking over the space at 5120 S Big Lake Road, The Aardvark Catering and Pizza Thyme operated in the space as a restaurant with a beer, wine and beverage dispensary license. Prior to their arrival on the property, there was a bar operating as the Play Buoy. On the adjacent property is the Sunset View Est operating as an establishment serving beer and wine that catered similar venues.

(Item 12, 13, 14, 15, 16) See CUP application page 2 of 4.

(Item 21) Noise mitigation is already in place due to the previous and current uses.

FORM CONTROL

0261

LIQUOR LICENSE
2022 - 2023**5992****ISSUED****02/22/2022****ABC BOARD**LICENSE RENEWAL APPLICATION DUE
DECEMBER 31, 2023 (AS 04.11.270(b))THIS LICENSE EXPIRES MIDNIGHT
FEBRUARY 28, 2024 UNLESS DATED BELOW

TYPE OF LICENSE:

Restaurant/Eating Place

LICENSE FEE:

\$600.00

1130

CITY / BOROUGH:

Outside City Limits

Matanuska-Susitna Borough

D/B/A:

Big Lake Brewing Company LLC

5120 S Big Lake Road, Big Lake

Mail Address:

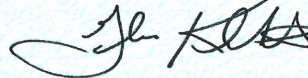
Big Lake Brewing Company LLC

2505 Barrow Street Ste B

Anchorage, AK 99503

This license cannot be transferred without permission
of the Alcoholic Beverage Control Board

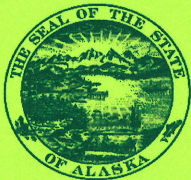
[] Special restriction - see reverse side

ISSUED BY ORDER OF THE
ALCOHOLIC BEVERAGE CONTROL BOARD

DIRECTOR

04-900 (REV 7/21)

THIS LICENSE MUST BE POSTED IN A VISIBLE PLACE ON THE PREMISES



State of Alaska

Alcoholic Beverage Control Board
RESTAURANT DESIGNATION PERMIT

AS 04.16.010(c), AS 04.16.049, and 3 AAC 304.715 - 795



This permit designates the licensed premises as a bona fide restaurant, hotel, or eating place for the following purposes:

- ☐ 1. Dining after standard closing hours: AS 04.16.010(c)
- ☒ 2. Dining by persons 16 – 20 years of age: AS 04.16.049(a)(2)
- ☒ 3. Dining by persons under the age of 16 years, accompanied by a person over the age of 21: AS 04.16.049(a)(3)
- ☒ 4. Employment for persons 16 or 17 years of age: AS 04.16.049(c)

NOTE: Under AS 04.16.049(d), this permit is not required to employ a person 18 - 20 years of age.

License #	5992
Fee	\$50

5. Limitations:

Items 2, 3 & 4 approved.

Items #2 & #3 - Unaccompanied minors may not dine at
at the bar or during live entertainment.Item #4 - Underage employees restricted to kitchen,
cleaning, host(ess) and various duties that do not involve
serving alcohol.

Big Lake Brewing Company LLC

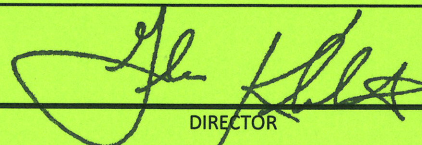
5120 S Big Lake Road

Big Lake, AK 99654

Big Lake Brewing Company LLC

2505 Barrow Street Ste B

Anchorage, AK 99503



DIRECTOR

This permit must be displayed in close proximity to the posted liquor license.

This permit terminates upon transfer/expiration of license.

Alaska Department of Commerce, Community, and Economic Development

Division of Corporations, Business, and Professional Licensing
PO Box 110806, Juneau, AK 99811-0806

This is to certify that

Big Lake Brewing Company, LLC

2505 Barrow Street, Ste B, Anchorage, AK 99503-2737

owned by

Big Lake Brewing Company, LLC

is licensed by the department to conduct business for the period

April 28, 2021 to December 31, 2022
for the following line(s) of business:

31 - Manufacturing



This license shall not be taken as permission to do business in the state without having complied with the other requirements of the laws of the State or of the United States.

This license must be posted in a conspicuous place at the business location.
It is not transferable or assignable.

Julie Anderson
Commissioner



Matanuska-Susitna Borough Business License #: 43892

350 E. Dahlia Ave, Palmer, Alaska 99645

Effective Date: JAN 17 2022

Expiration Date: DEC 31 2023

**This license must be prominently displayed.
It is not transferable or assignable.**

This license shall not be taken as permission to do business in the State without having complied with the other requirements of the laws of the State of Alaska or the United States.

DEPARTMENT OF FINANCE

BIG LAKE BREWING COMPANY, LLC

DARCY HICKMAN

2505 Barrow Street, Ste B

Anchorage, AK 99503

Business Location(s): 5120 S Big Lake Road

This is to certify that the licensee named above holds a Matanuska-Susitna Borough business license covering the period listed above.

Detach Here

BIG LAKE BREWING COMPANY, LLC

DARCY HICKMAN

2505 Barrow Street, Ste B

Anchorage, AK 99503

Fee Paid: \$100

License No.: MBL **43892**

Effective: JAN 17 2022 To DEC 31 2023

The above business has been licensed to conduct business in the Matanuska-Susitna Borough. The borough business license must be prominently displayed. When a business has more than one location, the original license shall be displayed at the main location and a copy of the license shall be displayed at each branch location. If the business is continued at the same location but there is a change in its form of organization, such as from a single proprietorship to a partnership or a corporation, the admission or withdrawal of a partner, or any other change, the seller making the change shall surrender his old borough business license to the borough for cancellation. When there is a change of location for the sellers place of business, a new business license is required showing the new address. Application for renewal of license shall be made before February 1 of the license year.



Mat-Su Borough Ecommerce Order Confirmation

Thank you for your recent order from the [Mat-Su Borough](#).

Click here to view [your services](#). Use this link to print/view licenses, permits, etc.

Order Details

Name: Darcy Hickman

Email: accounting@hmicak.com

Company:

Billing Address: 2505 Barrow Street, Ste B, Anchorage, Alaska, 99503, United States

Order Number: ORD-25955-74255-20220119

Order Placed On: Wednesday, January 19, 2022 1:05 PM

Payment Status: Paid

Product	Details	Price	Quantity	Total
MatSu Other Permit	Not downloadable or shippable product.	\$100.00	1	\$100.00

Order Subtotal: \$100.00

Total: \$100.00



P.O. Box 1906
Big Lake, Alaska 99652
541-505-15311

RECEIVED
OCT 24 2022

Mat-Su Borough
Development Services

October 24, 2022

Mark Whisenhunt
Planner II- Matanuska-Susitna Borough
350 East Dahlia Avenue
Palmer, Alaska 99645

SUBJECT: CUP Application for Alcoholic Beverage Use- Request for Required Information
LOCATION: 5120 South Big Lake Road (TAX ID# 92280000U012)

Dear Mr. Whisenhut,

Thank you for your letter of September 9, 2022 regarding your questions regarding our conditional use permit to operate Alcoholic Beverage Use (Beverage Dispensary). Below is the narrative addressing your concerns with back-up site plans attached for your files and reference.

In regards to the Mat-Su Bourghs questions:

1. Submitted site plan is insufficient.

- a. Updated floor and site plans with legends (Hanson Land Solutions site plan & Wolf Architectutre G1.02)*
- b. Updates site plan-design prepared by Hanson Land Solutions show all set-backs*
- c. Updated floor plans & site plan to scale with legend*
- d. Outdoor areas are drawn to scale per Hanson Land Solutions Sit plan design*

2. Site plan shows unit as unit 3 not 12

- a. Please see referenced Hanson Land Solutions site plan design.*



RECEIVED
OCT 24 2022

Mat-Su Borough
Development Services

3. Please detail what the proposed use is.

- a. The entire building consists of a small restaurant/cafe, Brewery and meetings space with full bar service with music venues indoor and outdoor area for various events including music***

4. Please detail noise mitigation measures as related to music and outdoor activities per MSB 8.52

- a. Interior and exterior walls are 8 & 10 inches thick with R30-60 insulation to buffer sound and vibration, with double pane windows to deaden any inside activities including music. Outdoor activities have a natural treeline/landscape buffer to the South and West with the Building itself providing a sound buffer on the East. Any and all outdoor activities including live music start no earlier than 1:00PM and end by 10:00PM on weeknights and no later than 11:00PM on weekend nights per MSB 8.25. In addition the main stage for outdoor activities is the stage illustrated on Wolf Architecture drawing G1.02 and buffered on 3 sides by 10 inch walls and insulated to R30 to buffer sound, noise, and vibration.***

5. Please provide a copy of the most recent fire marshal review/approval

- a. Please find attached***

Mark, thank you for your help and please let us know if there is any further information required. We would love to have you come by the end of this week to discuss any questions you may have. Please feel free to call myself or our colleague Marty Metiva on site @ 907-355-7934 to schedule a meeting.

Sincerely,

Whitney Dow
Vice-President
541-505-1531

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OCT 24 2022

Mat-Su Borough
Development Services

State of Alaska
Office of the State Fire Marshal
Plan Review

This is to certify that the plans for this building were reviewed by the *State Fire Marshal*
on December 21, 2021 for conformance with AS 18.70.010 -- 100, 13 AAC 50.027.

This certificate shall be posted in a conspicuous place on the premises named
Southport Marina/Fuel (Aardvark /Pizza/Retreat) and shall remain
posted until construction is completed.

NOTICE: Any changes or modifications to the approved plans must be resubmitted for
review by the *State Fire Marshal*.

Plan Review #: 2021Anch1759 By: _____

Steven Josten
Steven Josten
Plans Examiner

Authority: AS 18.70.080
Form: 12-741
(6/01)
Foundation ONLY

State of Alaska
Office of the State Fire Marshal
Plan Review

This is to certify that the plans for this building were reviewed by the *State Fire Marshal*
on December 23, 2021 for conformance with AS 18.70.010 -- 100, 13 AAC 50.027.

This certificate shall be posted in a conspicuous place on the premises named
Southport Marina/Fuel (Aardvark /Pizza/Retreat) and shall remain
posted until construction is completed.

NOTICE: Any changes or modifications to the approved plans must be resubmitted for
review by the *State Fire Marshal*.

Plan Review # 2021Anch1760

By:

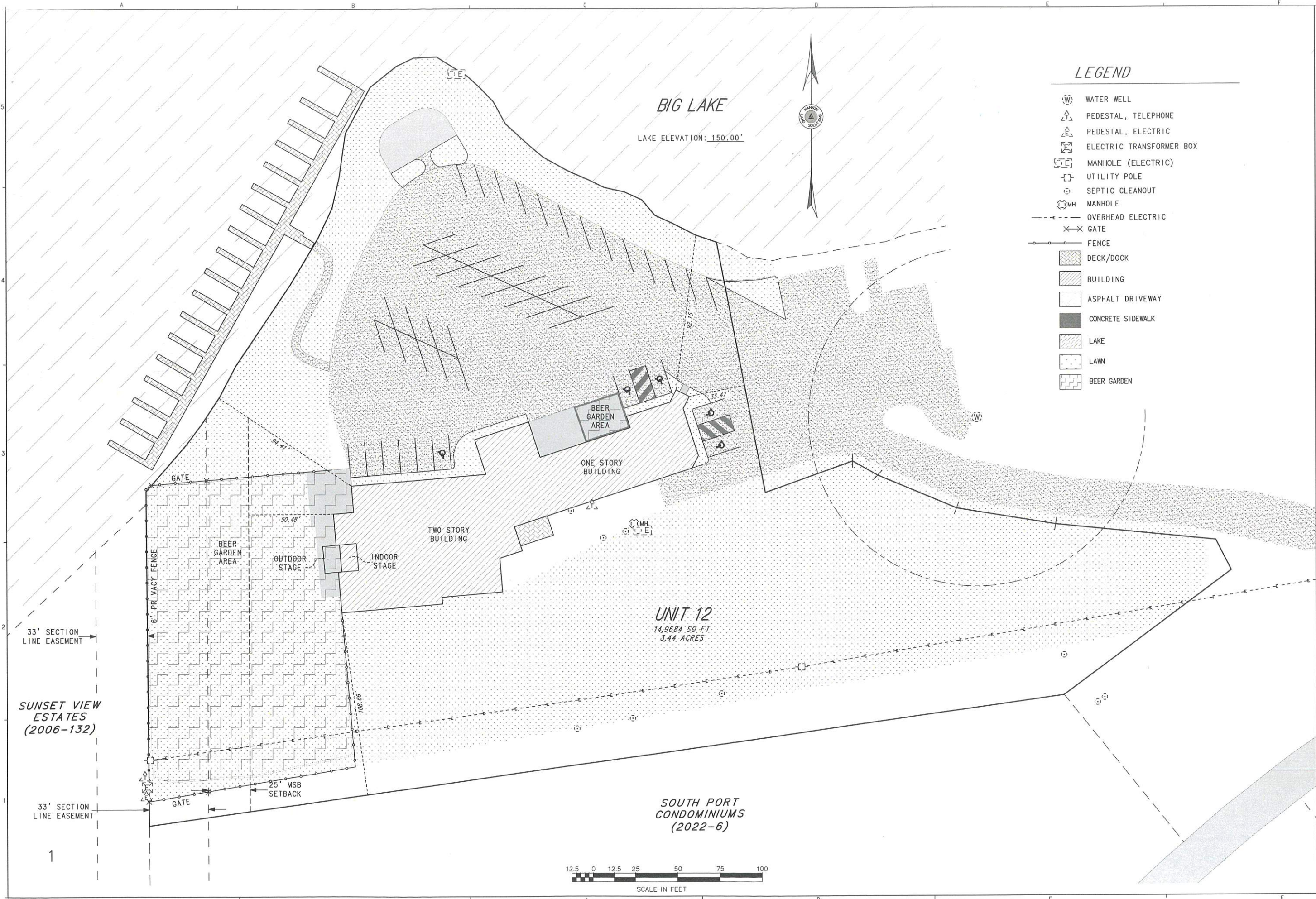


Steven Josten
Plans Examiner

Authority: AS 18.70.080
Form: 12-741
(6/01)
Framing ONLY

RECEIVED
OCT 24 2022

Mat-Su Borough
Development Services



LEGEND

- WATER WELL
- PEDESTAL, TELEPHONE
- PEDESTAL, ELECTRIC
- ELECTRIC TRANSFORMER BOX
- MANHOLE (ELECTRIC)
- UTILITY POLE
- SEPTIC CLEANOUT
- MANHOLE
- OVERHEAD ELECTRIC
- GATE
- FENCE
- DECK/DOCK
- BUILDING
- ASPHALT DRIVEWAY
- CONCRETE SIDEWALK
- LAKE
- LAWN
- BEER GARDEN



HANSON
LAND SOLUTIONS
305 E. FIREWED AVE.
PALMER, ALASKA 99645
(907) 746-7738



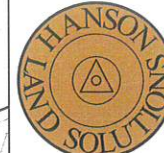
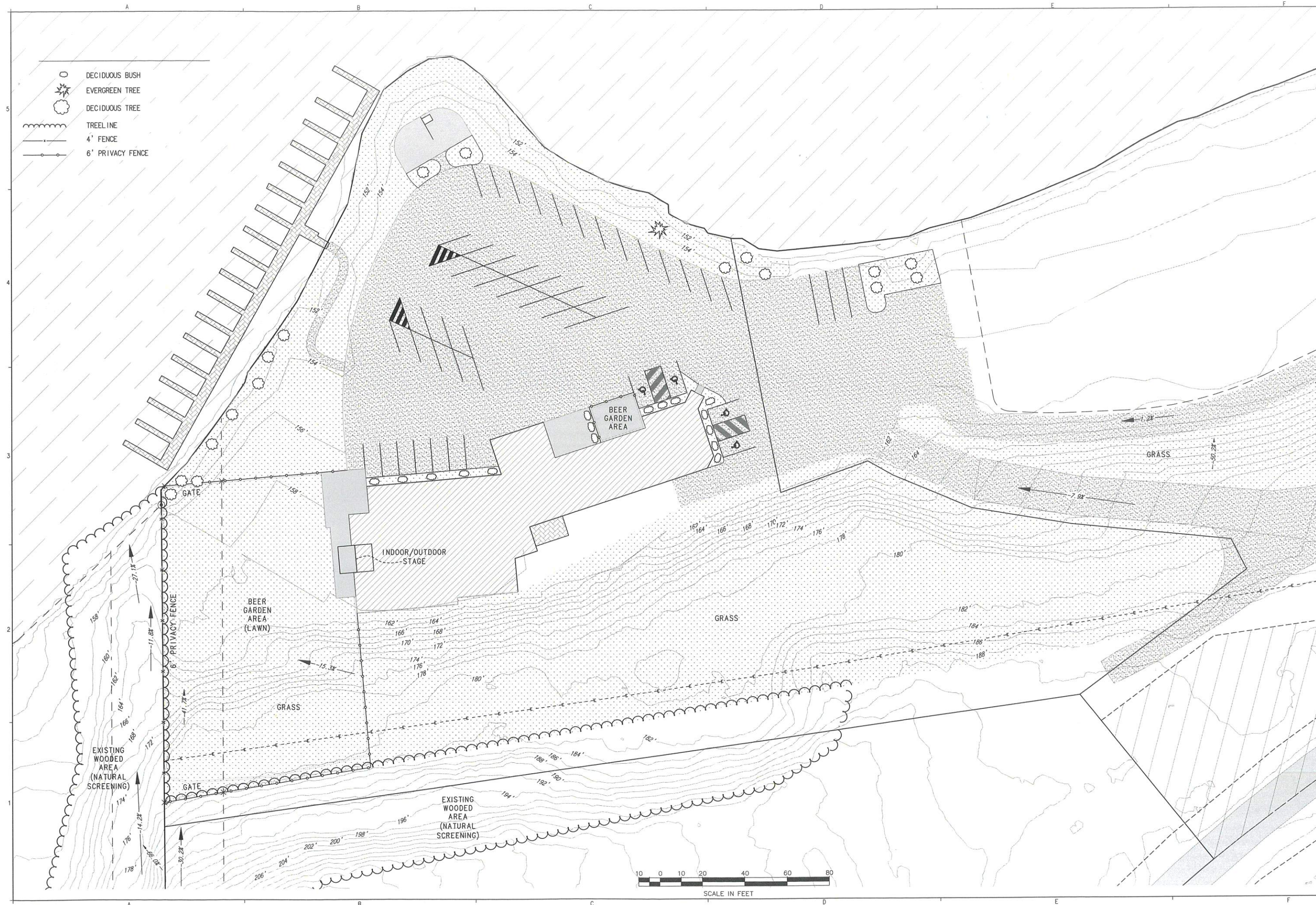
NOTES
1. THE 2' BACKGROUND, ORIGINAL GROUND CONTOURS SHOWN HEREON ARE A COMBINATION OF
SURVEYED DATA COLLECTED ON AUGUST 30, 2021 AND PUBLISHED DATA OF THE MATANUSKA
SUSTAINABLE BOROUGH LIDAR/IMAGERY PROJECT OF 2011/2012.

BIG LAKE, ALASKA
BIG LAKE CONDOS UNIT 12
SITE PLAN - GENERAL LAYOUT

DWG.#: 21-205C
DESIGN: CEH
DRAWN BY: ELF
CHECKED: CEH
SCALE
11x17: 1"=50'
22x34: 1"=25'
REVISION DATE:
12/19/22

REFERENCE
NUMBER:
C-2.0
SHEET 1 OF 2





HANSON
LAND SOLUTIONS
305 E. FIREWEED AVE.
PALMER, ALASKA 99645
(907) 746-7738



NOTES
1. THE 2" BACKGROUND, ORIGINAL GROUND CONTOURS SHOWN HEREON ARE A COMBINATION OF SURVEYED DATA COLLECTED ON AUGUST 30, 2021 AND PUBLISHED DATA OF THE MATANUSKA SUSTAINABLE BOROUGH LANDSCAPE PROJECT OF 2011/2012.

BIG LAKE, ALASKA
BIG LAKE CONDOS
LANDSCAPE PLAN

DWG.#: 21-205C
DESIGN: CEH
DRAWN BY: ELF
CHECKED: CEH
SCALE
11x17: 1"=40'
22x34: 1"=20'
REVISION DATE:
12/19/22

REFERENCE
NUMBER:
C-2.0
SHEET 2 OF 2

BIG LAKE BREWHOUSE

NATHAN HICKMAN

OWNER
NATHAN HICKMAN

907-229-2028

ARCHITECT

WOLF ARCHITECTURE, INC.
625 SOUTH COBB, STE. 200
PALMER AK 99645
907-746-6670
GARY WOLF

STRUCTURAL ENGINEER

PND ENGINEERS
1506 W. 36TH AVE.
PALMER AK 99503
907-561-1011
CHUCK KENLEY



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G1.05 TYPICAL ADA DETAILS
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S1.1 SPECIAL INSPECTIONS
S1.2 CONCRETE REINFORCING SCHEDULES AND TYPICAL DETAILS
S1.3 STRUCTURAL STEEL SCHEDULES AND TYPICAL DETAILS
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A1.4 SECOND FLOOR PLAN - DIMENSIONING

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A1.9 ROOF PLAN
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A3.5 WALL SECTIONS
A3.6 WALL SECTIONS
A6.0 WINDOW AND DOOR SCHEDULE
A9.0 BUILDING AXONOMETRIC VIEWS

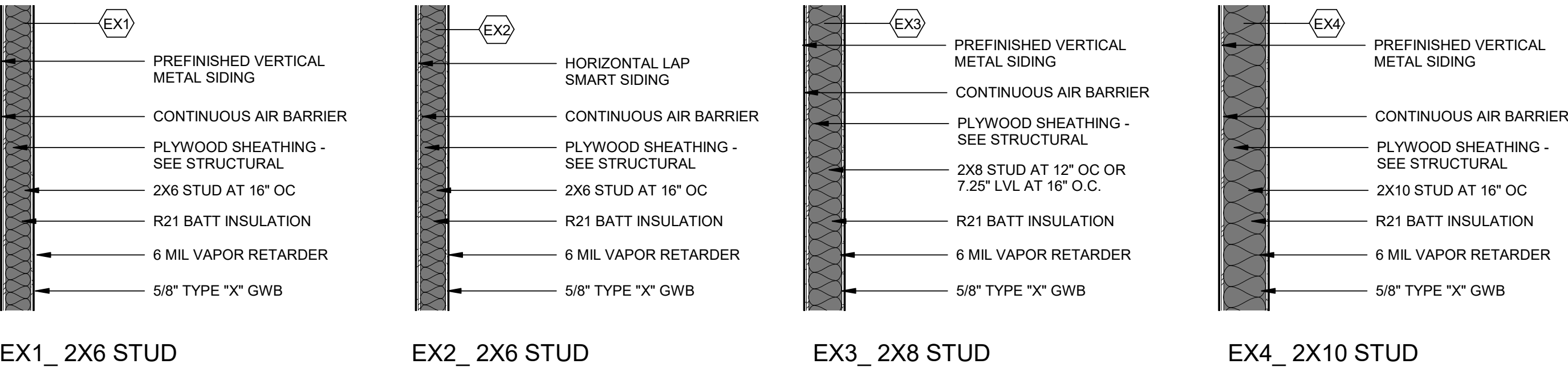
PROJECT INFORMATION

PROJECT NAME: BIG LAKE BREWHOUSE
PROJECT ADDRESS: 5120 S BIG LAKE RD, BIG LAKE, ALASKA 99652
ARCHITECT: WOLF ARCHITECTURE, INC. CONTACT: GARY WOLF
625 SOUTH COBB, STE. 200 PHONE: 907-746-6670
PALMER AK 99645 FAX: 907-746-6680
DESCRIPTION: MEDICAL OFFICE BUILDING RENOVATION
ZONING:

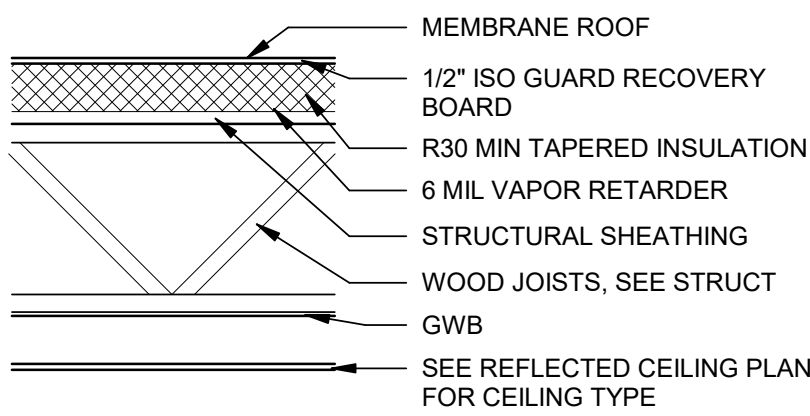


01-12-22 CONSTRUCTION DOCUMENTS

EXTERIOR WALL ASSEMBLIES

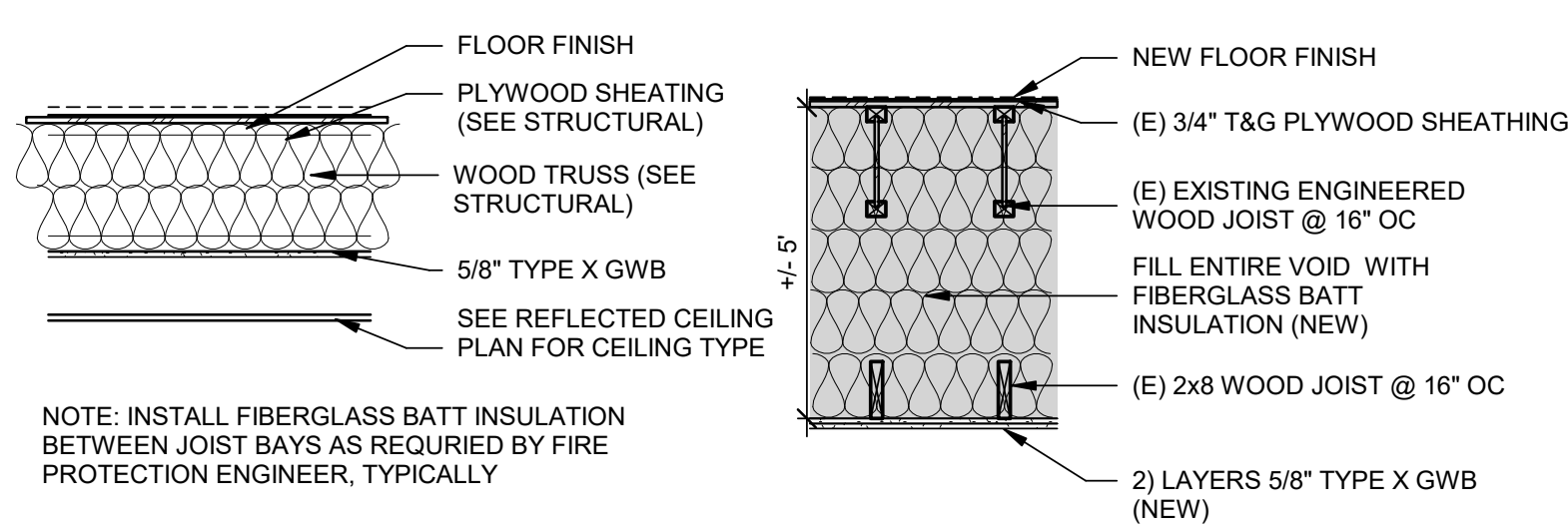


ROOF ASSEMBLIES



R1 - EX. LOW-SLOPE ROOF ASSEMBLY

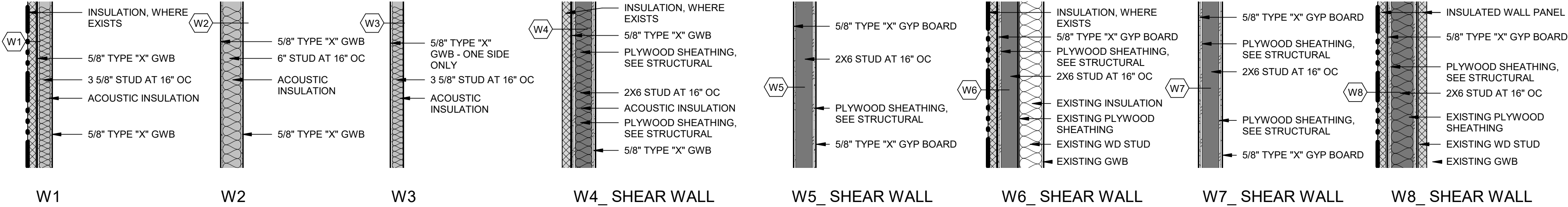
FLOOR / CEILING ASSEMBLIES



F1 - FLOOR CEILING ASSEMBLY

F2 - FLOOR/ CEILING ASSEMBLY
(EXISTING INTERSTITIAL SPACE)

INTERIOR WALL ASSEMBLIES



1 HOUR RATED ASSEMBLY
WHERE NOTED ON CODE
SHEETS:
- GA FILE NO: WP 0700
- UL DESIGN U407

WALL TAG KEY



WALL ASSEMBLIES

NOTES

- TYPICAL INTERIOR WALL ASSEMBLY IS TYPE W1 AND TYPICAL EXTERIOR WALL ASSEMBLY IS EX1 UNLESS SHOWN OTHERWISE. THE TYPICAL INTERIOR AND EXTERIOR WALL ASSEMBLIES ARE NOT TAGGED EXCEPT FOR CLARITY.
- A WALL ASSEMBLY CONTINUES THE FULL ROOM LENGTH, INCLUDING ANY JOGS, ANGLES, RECESSES, OR STUB WALLS FOR THE SIDE OF THE WALL UPON WHICH THE TAG OCCURS.
- WHERE DIFFERENT STUD SIZES OCCUR ALONG A CORRIDOR WALL, IT IS INTENDED THAT THE CORRIDOR SIDE FINISHES ALIGN
- ALL INTERIOR STUD FRAMING AND FURRING IS 16" O.C. UNO.
- SEE G SHEETS FOR FIRE RATING CLASSIFICATIONS OF WALLS.
- EXTEND FRAMING, INSULATION, & SHEATHING COMPONENTS TO BOTTOM OF DECK OR STRUCTURE ABOVE, UNLESS NOTED OTHERWISE.
- PROVIDE FS25 VAPOR BARRIER AT ALL WALLS/LOCATIONS NOTED WITH VAPOR BARRIER WHERE VAPOR BARRIER IS NOT COVERED BY SHEATHING (I.E., SHELL SPACES, INTERSTITIAL SPACES ABOVE CEILINGS).
- COMBINATION SHEATHING SUCH AS "B.C." INDICATES ONE SHEATHING MATERIAL ABOVE OR BELOW THE OTHER. SEE INTERIOR ELEVATIONS FOR EXTENT REFER TO STRUCTURAL DRAWINGS AND NOTES FOR PROPER INSTALLATION OF MATERIALS LISTED IN WALL ASSEMBLIES, INCLUDING INFILL CONNECTIONS AND CONNECTIONS TO FOUNDATION AND DECK.
- PROVIDE R-11 ACOUSTIC INSULATION IN INTERIOR FRAMED WALLS AS NOTED ON THE WALL ASSEMBLIES AND FLOOR PLANS. ACOUSTIC INSULATION IS NOT REQUIRED AT PARTIAL HEIGHT AND PARTIAL LENGTH WALLS, WALLS BETWEEN STORAGE ROOMS AND HALLWAYS, OR ELECTRICAL ROOMS.
- ALL GYPSUM BOARD TO BE TYPE "X" UNO. ALL GYPSUM BOARD IN "WET" ROOM WALLS (TOILET ROOMS, CUSTODIAL ROOMS) TO BE WATER RESISTANT TYPE EXCEPT AS NOTED. DO NOT USE WATER RESISTANT GYPSUM BOARD ON CEILINGS. WALLS BEHIND CERAMIC TILE FINISH TO RECEIVE CEMENT BACKER BOARD.
- ALL GYPSUM BOARD SURFACES TO BE PREPARED FOR PAINT GRADE FINISH UNO.
- FOR FINISHES, REFER TO FINISH SCHEDULE AND INTERIOR ELEVATIONS.
- WALL ASSEMBLY TAGS DESCRIBE MAJOR EXTENT OF EXTERIOR WALL ASSEMBLY, SEE ELEVATIONS AND DETAILS FOR TRANSITIONS IN, AND LOCATIONS OF, CHANGES IN EXTERIOR WALL ASSEMBLIES.
- PROVIDE ABUSE RESISTANT GYPSUM BOARDS WHERE NOTED ON INTERIOR ELEVATIONS.
- INSTALL TILE ASSEMBLIES PER TCASPECIFICATIONS

ARCHITECTURAL MATERIALS	
	GRID LINE
	DOOR IDENTIFICATION
	RELITE IDENTIFICATION
	WINDOW TYPE
	LOUVER TYPE
	REVISION
	MATCH LINE Shaded area is side considered
	WORK POINT, DATUM POINT, CONTROL POINT
	DETAIL Upper mark denotes drawing number Lower mark denotes sheet
	PARTIAL BUILDING SECTION
	BUILDING CROSS SECTION
	INTERIOR ELEVATION Elevation number denoted in arrow Sheet number denoted in box
	ROOM IDENTIFICATION
	CODED NOTE
	WALL TYPE
	EQUIPMENT IDENTIFICATION
	DASHED LINE Used to denote items hidden, overhead, not in contract (NIC), or to be removed
	BREAK LINE Material to continue
	CENTER LINE, GRID LINES
	PROPERTY LINE
	EXISTING CONTOUR, DISTURBED
	NEW CONTOUR
	EXISTING CONTOUR, UNCHANGED
	NEW FINISH GRADE
	EXISTING GRADE
	TOP OF FOOTING
	TOP OF WALL
	TOP OF CURB
	TOP OF PAVEMENT

ARCHITECTURAL MATERIALS	
DETAIL INDICATIONS	
	ACOUSTIC TILE OR BOARD
	ASPHALT CONCRETE PAVING
	ROOFING
	BRICK
	CONCRETE
	PRECAST CONCRETE
	CONCRETE MASONRY UNIT
	EARTH / FINISH GRADE
	GLASS
	GRAVEL
	GYPSUM BOARD
	INSULATION, BATT
	INSULATION, RIGID
	MORTAR, PLASTER, SAND
	MDF
	PLYWOOD
	WOOD, FINISH
	WOOD FRAMING Continuous member
	WOOD FRAMING Interrupted member
PLAN INDICATIONS	
	STUD WALL
	BRICK
	CONCRETE MASONRY UNIT
	CONCRETE

ABBREVIATIONS	
∠	ANGLE
CL	CENTERLINE
#	POUND OR NUMBER
&	AND
AT	AT
@	DEGREE
±	PLUS / MINUS
Ø	DIAMETER
A/C	AIR CONDITIONING
AB	ANCHOR BOLT
AC	ASPHALT CONCRETE
ACOUS	ACOUSTICAL
AD	AREA DRAIN
ADDL	ADDITIONAL
ADJ	ADJUSTABLE
ADJT	ADJACENT
AFF	ABOVE FINISHED FLOOR
AGGR	AGGREGATE
AJ	ACCENT JOINT
AL	ALUMINUM
ALT	ALTERNATE
ANC	ANCHOR(AGE)
APC	ACOUSTICAL PANEL CEILING
APPD	APPROVED
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASB	ASBESTOS
ASPH	ASPHALT
AUTO	AUTOMATIC
AWP	ACOUSTICAL WALL PANEL
BD	BOARD
BET	BETWEEN
BITUM	BITUMINOUS
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BM	BEAM
BOF	BOTTOM OF FRAME
BOM	BOTTOM OF MASONRY
BOTT	BOTTOM
BRG	BEARING
BSMT	BASEMENT
BUR	BUILT UP ROOF
C	COURSES
CAB	CABINET
CB	CATCH BASIN, CHALKBOARD
CC	CUBICLE CURTAIN & TRACK
CEM	CEMENT
CER	CERAMIC
CG	CORNER GUARD
CI	CAST IRON
CIP	CAST-IN-PLACE CONCRETE
CJ	CONTROL JOINT
CLG	CEILING
CLKG	CAULKING
CLD	CLOSET
CLR	CLEAR, COLOR
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
CO	CLEANOUT
COL	COLUMN
COMBO	COMBINATION TPD, SNR, & SCD
COMP	COMPOSITION, COMPOSITE
CONC	CONCRETE
CONN	CONNECTION
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACTOR
COORD	COORDINATE
CORR	CORRIDOR
CPT	CARPET
CT	CERAMIC TILE

ABBREVIATIONS	
CTR	CENTER
CW	CURTAIN WALL
D	DEEP, DEPTH
DBL	DOUBLE
DEMO	DEMOLISH, DEMOLITION
DET	DETAIL
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIA-G	DIAGONAL JOINT
DIM	DIMENSION
DISP	DISPOSAL
DIV	DIVISION
DN	DOWN
DMU	DAMP-PROOFING)
DR	DOOR
DS	DOWNSPOUT
DSP	DRY STANDPIPE
DWIG	DRAWING
DWR	DRAWER
E	EAST
EA	EACH
EHD	ELECTRIC HAND/HAIR DRYER
EJ	EXPANSION JOINT
EDW	EDGEWARE
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR
EM	ENTRY MAT
EMB	ENAMELED MARKING BOARD
EMER	EMERGENCY
ENCL	ENCLOSURE
EP	ELECTRICAL PANELBOARD, EPOXY PAINT
EPT	EPOXY PAINT
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EYEWASH
EWG	ELECTRIC WATER COOLER
EXC	EXCAVATE
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EXPO	EXPOSED
EXT	EXTERIOR
FA	FIRE ALARM
FAB	FABRICATE
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET (RECESSED)
FEC-S	FIRE EXTINGUISHER CABINET (SEMI-RECESSED)
FF	FACTORY FINISHED
LMS	LIQUID MARKING SURFACE
FFL	FINISHED FLOOR LINE
FHC	FIRE HOSE CABINET
FIN	FINISH
FLASH	FLASHING
FLR	FLOOR, FLOORING
FLUOR	FLUORESCENT
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOM	FACE OF MASONRY
MC	MEDICINE CABINET
MCSF	MINERAL COMPOSITE SCULPTURAL PANEL
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MED	MEDIUM
MEMB	MEMBRANE
MEZZ	MEZZANINE
MFR	MANUFACTURER

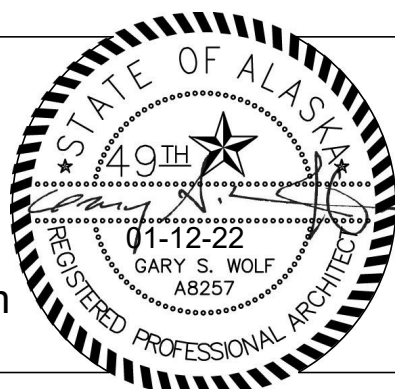
ABBREVIATIONS	
FT	FOOT, FEET
FTG	FOOTING
FURR	FURRING
FUT	FUTURE
FWC	FABRIC WALL COVERING
GA	GAUGE
GALV	GALVANIZED
GB	GRAB BAR
GEN	GENERAL
GI	GALVANIZED IRON
GL	GLASS
GLB	GLUE LAMINATED BEAM
GLZ	GLAZING
GMU	GLAZED MASONRY UNIT
GND	GROUND
GR	GRADE
GYP	GYPSUM BOARD (SCHEDULES ONLY)
GYP BD	GYPSUM BOARD
H	HIGH
HB	HOSE BIB
HC	HOLLOW CORE, HANDICAP (ACCESSIBLE)
HD	HEAD
HDW	HARDWARE
HWOD	HARDWOOD
HORIZ	HORIZONTAL
HSS	HOLLOW STEEL SECTION
HT	HEIGHT
HTG	HEATING
HVAC	HEATING/ VENTILATING/ AIR CONDITIONING
HW(H)T	HOT WATER HEATER (TANK)
I/S	INSIDE
ID	INSIDE DIAMETER (DIM)
INCL	INCLUDE
INFO	INFORMATION
INSUL	INSULATION
INT	INTERIOR
INTERCOM	INTERCOMMUNICATION
JAN	JANITOR
JST	JOIST
JT	JOINT
KIT	KITCHEN
L	LENGTH, LONG
LAB	LABORATORY
LAM	LAMINATE
LAV	LAVATORY
LKR	LOCKER
PTD	PAPER TOWEL DISPENSER
LN	LINOLEUM
LT	LIGHT, LEFT
LV	LOUVER
MACH	MACHINE
MATL	MATERIAL
MAX	MAXIMUM
MB	MARKING BOARD
MBR	MEMBER
MC	MEDICINE CABINET
MCSF	MINERAL COMPOSITE SCULPTURAL PANEL
MDF	MEDIUM DENSITY FIBERBOARD
MECH	MECHANICAL
MED	MEDIUM
MEMB	MEMBRANE
MEZZ	MEZZANINE
MFR	MANUFACTURER

ABBREVIATIONS	
MH	MANHOLE, MOP HOLDER
MIN	MINIMUM
MIR	MIRROR
MIR-S	MIRROR W/ SHELF
MISC	MISCELLANEOUS
MO	MASONRY OPENING
MT(D)	MOUNT(ED)
MTL	METAL
MUL	MULLION
N	NORTH
NAT	NATURAL
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
NTS	NOT TO SCALE
O/S	OUTSIDE
OA	OVERALL
OBS	OBSOLETE
OC	ON CENTER
OCC	OCCUPANT, OCCUPANCY
OD	OUTSIDE DIAMETER (DIM)
OFCI	OWNER FURNISHED CONTRACTOR
INSTALLED	INSTALLED
OFF	OFFICE
OFI	OWNER FURNISHED OWNER INSTALLED
OH	OVERHEAD
OH	OVERHEAD DOOR
OPNG	OPENING
OPP	OPPOSITE
ORIG	ORIGINAL
PAR	PARALLEL
PB	PEG BOARD
PC	PRECAST
PCC	PORTLAND CEMENT CONCRETE
PCD	PAPER CUP DISPENSER
PERF	PERFORATED
PERP	PERPENDICULAR
PL	PLATE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLUMB	PLUMBING
PLYWD	PLYWOOD
PNL	PANEL
POS	POSITIVE
PR	PAIR
PREFAB	PREFABRICATE(D)
PREFIN	PREFINISHED(D)
PROJ	PROJECT
PS	PROJECTION SCREEN
PT	POINT, PAINT
PTD	PAPER TOWEL DISPENSER
PTDR	COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE
PTN	PARTITION
PTR	PAPER TOWEL RECEPTACLE
PVMT	PAVEMENT
PWP	PLASTIC WALL PROTECTION
QT	QUARRY TILE
R	RISER, RADIUS
R&S	CLOSED ROD & SHELF
RAF	RESILIENT ATHLETIC FLOORING
RB	RUBBER BASE
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
RDO	ROOF DRAIN, OVERFLOW
REBAR	REINFORCING BAR
RECD	RECEIVED
REF	REFERENCE
REFL	REFLECTED
REFR	REFRIGERATOR
REINF	REINFORCE(D)(ING)

ABBREVIATIONS	
REQD	REQUIRED
RESIL	RESILIENT
RF	ROOF
RFT	RESILIENT FLOORING TILE
RH	ROBE HOOK
RM	ROOM
RO	ROUGH OPENING
RSD	RECESSED SOAP DISPENSER
RST	RUBBER STAIR TREAD
RT	RIGHT
RWL	RAIN WATER LEADER
S	SOUTH
SC	SOLID CORE
SCD	SEAT COVER DISPENSER
SCHED	SCHEDULE
SD	SOAP DISPENSER
SDG	SIDING
SECT	SECTION
SHR	SHOWER
SHT	SHEET
SHTG	SHEETING / SHEATHING
SIM	SIMILAR
SLR	SEALER
SNR	SANITARY NAPKIN DISPENSER
SNR	SANITARY NAPKIN RECEPTACLE
SPEC	SPECIFICATION
SQ	SQUARE
SS	SOLID SURFACE
SSK	SERVICE SINK
SST	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STN	STAIN
STOR	STORAGE
STRFT	STOREFRONT
STRUCT	STRUCTURAL
SUB	SUBSTITUTE
SUSP	SUSPENDED
SV	SHEET VINYL
SWC	SANITARY WALL COVERING
SYM	SYMMETRICAL
SYS	SYSTEM
T	TREAD, TEE
TB	TOWEL BAR, TACK BOARD
TC	TOP OF CURB
TEL	TELEPHONE
TEMP	TEMPORARY
TERR	TERRAZZO
TF	TOP OF FOOTING
THK	THICK
THRU	THROUGH
TOP	TOP OF FRAME
TOM	TOP OF MASONRY
TP	TOP OF PAVEMENT
TPD	TOILET PAPER DISPENSER
TR	TOWEL RACK
TS	TUBE STEEL
TV	TELEVISION
TVB	TELEVISION BRACKET
TW	TOP OF WALL
TVB	TYPICAL
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UPT	UNGLAZED PORCELAIN TILE
UR	URINAL
USK	UTILITY SINK
VB	VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VENT	VENTILATE
VER	VERIFY
VERT	VERTICAL
VEST	VESTIBULE
VOL	VOLUME
VRB	VENTILATING RUBBER BASE
VTR	VENT THROUGH ROOF
VWC	VINYL WALL COVERING
W	WEST, WIDE, WIDTH
W	WITH
WD	WASHER/DRYER
WO	WITHOUT
WC	WATER CLOSET
WD	WOOD
WDW	WINDOW
WH	WALL HUNG
WP	WATERPROOF, WALL PADS
WPTL	WOOD PRESERVATIVE TREATED LUMBER
WS	WEATHER STRIPPING
WSC	WAINSCOT
WT	WEIGHT
WTR	WATER
WWF	WELDED WIRE FABRIC

Wolf
ARCHITECTURE

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wolfarchitecture.com



BIG LAKE BREWHOUSE
CONSTRUCTION DOCUMENTS
BIG LAKE BREWING COMPANY
5120 S BIG LAKE RD, BIG LAKE, ALASKA 99652

PROJ NO 2113
DRAWN LR
CHECKED GW
DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
ARCHITECTURAL
SYMBOLS AND
ABBREVIATIONS

G0.02

PLUMBING FIXTURE CALCULATIONS

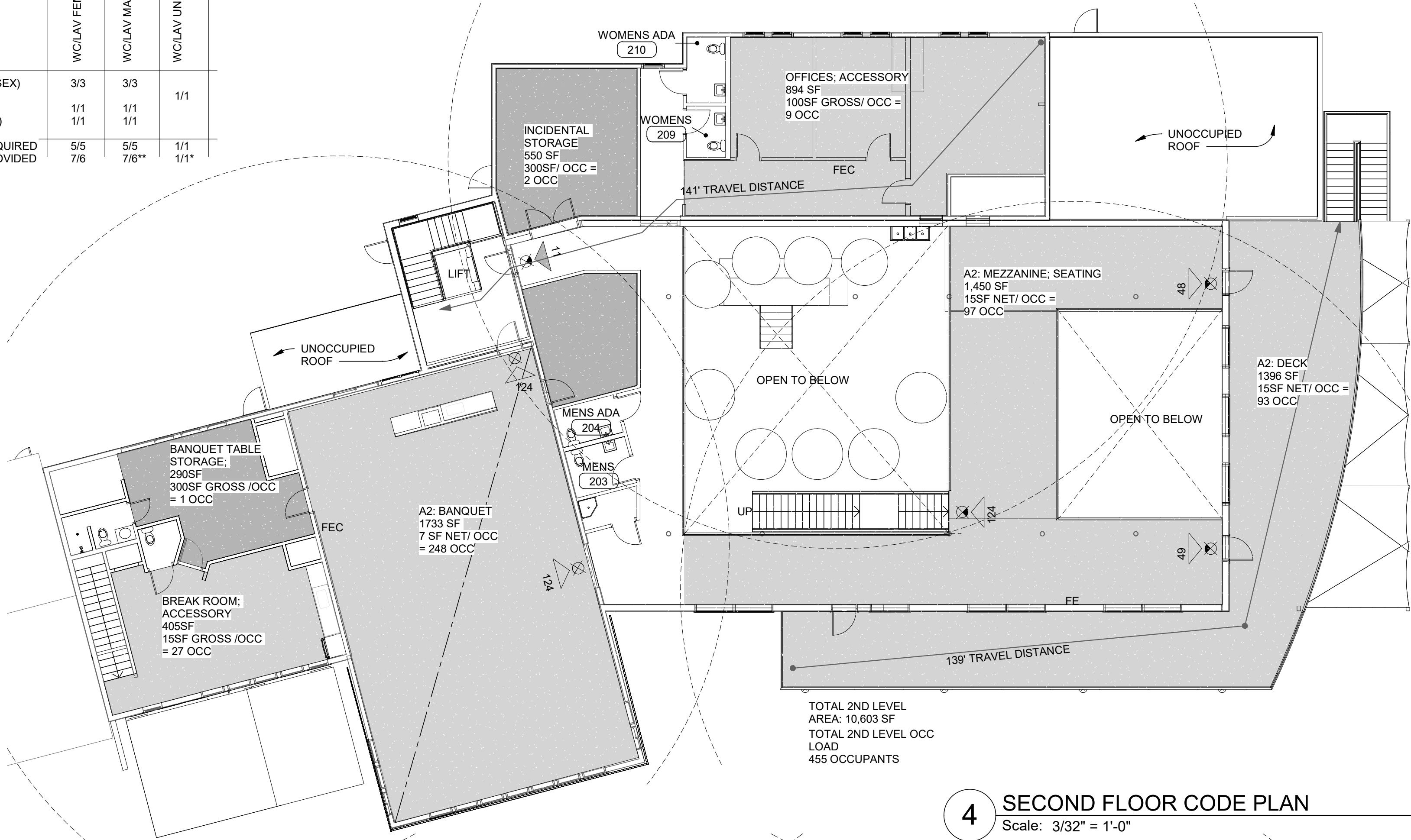
BASED ON 1997 UNIFORM PLUMBING CODE AND AK AMENDMENTS

OCCUPANCY:		AREA 1ST FLOOR	AREA 2ND FLOOR	OCCUPANT LOAD:		WCLAV FEMALE:	WCLAV MALE:	WCLAV UNISEX:
GROUP A	DINING (30 SF/OCC)	4,180 SF	3183 SF	246 (123 EACH SEX)	3/3	3/3		
GROUP F	BREWERY/KITCHEN (2000 SF/OCC)	5,554 SF		3 (1 UNISEX)	1/1	1/1		
GROUP M	RETAIL (200 SF/OCC)	973 SF	2139 SF	5 (3 EACH SEX)	1/1	1/1		
GROUP B	OFFICE (200 SF/OCC)			11 (6 EACH SEX)	1/1	1/1		
TOTAL REQUIRED						5/5	5/5	1/1*
TOTAL PROVIDED						7/6	7/6**	1/1*

PLUMBING FIXTURE COUNT MEETS AND EXCEEDS THE REQUIRED PLUMBING FIXTURES.

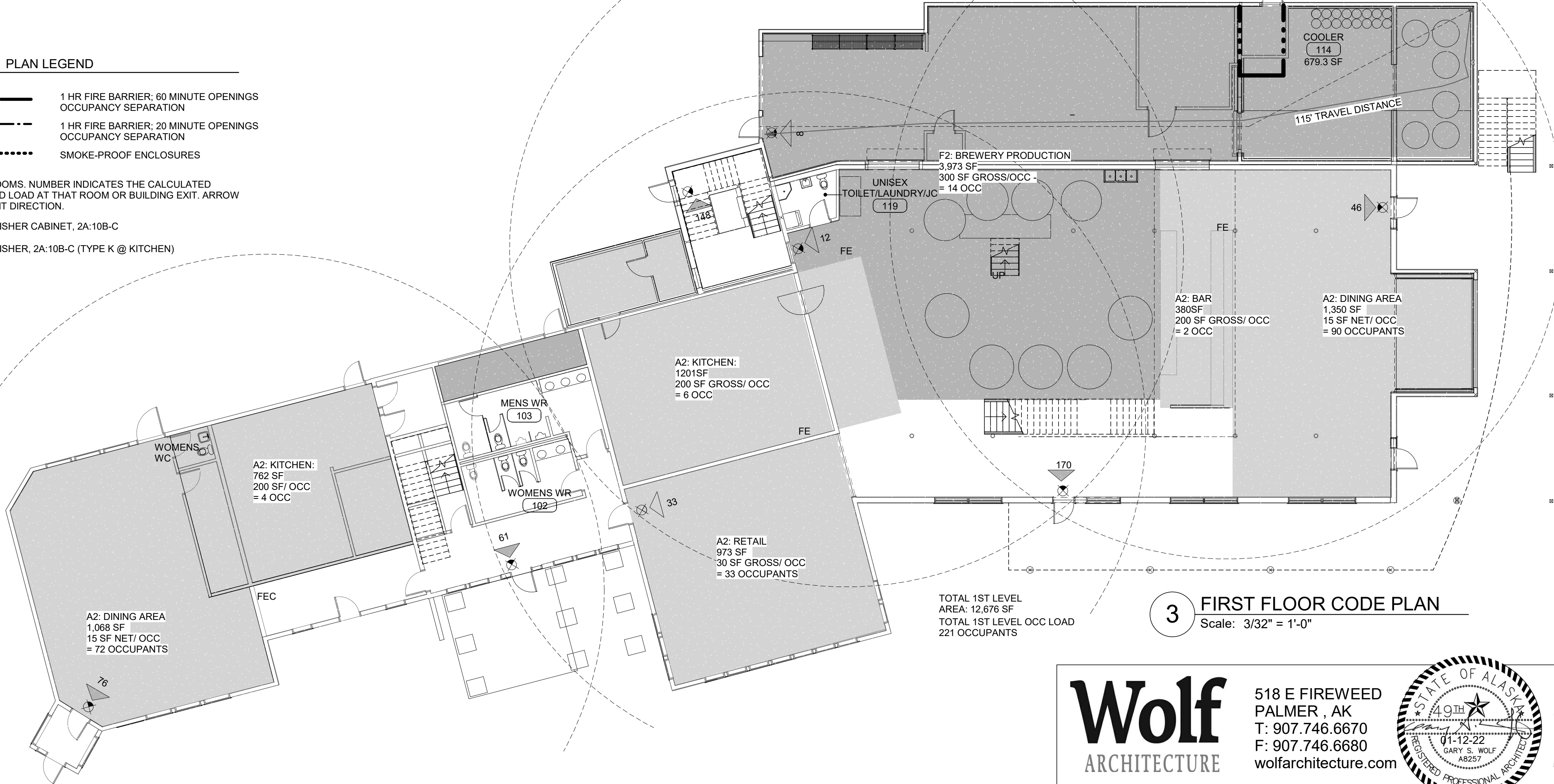
FOOTNOTES:

- * UNI-SEX TOILET ROOM IS PROVIDED PER FOOTNOTE 3
** URINALS ARE OPTIONALLY PROVIDED IN LIEU OF WC-MALE PER ICC 2902.1 FOOTNOTE 3.
WATER WILL BE PROVIDED BY RESTAURANT/ WAIT STAFF IN LIEU OF DRINKING FOUNTAIN.



PLAN LEGEND

- 1 HR FIRE BARRIER; 60 MINUTE OPENINGS OCCUPANCY SEPARATION
- 1 HR FIRE BARRIER; 20 MINUTE OPENINGS OCCUPANCY SEPARATION
- SMOKE-PROOF ENCLOSURES
- EXIT FROM ROOMS. NUMBER INDICATES THE CALCULATED ACCUMULATED LOAD AT THAT ROOM OR BUILDING EXIT. ARROW INDICATES EXIT DIRECTION.
- FEC FIRE EXTINGUISHER CABINET, 2A:10B-C
- FE FIRE EXTINGUISHER, 2A:10B-C (TYPE K @ KITCHEN)



BUILDING CODE ANALYSIS

GOVERNING CODES: 2012 INTERNATIONAL BUILDING CODE (AK AMMENDMENTS)
2012 ICC/ANSI A117.1 (AK AMMENDMENTS)
2012 INTERNATIONAL MECHANICAL CODE (AK AMMENDMENTS)
2012 INTERNATIONAL FUEL AND GAS CODE (AK AMMENDMENTS)
2012 INTERNATIONAL FIRE CODE (AK AMMENDMENTS)
2012 NFPA STANDARD 13 & 72 FIRE PROTECTION
1997 UNIFORM PLUMBING CODE (AK AMMENDMENTS)
2017 NATIONAL ELECTRICAL CODE (AK AMMENDMENTS)

NOTE: EXISTING BUILDING WITH ADDITIONS

OCCUPANCY GROUP:

RESTAURANT A-2
BREWERY F-2
STORAGE > 10% S-1, INCIDENTAL USE

CONSTRUCTION TYPE: V-B

SEPARATION OF OCCUPANCIES:

NON-SEPARATED OCCUPANCIES

BUILDING HEIGHT:
ALLOWABLE 2 STORIES, 40'-0"
ACTUAL 2 STORIES, 23'-0"

FIRST FLOOR:		SECOND FLOOR:	
A-2 RESTAURANT:	8,703 SF	A-2 RESTAURANT:	9,763 SF
F-2 BREWERY:	3,973 SF	S-1 STORAGE:	840 SF
TOTAL AREA	12,676 SF	TOTAL AREA	10,603 SF
ALLOWABLE FLOOR AREA:	A-2	F-2	S-1
ALLOWABLE AREA:	6,000 SF	13,000 SF	9,000 SF
FRONTAGE INCREASE +75%	4,500 SF	9,750 SF	6,750 SF
SPRINK INCREASE +200%	12,000 SF	26,000 SF	18,000 SF
TOTAL AREA	22,500 SF	48,750 SF	33,750 SF

ACTUAL AREA 12,676 SF < ALLOWABLE AREA 22,500 SF

FIRE-RATED ASSEMBLIES:

RATING: ASSEMBLY:

STRUCTURAL FRAME	0-HR	N/A
EXTERIOR BEARING WALLS	0-HR	N/A
INTERIOR BEARING WALLS	0-HR	N/A
FLOOR/CEILING	0-HR	N/A
ROOF/CEILING	0-HR	N/A
FIRE BARRIERS	1-HR	FIRE PUMP ROOM
FIRE PARTITIONS	1-HR	CORRIDORS (NOT REQUIRED, IBC 1018.1)
DOORS	20 MIN	CORRIDORS
SMOKE PARTITIONS	NR	CORRIDORS, STAIR ENCLOSURE, MECHANICAL ROOM

NOTE: BUILDING IS BEING EQUIPPED WITH A SPRINKLER SYSTEM AND FIRE ALARM. SPRINKLER AND FIRE ALARM WILL BE PROVIDED DESIGN-BUILD BY CONTRACTOR.

FIRE STOPPING NOTES

ALL PENETRATIONS MADE THROUGH FIRE-RATED WALLS, CEILINGS AND FLOOR ASSEMBLIES, BOTH EMPTY HOLES AND HOLES ACCOMODATING SUCH ITEMS AS DUCTS, PIPES, CONDUIT, AND OTHER PENETRATING ITEMS SHALL BE FIRE- STOPPED. PENETRATIONS SHALL BE FIRE STOPPED TO RETAIN THE INTEGRITY OF THE TIME-RATED CONSTRUCTION BY MAINTAINING AN EFFECTIVE BARRIER AGAINST THE SPREAD OF FLAME, SMOKE, AND GASES, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 07270 - FIRESTOPPING. MECHANICAL AND ELECTRICAL RELATED PENETRATIONS SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR MAKING THE PENETRATION - SEE MECHANICAL AND ELECTRICAL.

CODE PLAN GENERAL NOTES

- SEE MAIN FLOOR PLAN FOR DIMENSIONS, WALL TYPE REFERENCES AND FIRE EXTINGUISHER LOCATIONS.
- SEE DOOR AND RELITE SCHEDULES FOR DOOR HARDWARE AND OTHER FIRE RATING REQUIREMENTS FOR DOORS AND RELITES.
- SEE ELECTRICAL FOR EXIT SIGNS AND EMERGENCY EGRESS LIGHT FIXTURES.
- ARCHITECT SHALL REVIEW ALL DEFERRED SUBMITTALS AND VERIFY COMPLIANCE WITH THE DESIGN CONCEPT AND CODE REQUIREMENTS RELATING TO:
 - INSTALLATION DETAILS OF MEMBRANE AND THROUGH-PENETRATION FIRE STOPS, AND FIRE-RESISTIVE JOINT SYSTEMS.
- A PROGRAM OF PROTECTION FOR ALL THROUGH PENETRATIONS AND MEMBRANE PENETRATIONS OF FIRE AND SMOKE RATED ASSEMBLIES SHALL BE REQUIRED. THIS PROGRAM SHALL APPLY AN "F" RATING EQUAL TO THE FIRE RESISTIVE RATING OF THE COMPONENT BEING PENETRATED AS DEMONSTRATED BY THE MANUFACTURER OF THE PENETRATION PROTECTION SYSTEM THROUGH RECOGNIZED TESTING. ALL PENETRATIONS THROUGH ALL FIRE RATED ASSEMBLIES SHALL BE PROTECTED IN THIS MANNER.
- AT JOINTS BETWEEN FIRE RESISTIVE ASSEMBLIES A FIRE RESISTIVE JOINT SYSTEM SHALL BE PROVIDED. SUBMIT MANUFACTURER'S LITERATURE DESCRIBING FIRE RATING TESTING AND SPECIFIC DETAIL REQUIREMENTS FOR THE INSTALLATION OF THE SYSTEM. IF REQUIRED TO COMPLY WITH MANUFACTURER'S REQUIREMENTS, SURROUNDING CONSTRUCTION SHALL BE MODIFIED, ONLY WITH PRIOR APPROVAL OF THE ARCHITECT, TO ALLOW FOR THE INSTALLATION OF THE PROPOSED SYSTEM.
- INTERIOR WALL AND CEILING FINISHES SHALL CONFORM TO IBC SECTION 803.5 AND TABLE 803.5 FOR FLAME SPREAD REQUIREMENTS.

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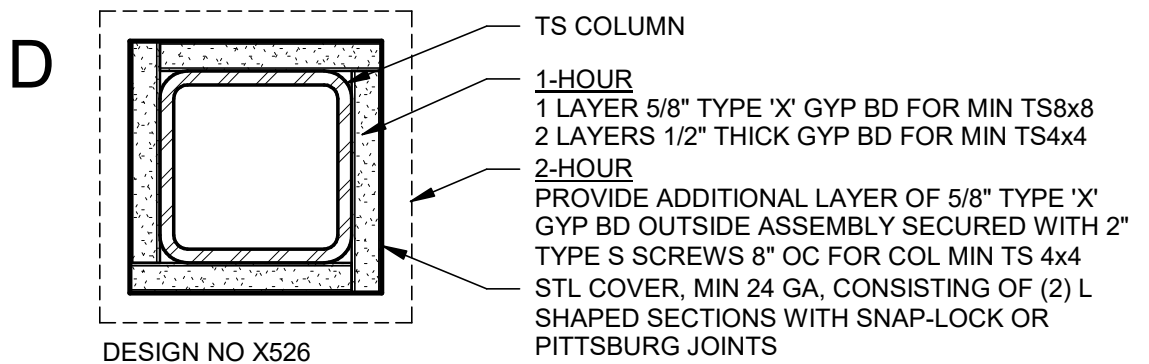
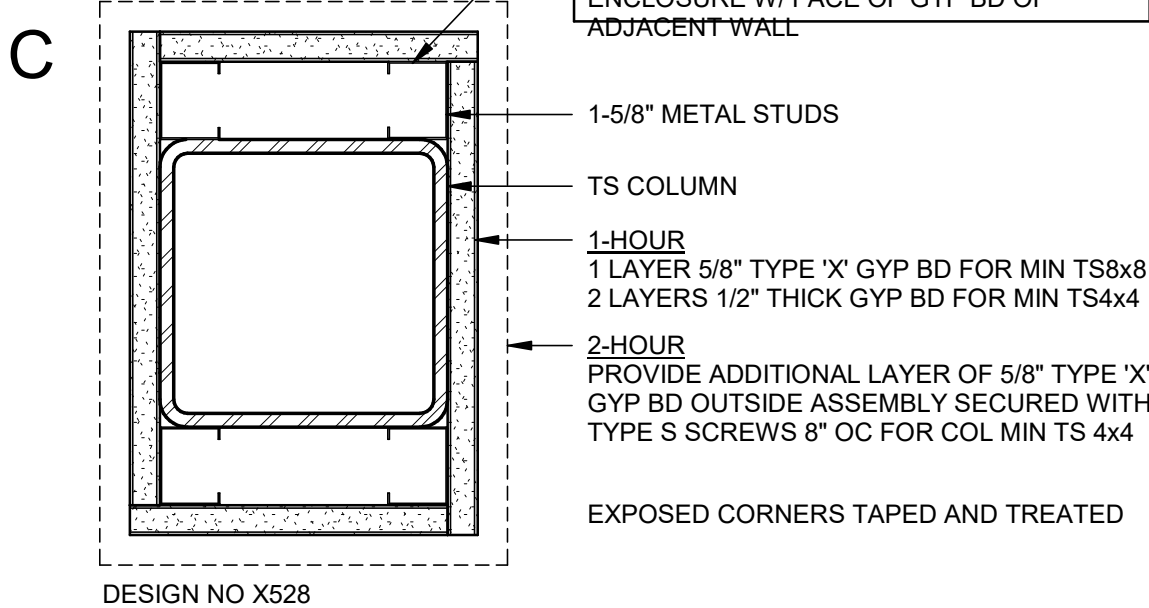
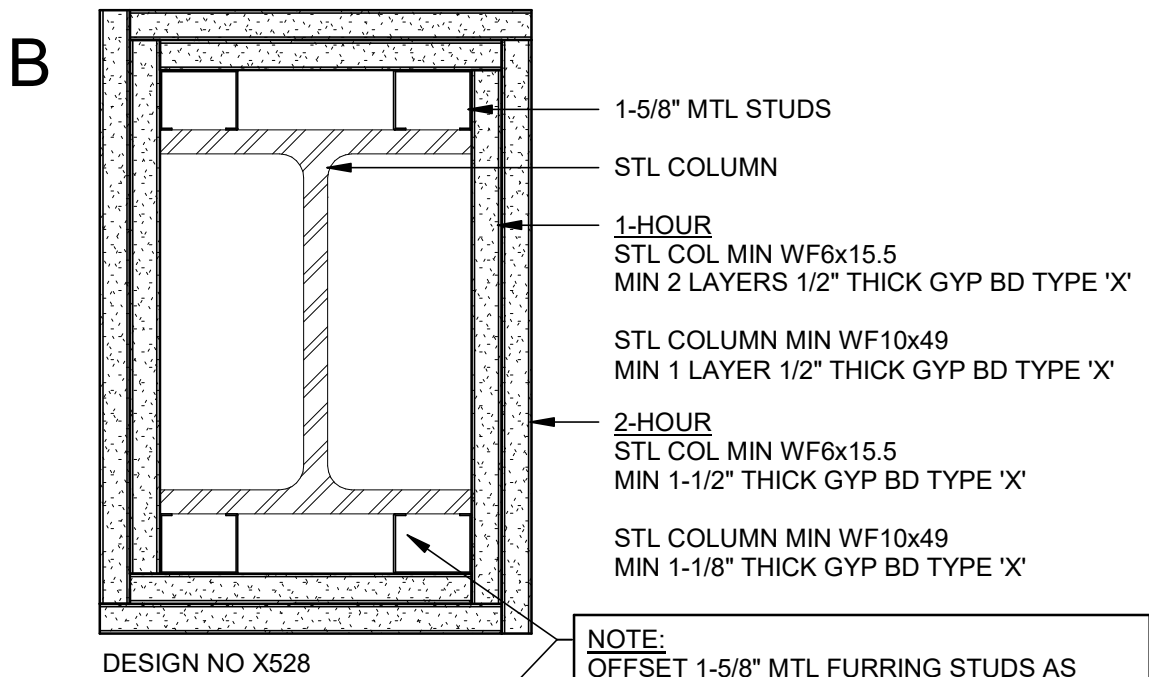
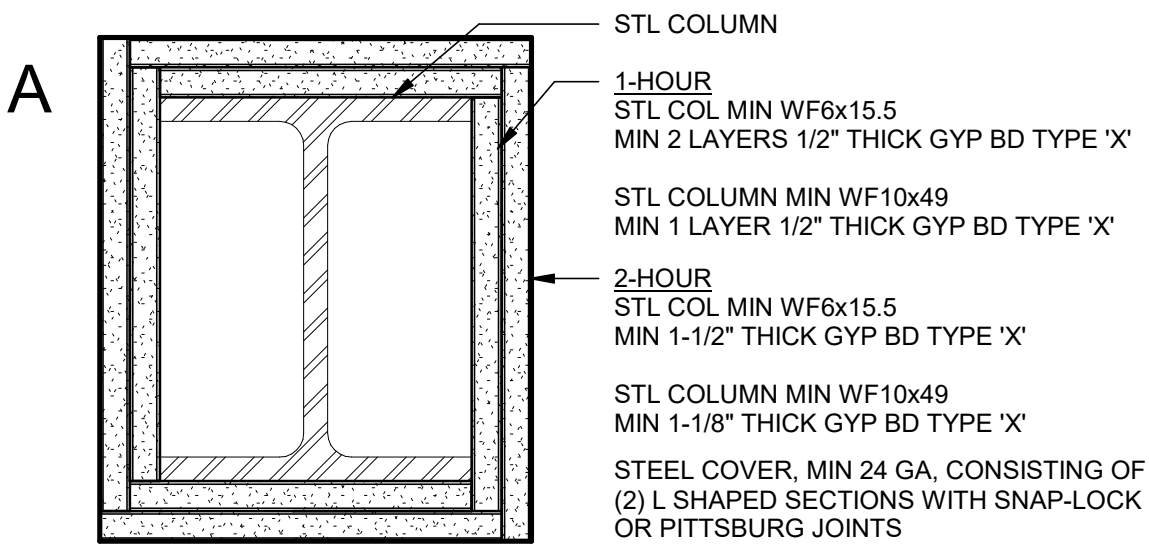


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CONSTRUCTION DOCUMENTS
BIG LAKE BREWING COMPANY
5120 S BIG LAKE RD, BIG LAKE, ALASKA 99852

PROJ NO 2113
DRAWN LR
CHECKED GW
DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
CODE PLAN

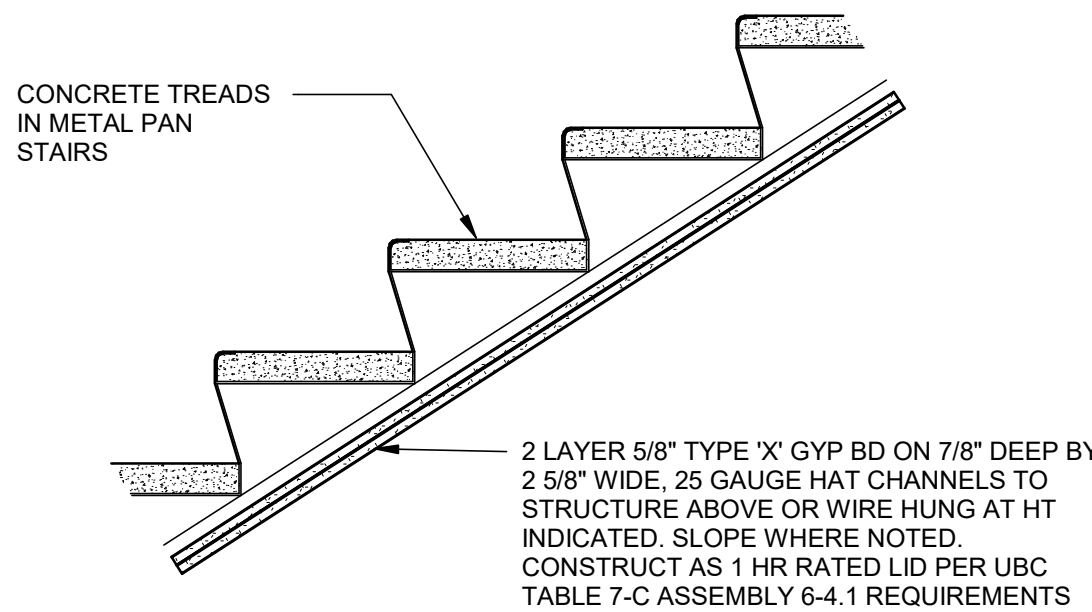
G1.02



NOTE: COMPLY WITH UL263 DESIGN NO X526, X528. THE NUMBER OF LAYERS OF GYP BOARDS WILL VARY DEPENDING ON FIRE PROTECTION RATING AND COLUMN SIZE

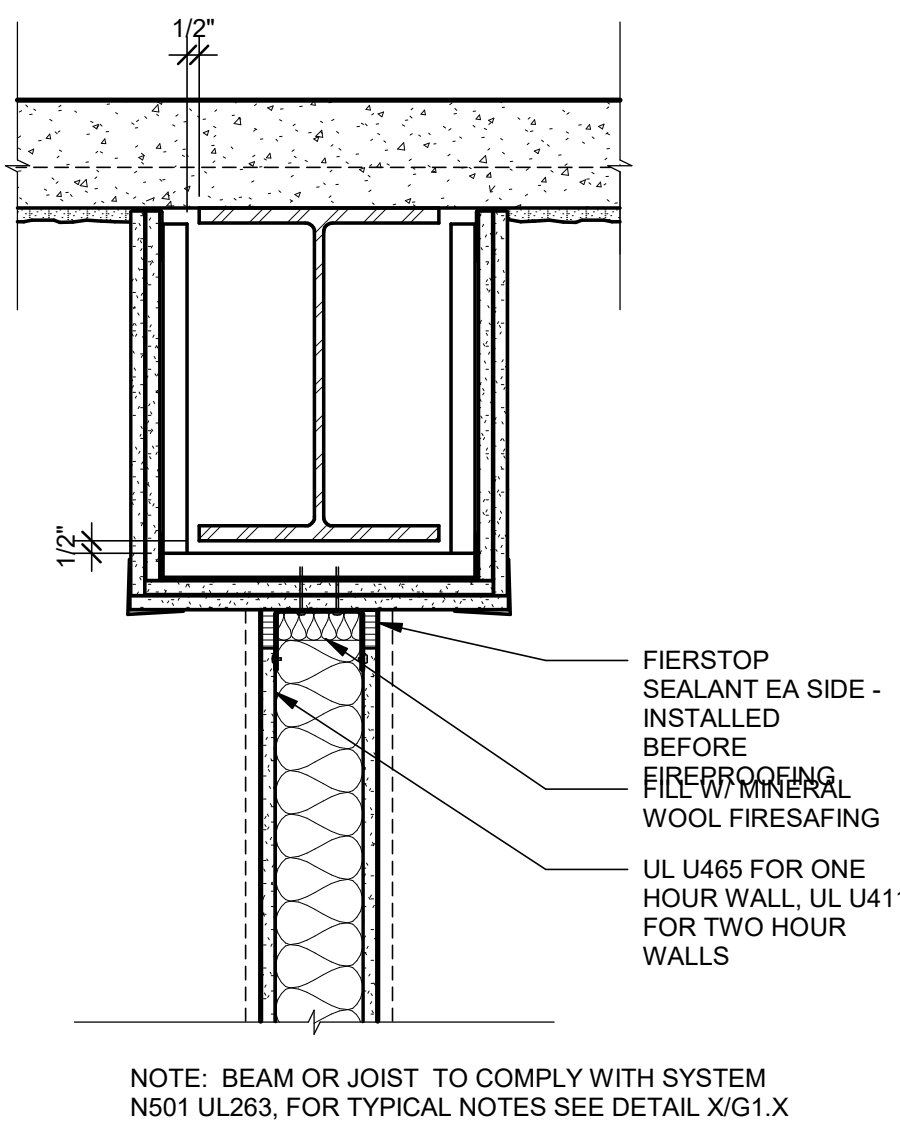
GYP BD PROTECTION @ STL COLUMNS 3

Scale: 3" = 1'-0"



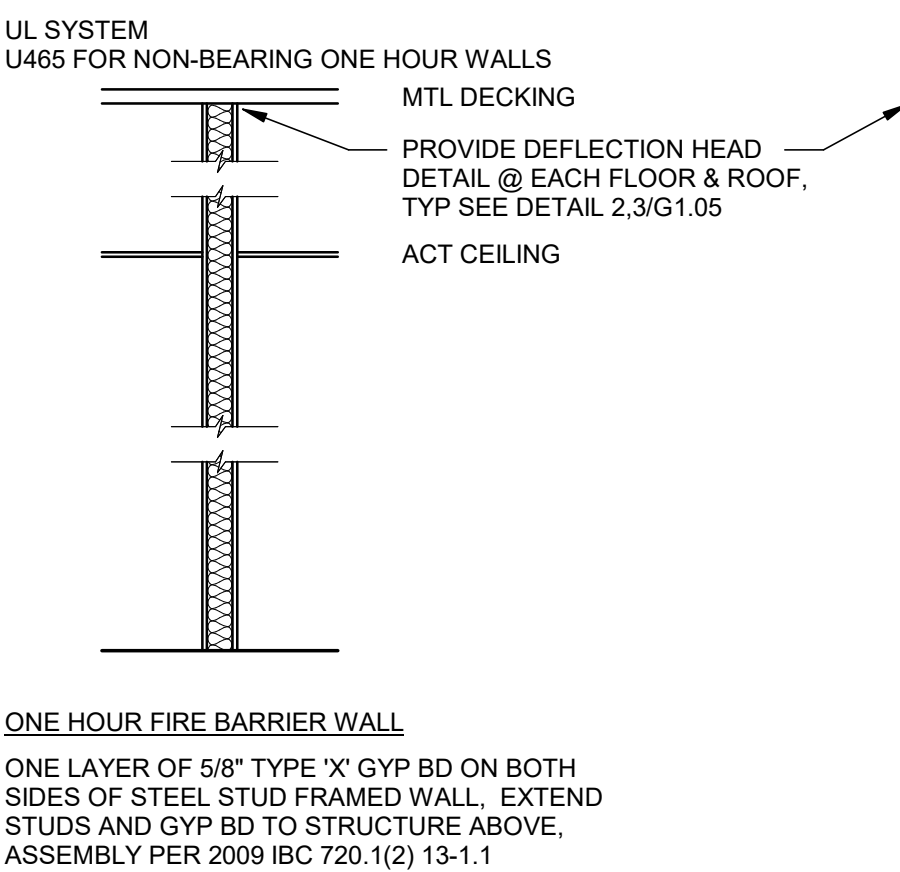
1 FIRE SEPARATION BELOW STAIRS-1

Scale: 1" = 1'-0"



2 FIRE RATED PARTITION AT JOIST OR BEAM

Scale: 1 1/2" = 1'-0"

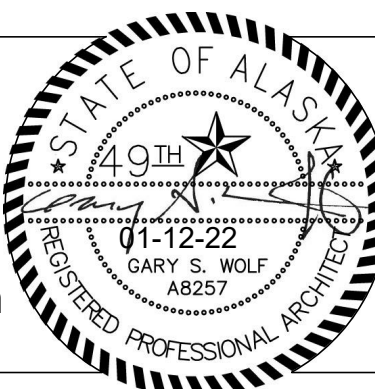


3 TYP ONE HOUR FIRE RATED WALLS

Scale: 1/4" = 1'-0"

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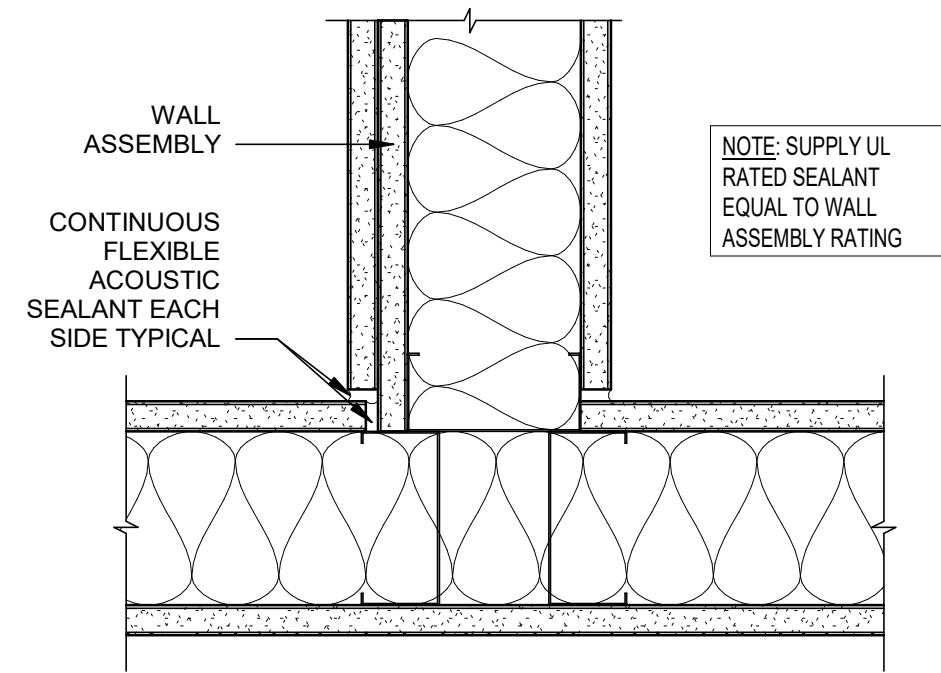


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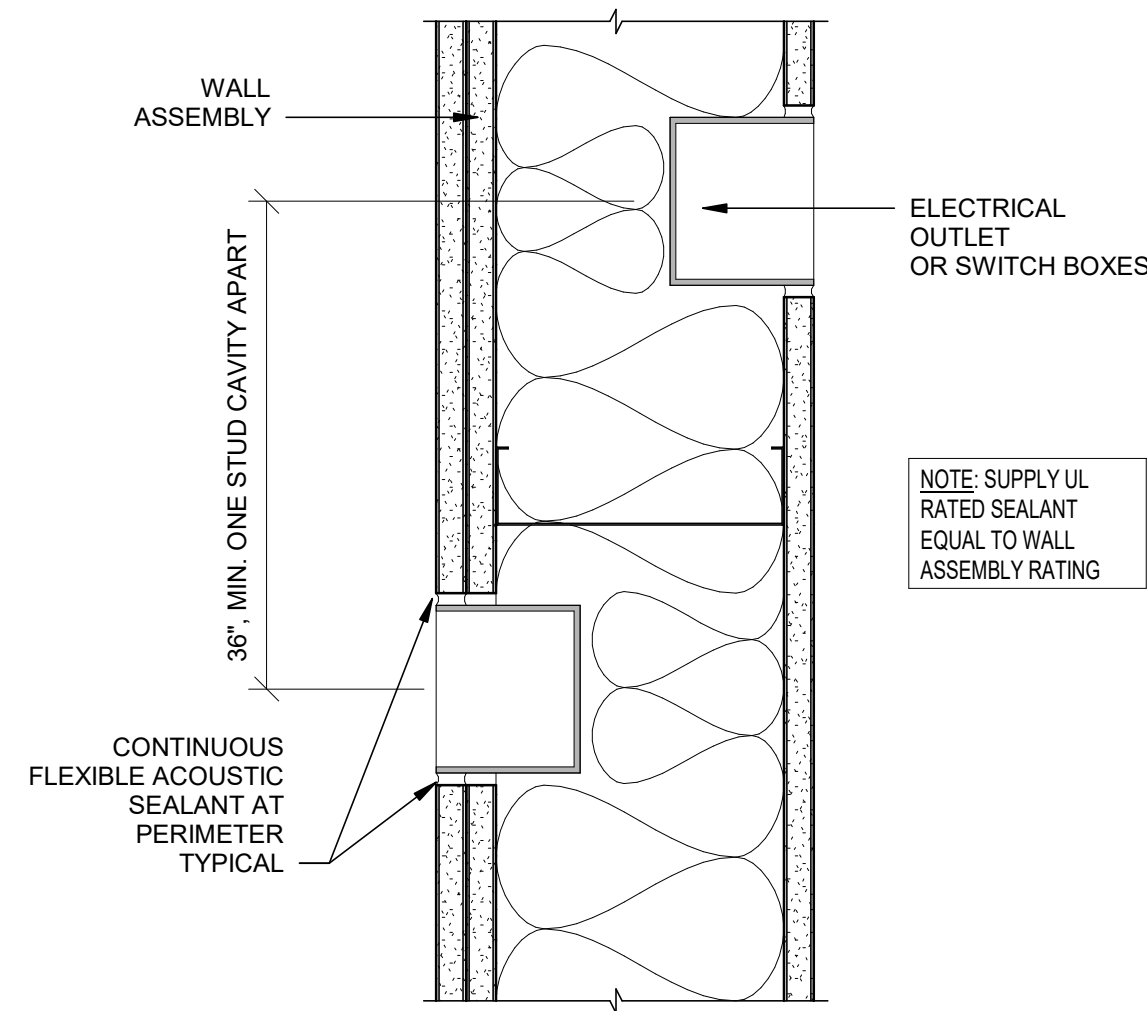
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CHECKED GW
DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
FIRE RATED ASSEMBLIES

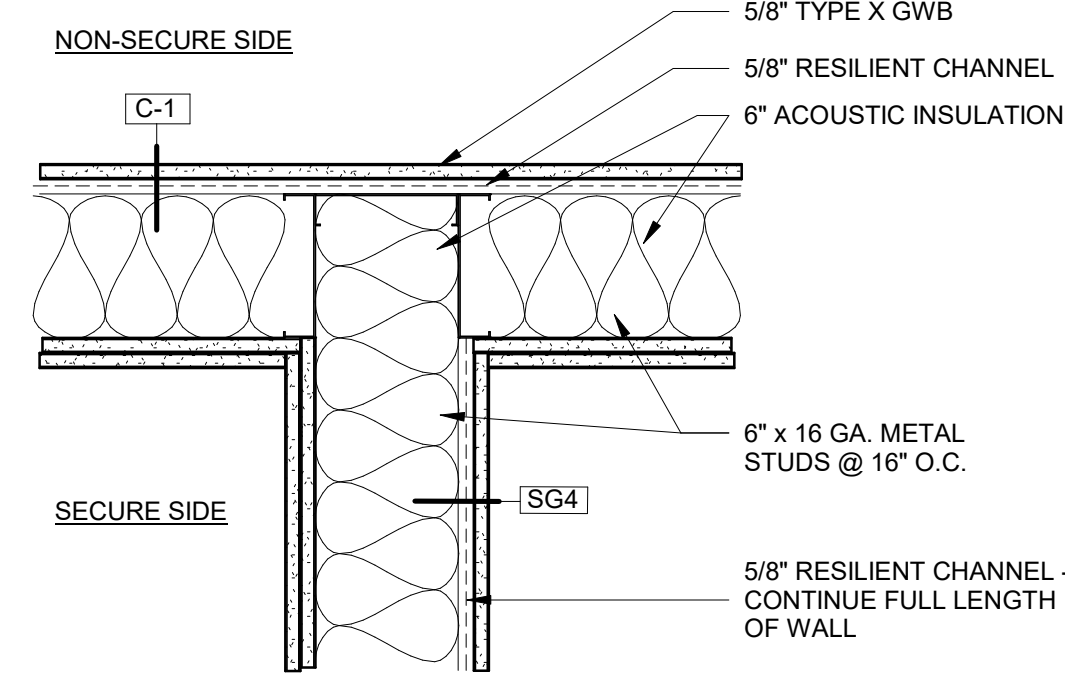
G1.03



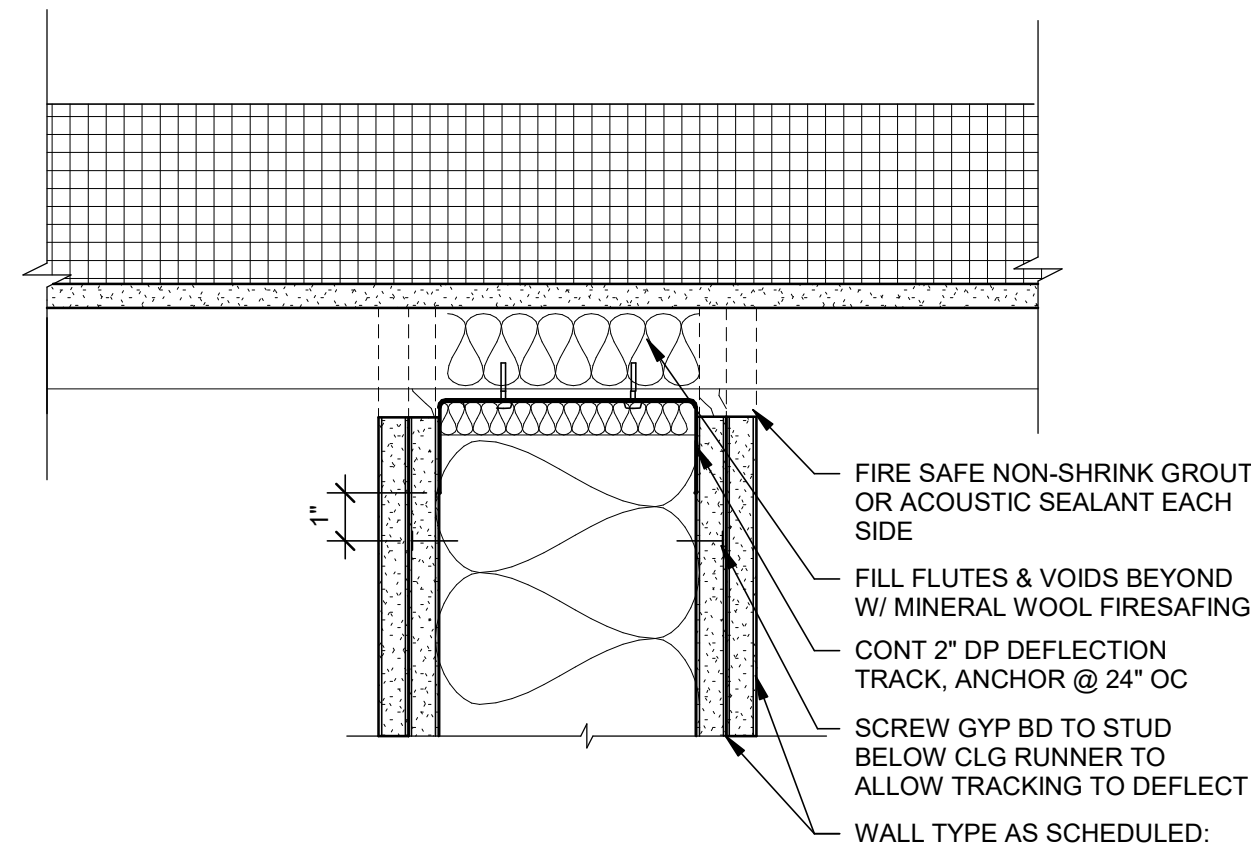
11 PLAN DETAIL AT ACOUSTIC WALL
Scale: 3" = 1'-0"



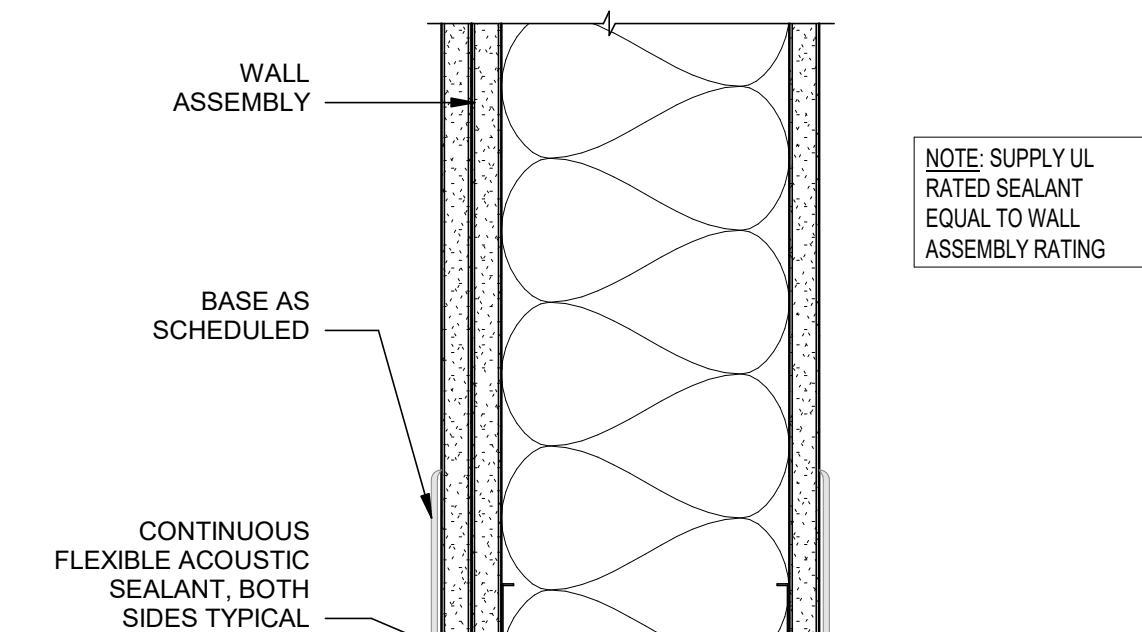
12 STC PLAN DETAIL AT ACOUSTIC WALL OUTLETS
Scale: 3" = 1'-0"



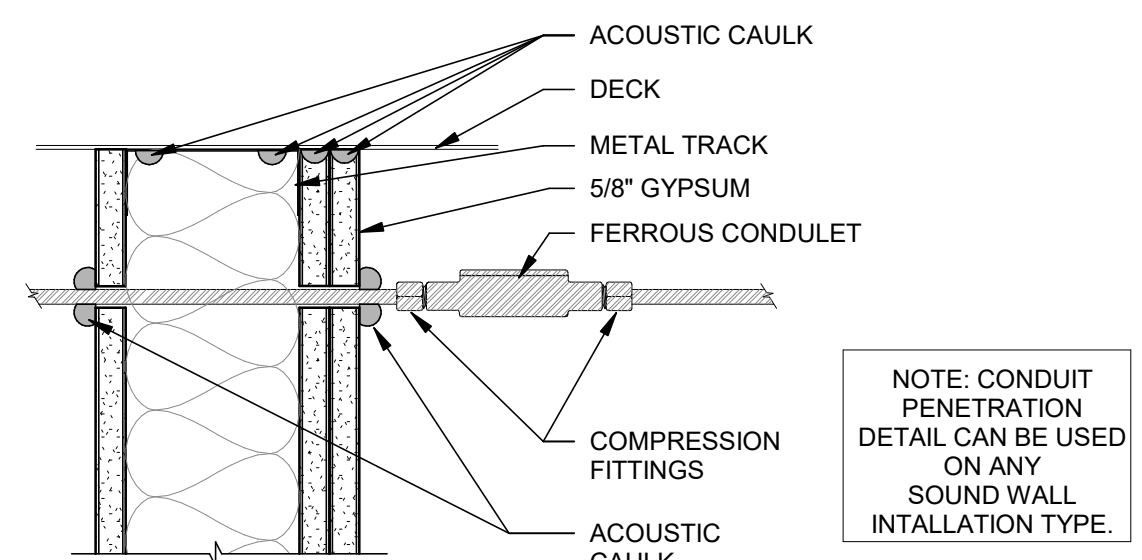
7 STC - CEILING AT WALL
Scale: 1 1/2" = 1'-0"



8 STC RATED WALL @ ROOF DECK WALL
Scale: 3" = 1'-0"

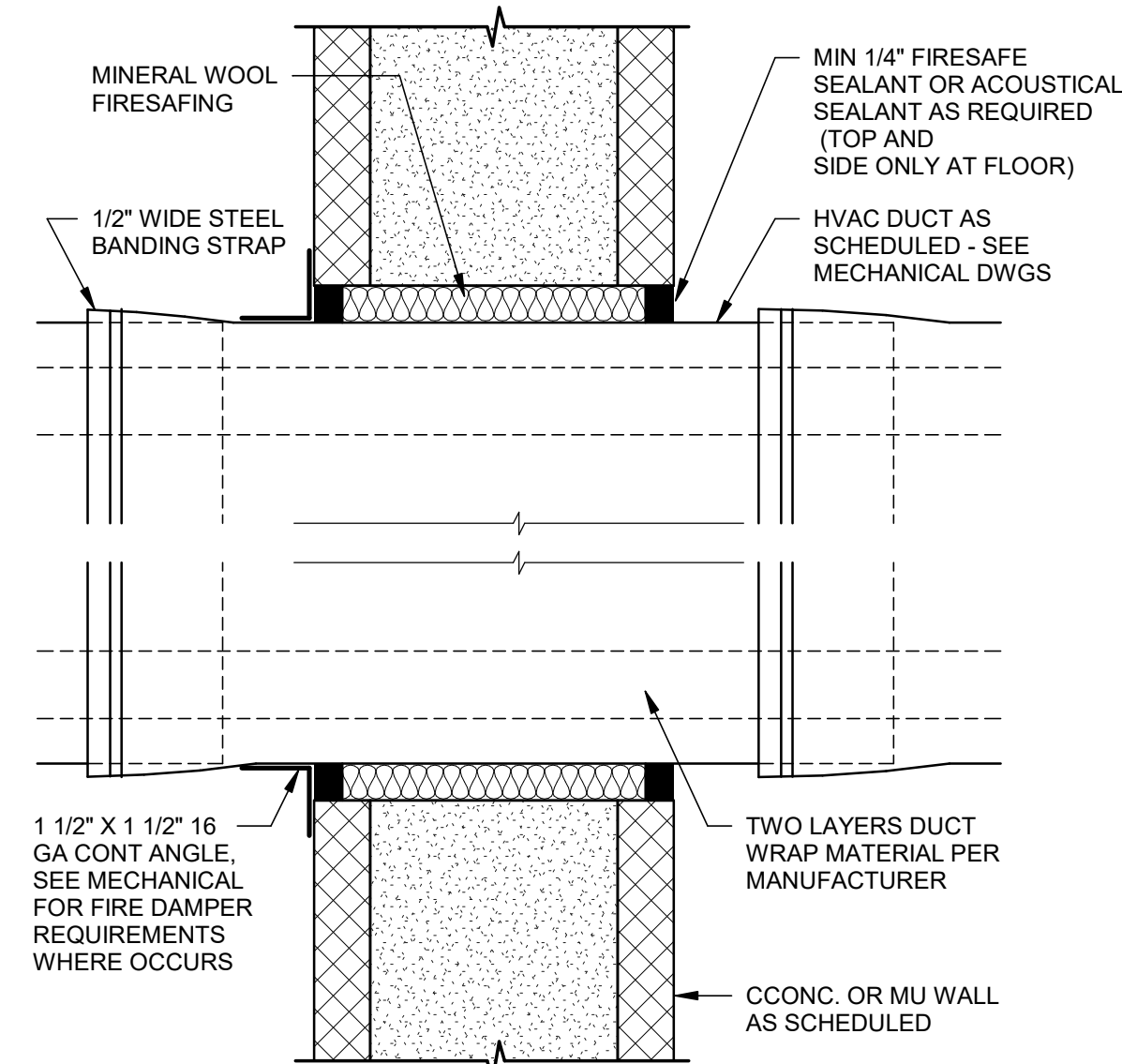


9 TYPICAL ACOUSTIC WALL SILL DETAIL
Scale: 3" = 1'-0"

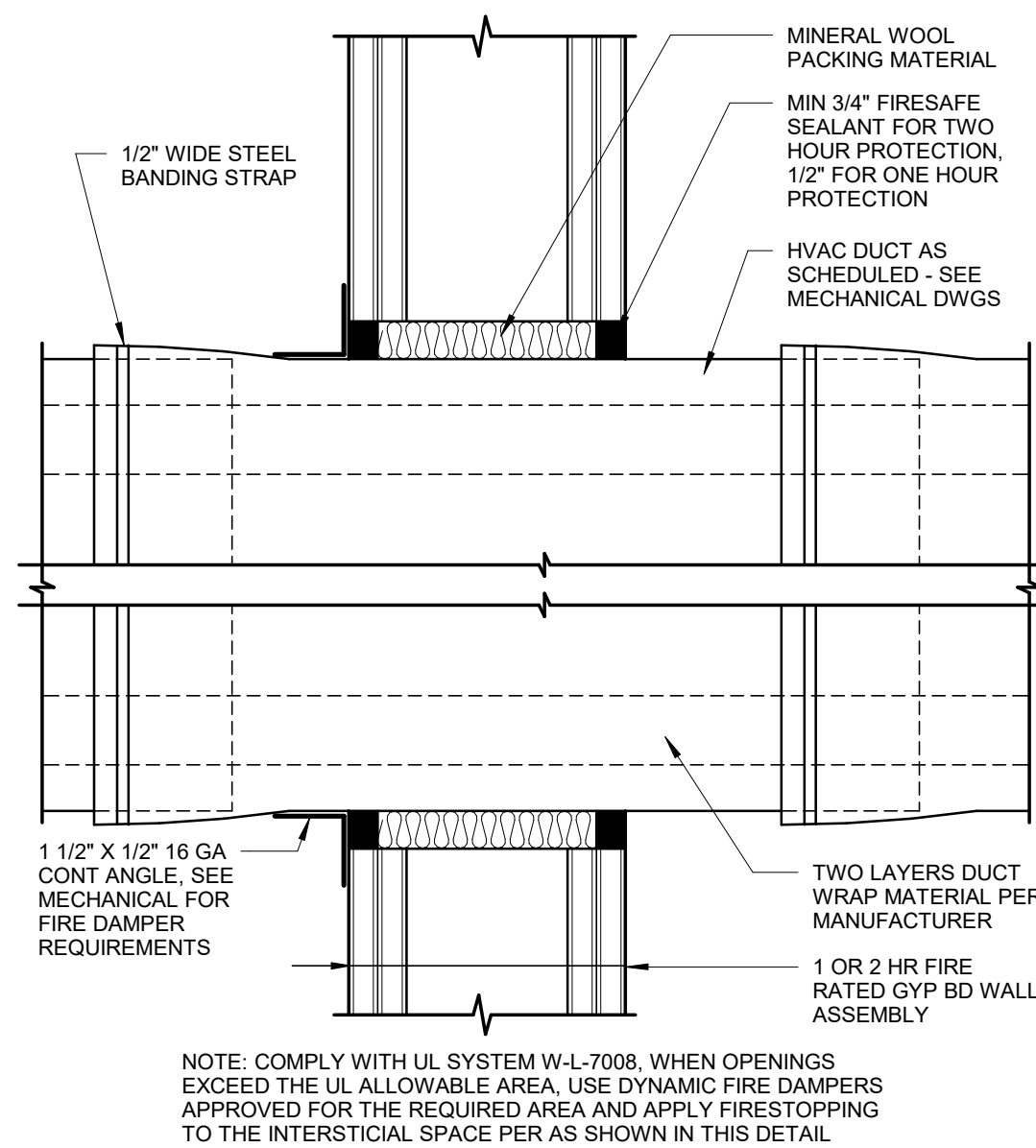


10 STC CONDUIT PENETRATION
Scale: 3" = 1'-0"

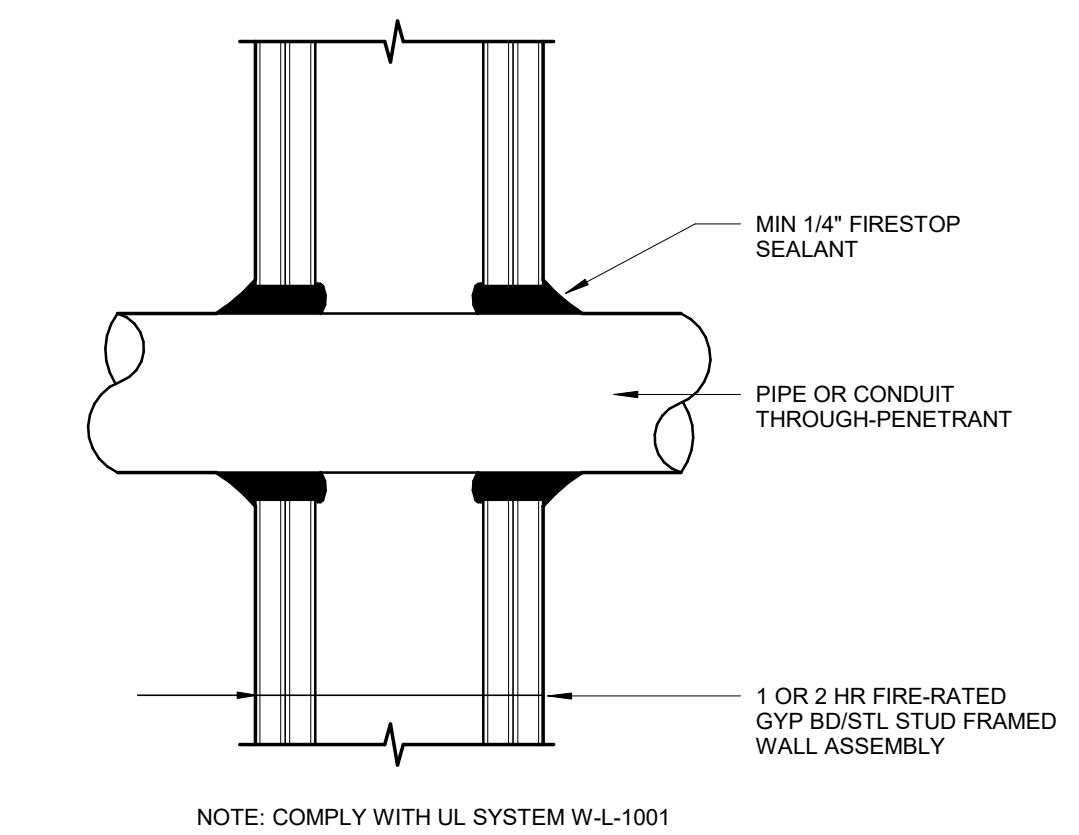
NOTE: SEE G1.03 FOR WALL AND FLOOR ASSEMBLY RATINGS.



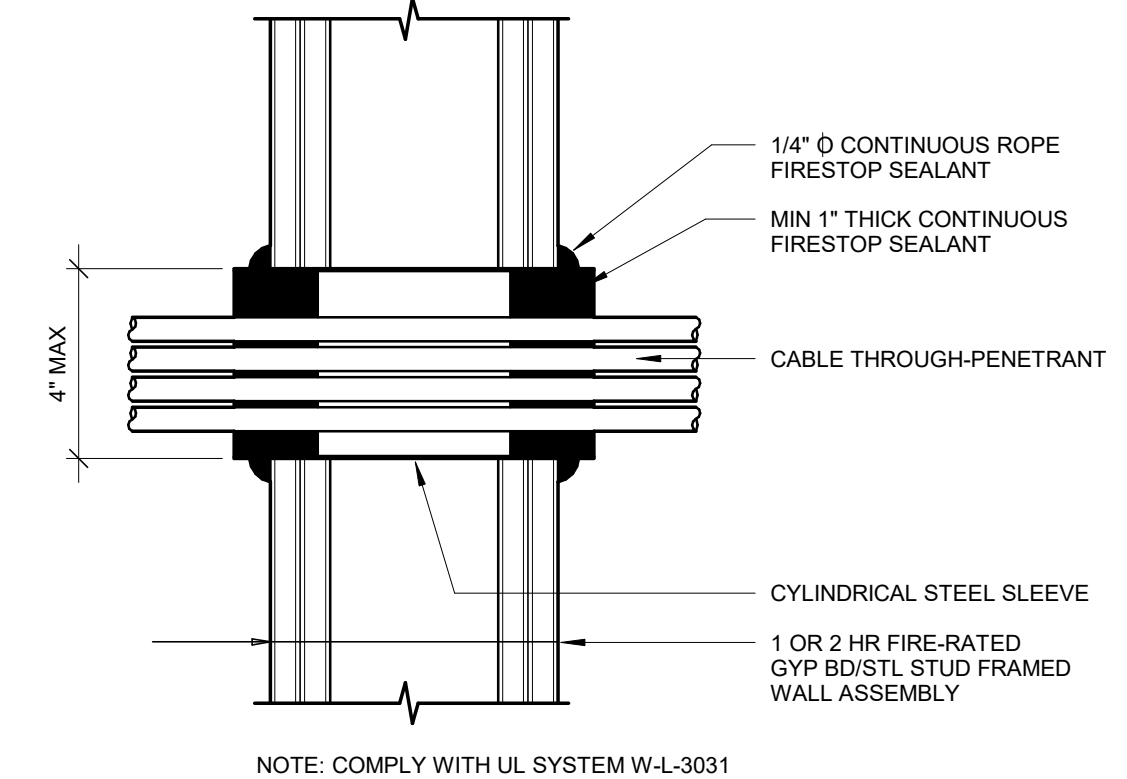
4 TYP METAL DUCT THROUGH CMU WALL OR FLOOR
Scale: 3" = 1'-0"



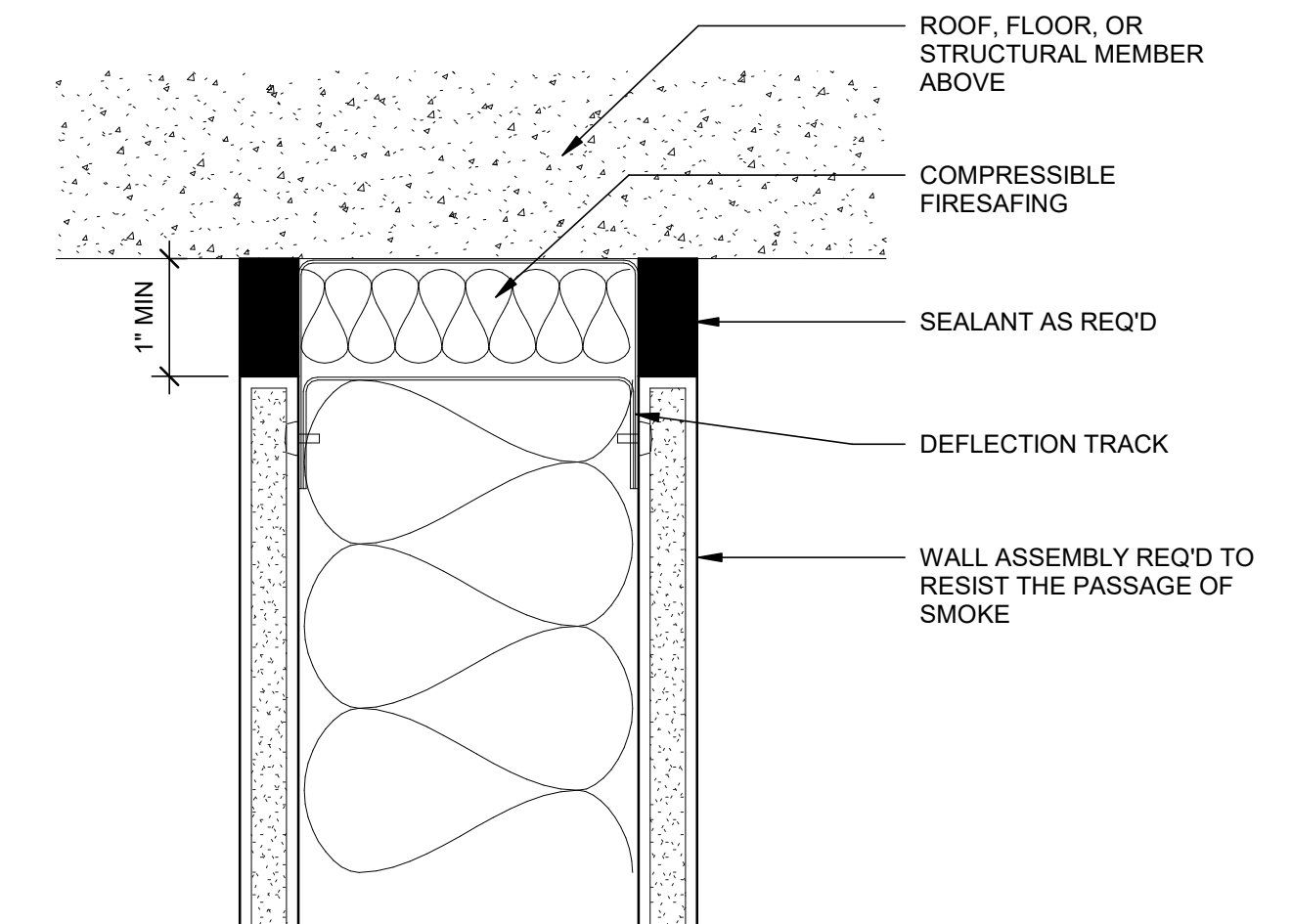
5 TYP METAL DUCT THROUGH WALL
Scale: 3" = 1'-0"



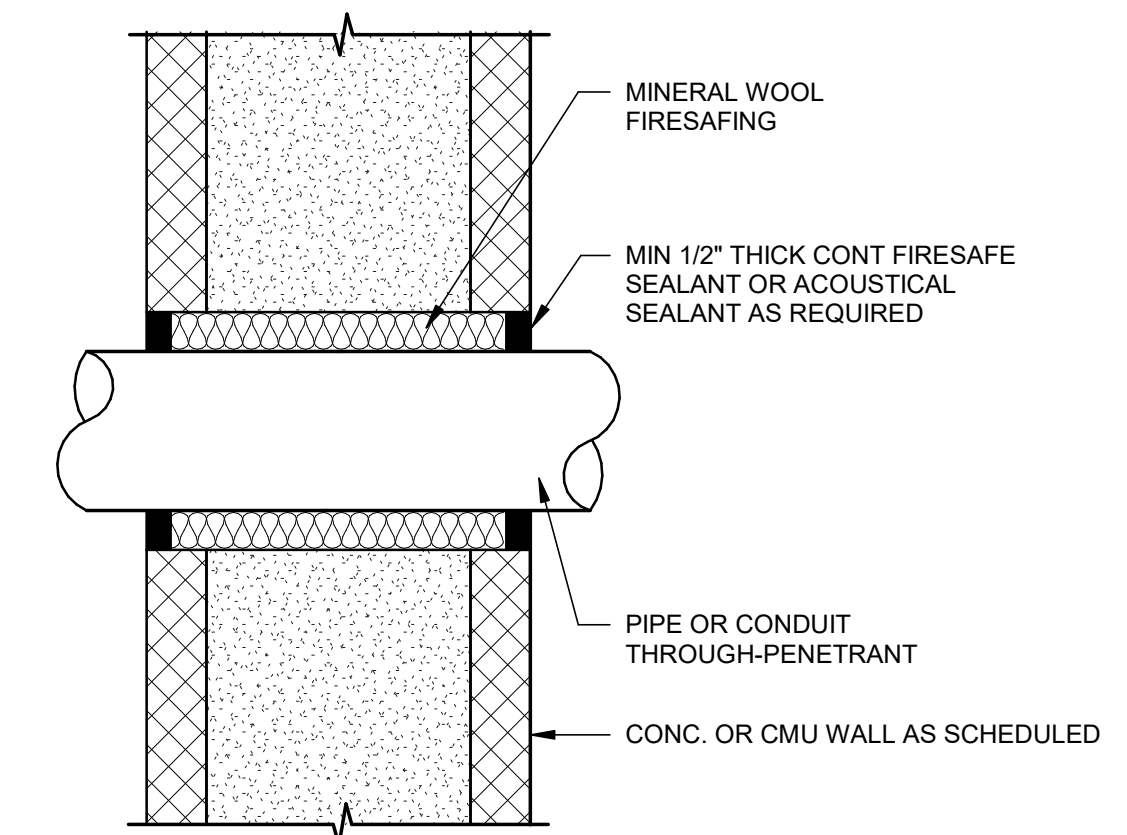
6 TYP PIPE OR CONDUIT THROUGH WALL
Scale: 3" = 1'-0"



1 TYP CABLE THROUGH WALL
Scale: 3" = 1'-0"



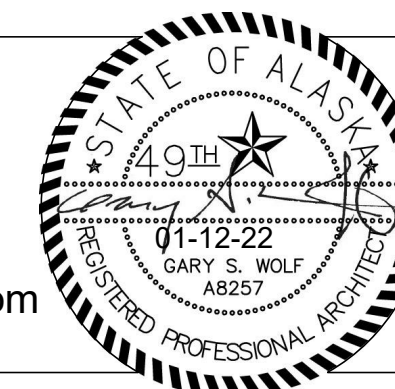
2 TYP DEFLECTION HEAD
Scale: 6" = 1'-0"



3 TYP PIPE OR CONDUIT THROUGH CMU WALL OR FLOOR
Scale: 3" = 1'-0"

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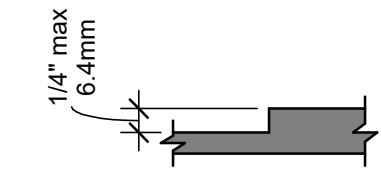


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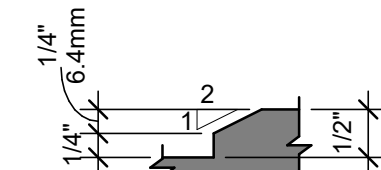
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SHEET CONTENTS
PENETRATION & STC
DETAILS

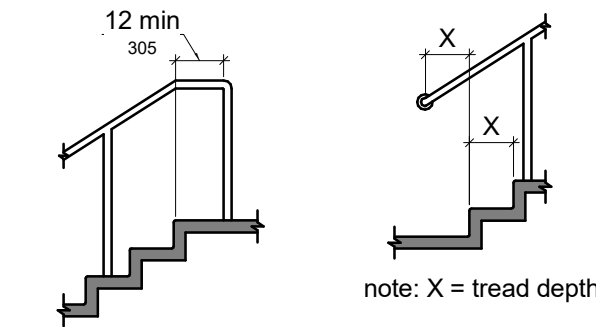
G1.04



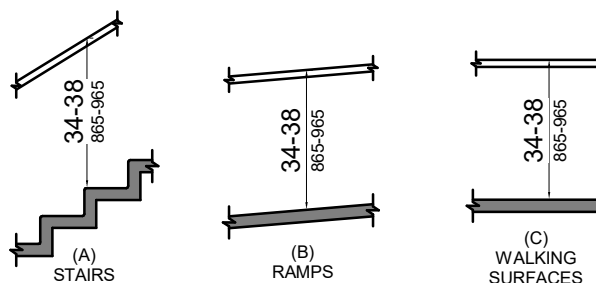
303.2 VERTICAL CHANGE IN LEVEL



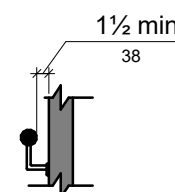
303.3 BEVELED CHANGE IN LEVEL



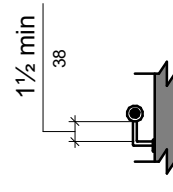
505.10.2 TOP HANDRAIL EXTENSION AT STAIRS
505.10.3 BOTTOM HANDRAIL EXTENSION AT STAIRS



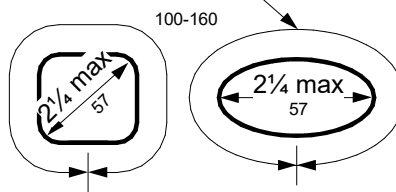
505.4 HANDRAIL HEIGHT



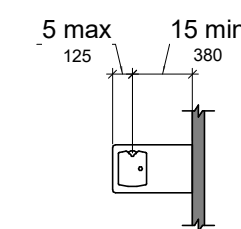
505.5 HANDRAIL CLEARANCE



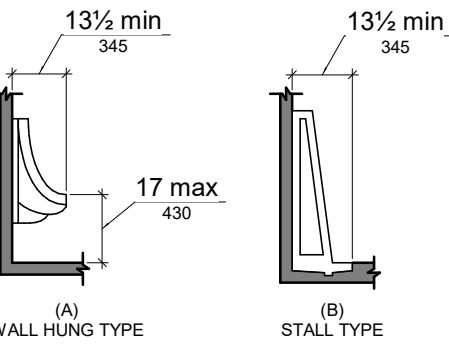
505.6 HORIZONTAL PROJECTIONS BELOW GRIPPING SURFACE



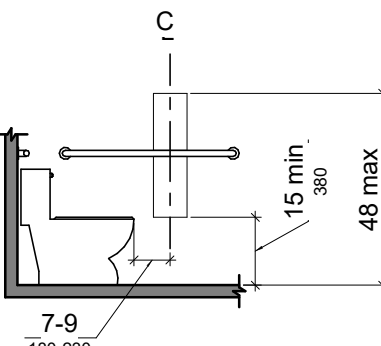
505.7.2 HANDRAIL NON-CIRCULAR CROSS SECTION



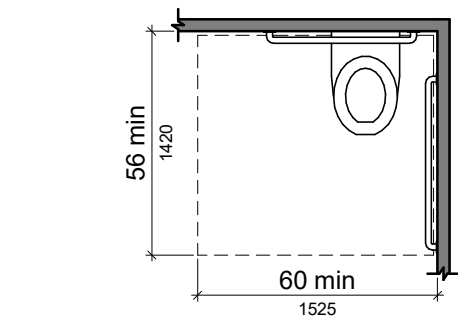
602.5 DRINKING FOUNTAIN SPOUT LOCATION



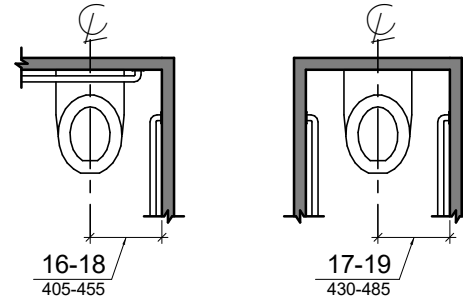
605.2 HEIGHT AND DEPTH OF URINALS



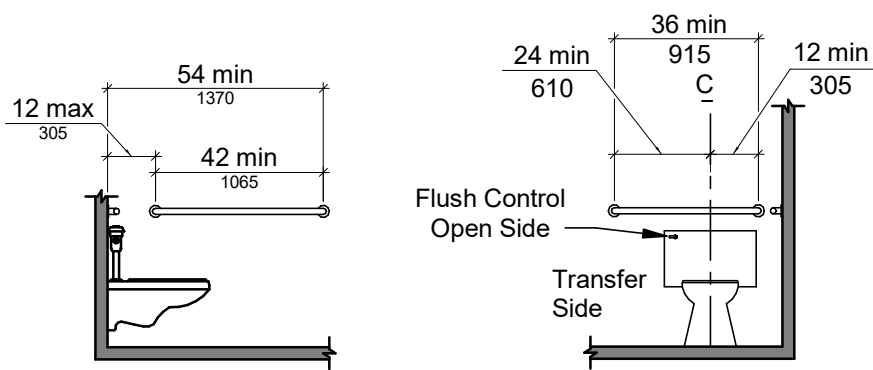
604.7 DISPENSER OUTLET LOCATION



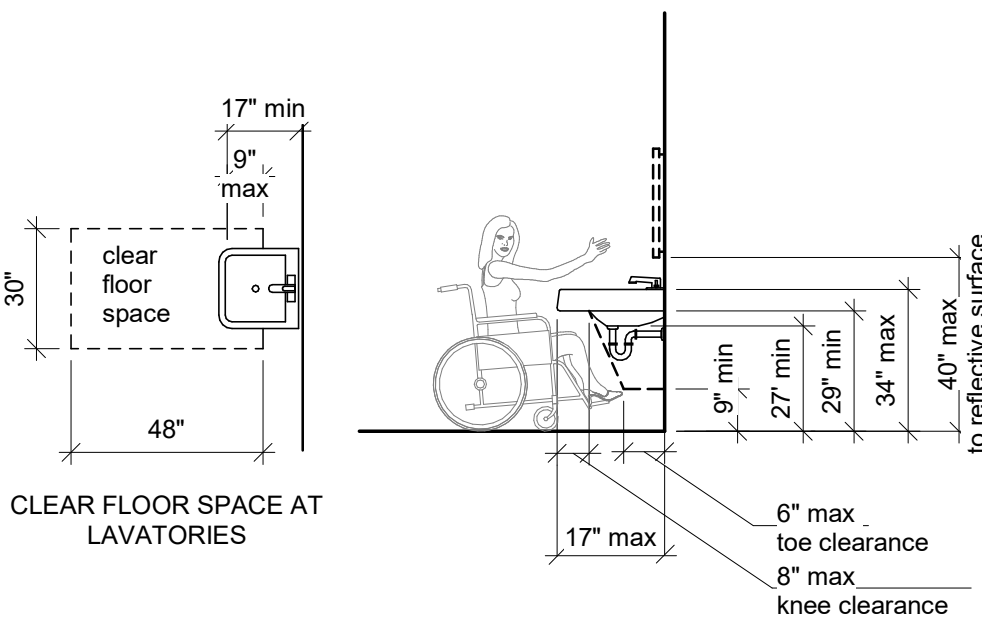
604.3.1 SIZE OF CLEARANCE AT WATER CLOSETS



604.2 WATER CLOSET LOCATION

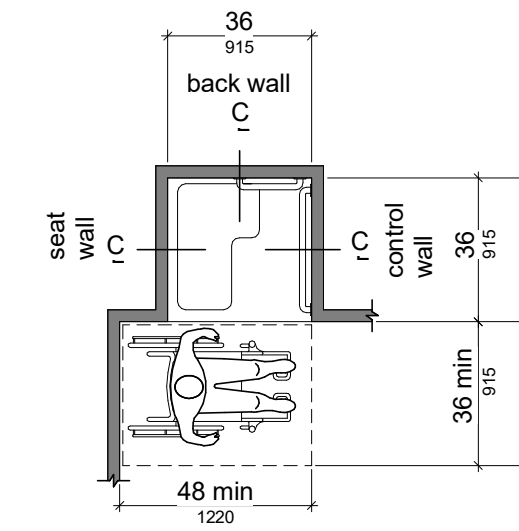


604.5.1 SIDE WALL GRAB BAR AT WATER CLOSETS
604.5.2 REAR WALL GRAB BAR AT WATER CLOSETS

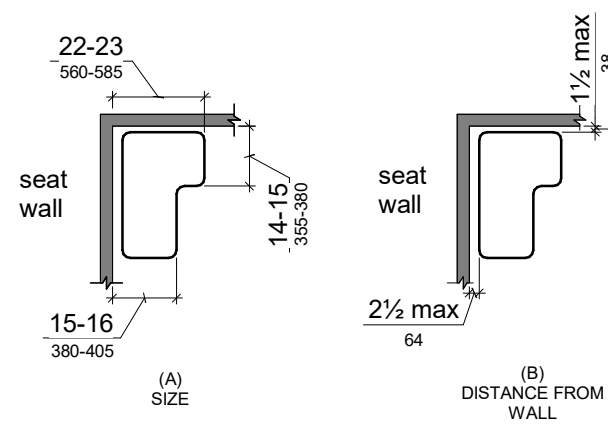


CLEAR FLOOR SPACE AT LAVATORIES

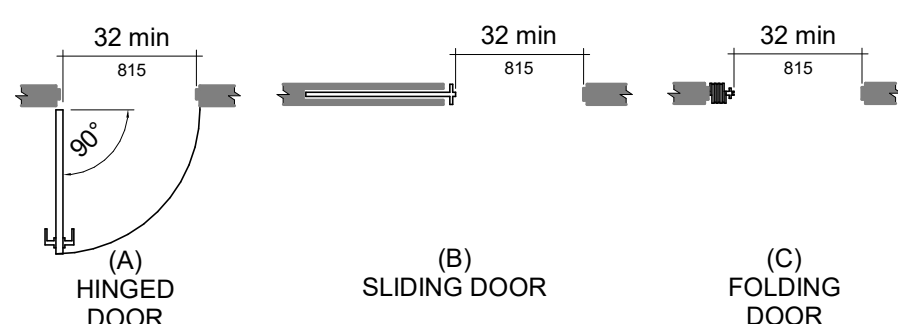
LAVATORY CLEARANCE



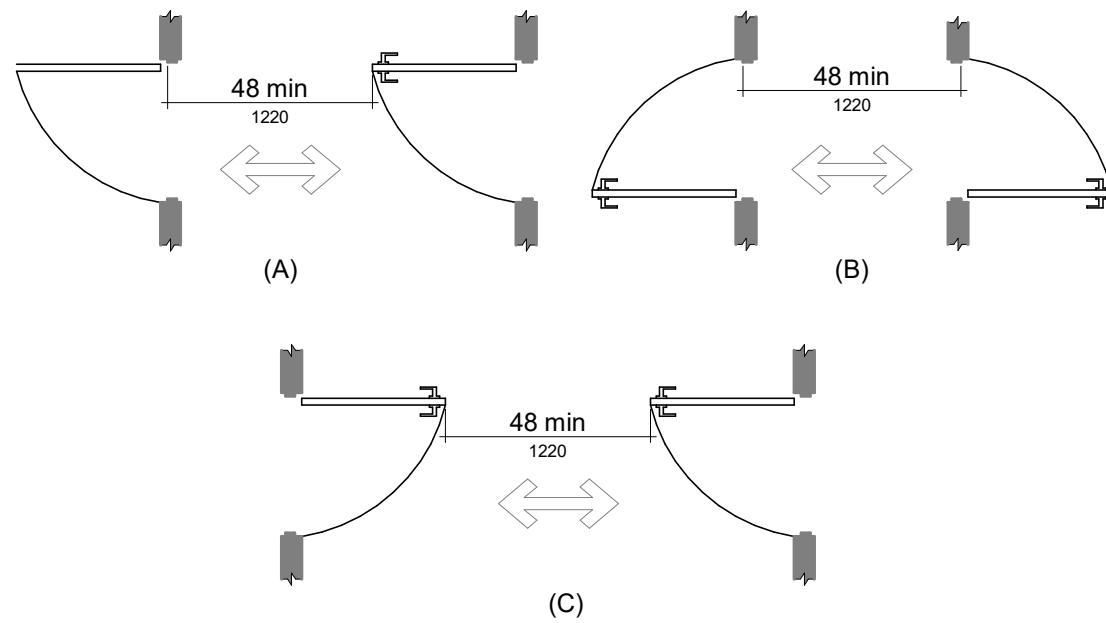
608.2.1 TRANSFER TYPE SHOWER COMPARTMENT SIZE AND CLEARANCE



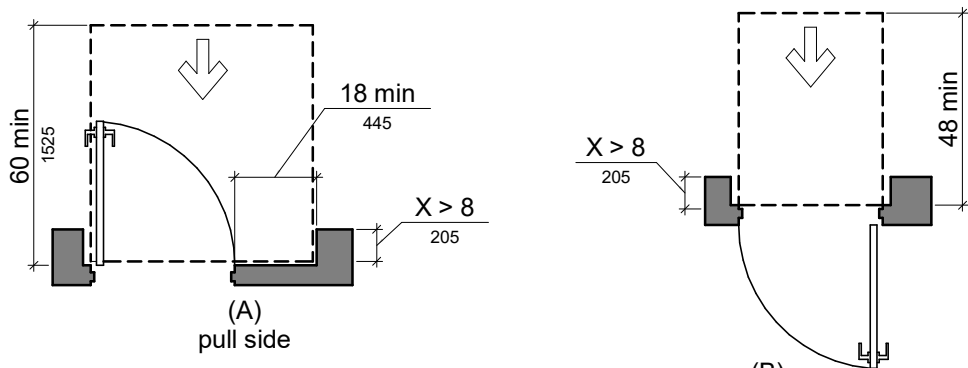
610.3.2 L-SHAPED SHOWER SEAT



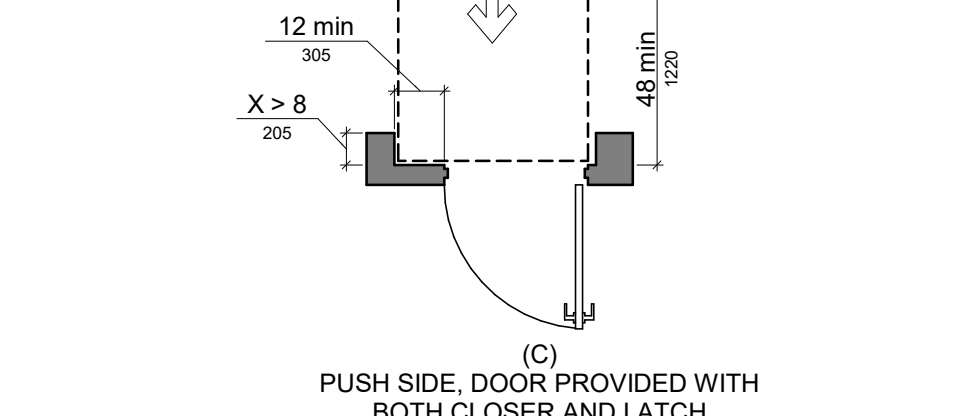
404.2.3 CLEAR WIDTH OF DOORWAYS



404.2.6 DOORS IN SERIES AND GATES IN SERIES

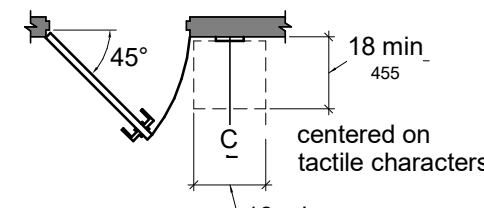


404.2.4.3 MANEUVERING CLEARANCES AT RECESSED DOORS AND GATES

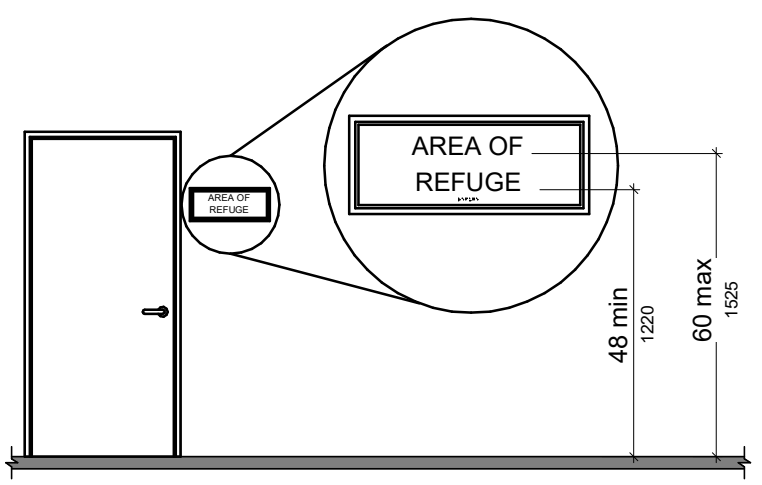


PUSH SIDE, DOOR PROVIDED WITH BOTH CLOSER AND LATCH

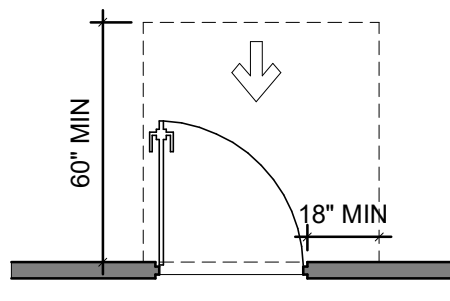
404.2.4.3 MANEUVERING CLEARANCES AT RECESSED DOORS AND GATES



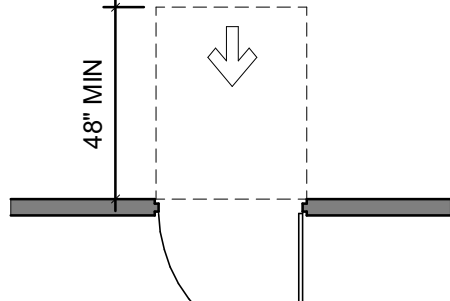
703.4.2 LOCATION OF TACTILE SIGNS AT DOORS



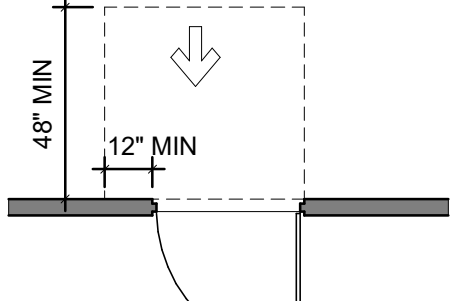
703.4.1 HEIGHT OF TACTILE CHARACTERS ABOVE FINISH FLOOR OR GROUND



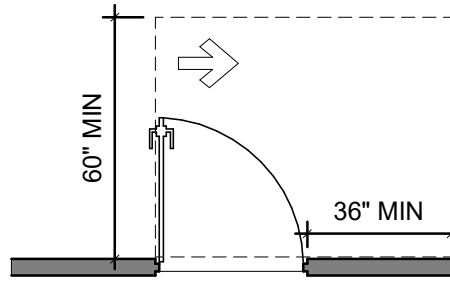
FRONT APPROACH, PULL SIDE



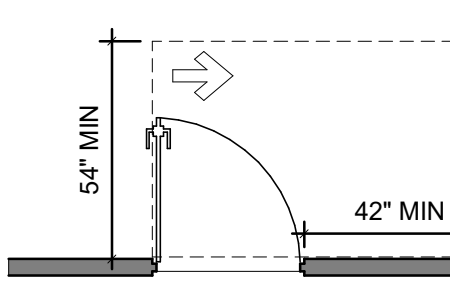
FRONT APPROACH, PUSH SIDE



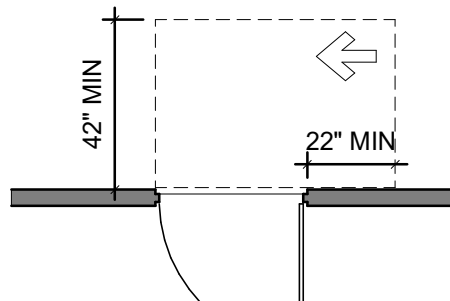
FRONT APPROACH, PULL SIDE PROVIDED WITH BOTH CLOSER AND LATCH



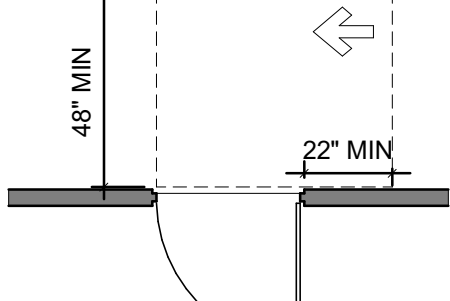
HINGE APPROACH, PULL SIDE



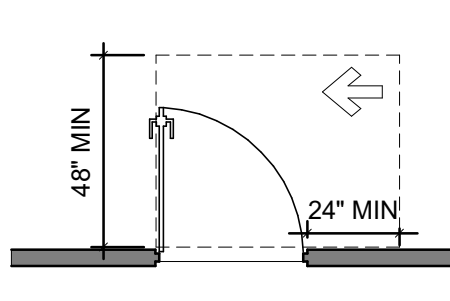
HINGE APPROACH, PULL SIDE PROVIDED WITH BOTH CLOSER AND LATCH



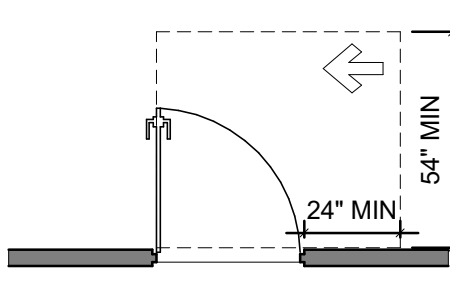
HINGE APPROACH, PUSH SIDE



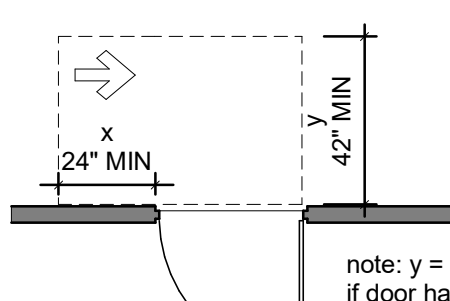
HINGE APPROACH, PULL SIDE PROVIDED WITH BOTH CLOSER AND LATCH



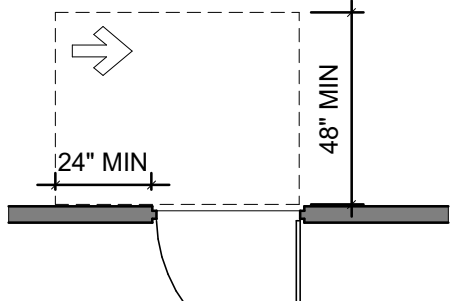
LATCH APPROACH, PULL SIDE



LATCH APPROACH, PULL SIDE DOOR PROVIDED WITH CLOSER



LATCH APPROACH, PUSH SIDE

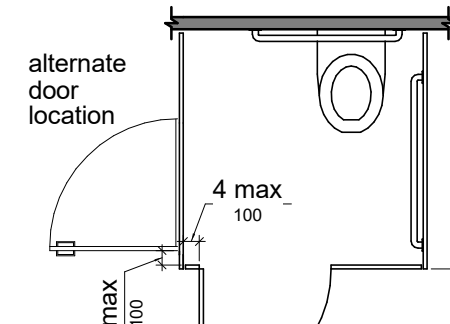


LATCH APPROACH, PULL SIDE DOOR PROVIDED WITH CLOSER

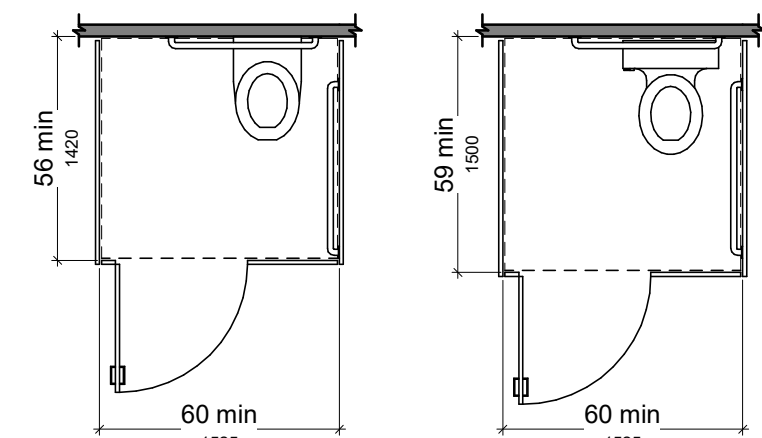
LATCH APPROACH, PUSH SIDE

LATCH APPROACH, PULL SIDE DOOR PROVIDED WITH CLOSER

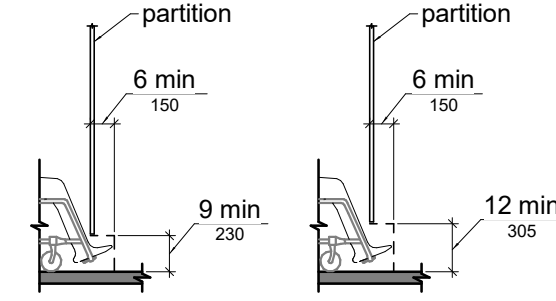
404.2.4.1 MANEUVERING CLEARANCES AT MANUAL SWINGING DOORS AND GATES



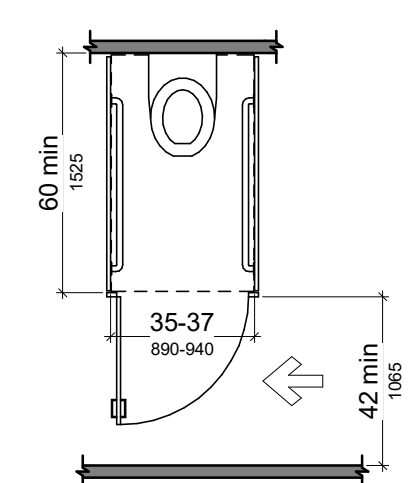
604.8.1.2 WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT DOORS



604.8.1.1 SIZE OF WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT



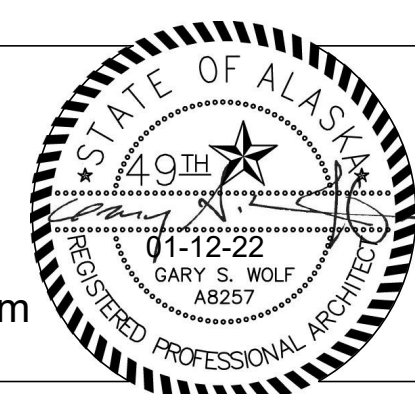
604.8.1.4 WHEELCHAIR ACCESSIBLE TOILET COMPARTMENT TOE CLEARANCE



604.8.2 AMBULATORY ACCESSIBLE TOILET COMPARTMENT

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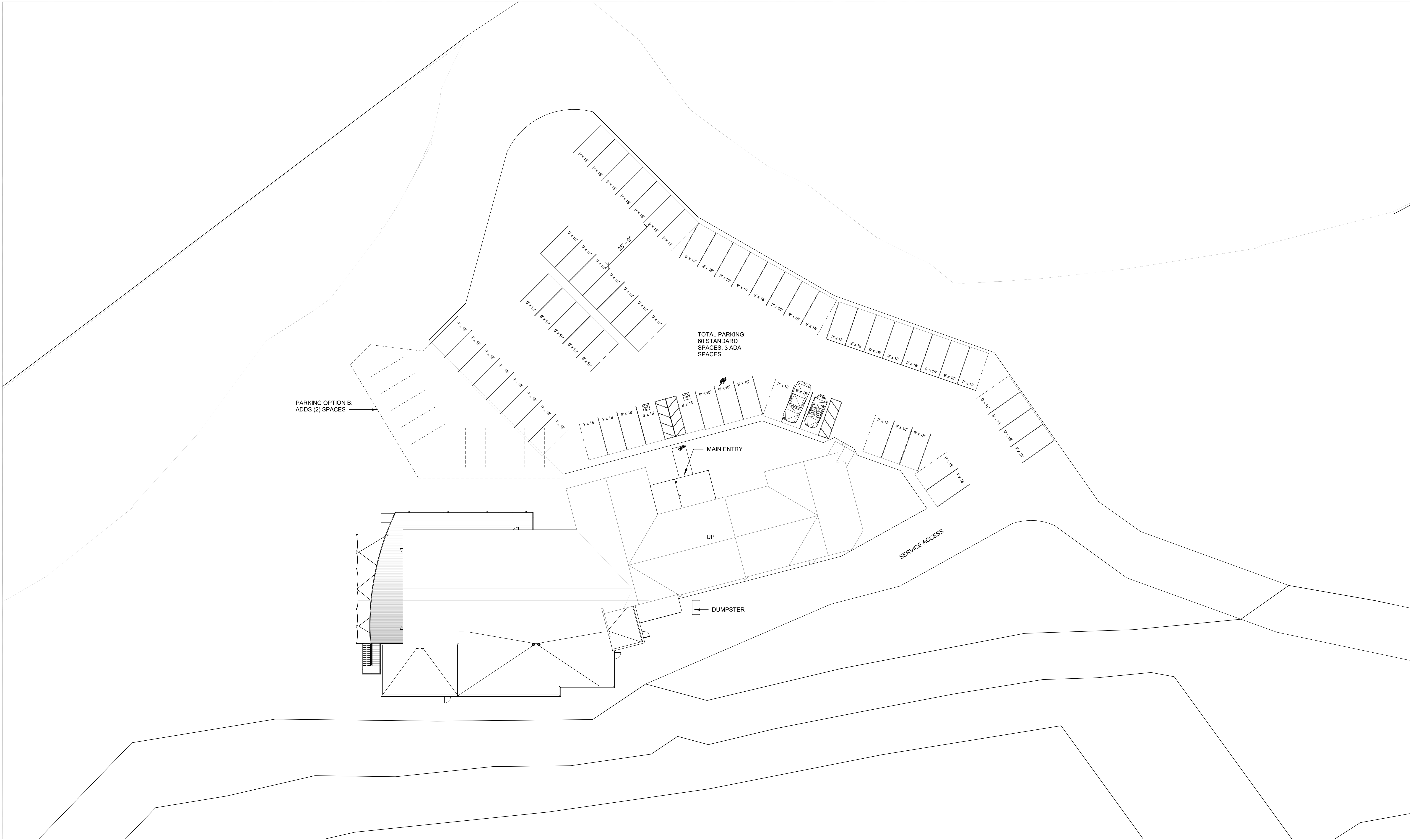


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DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
TYPICAL ADA DETAILS

G1.05



1. SEE CIVIL DRAWINGS FOR ALL
CULVERT SIZES AND LOCATIONS

ARCHITECTURAL SITE PLAN
Scale: 1" = 20'-0"



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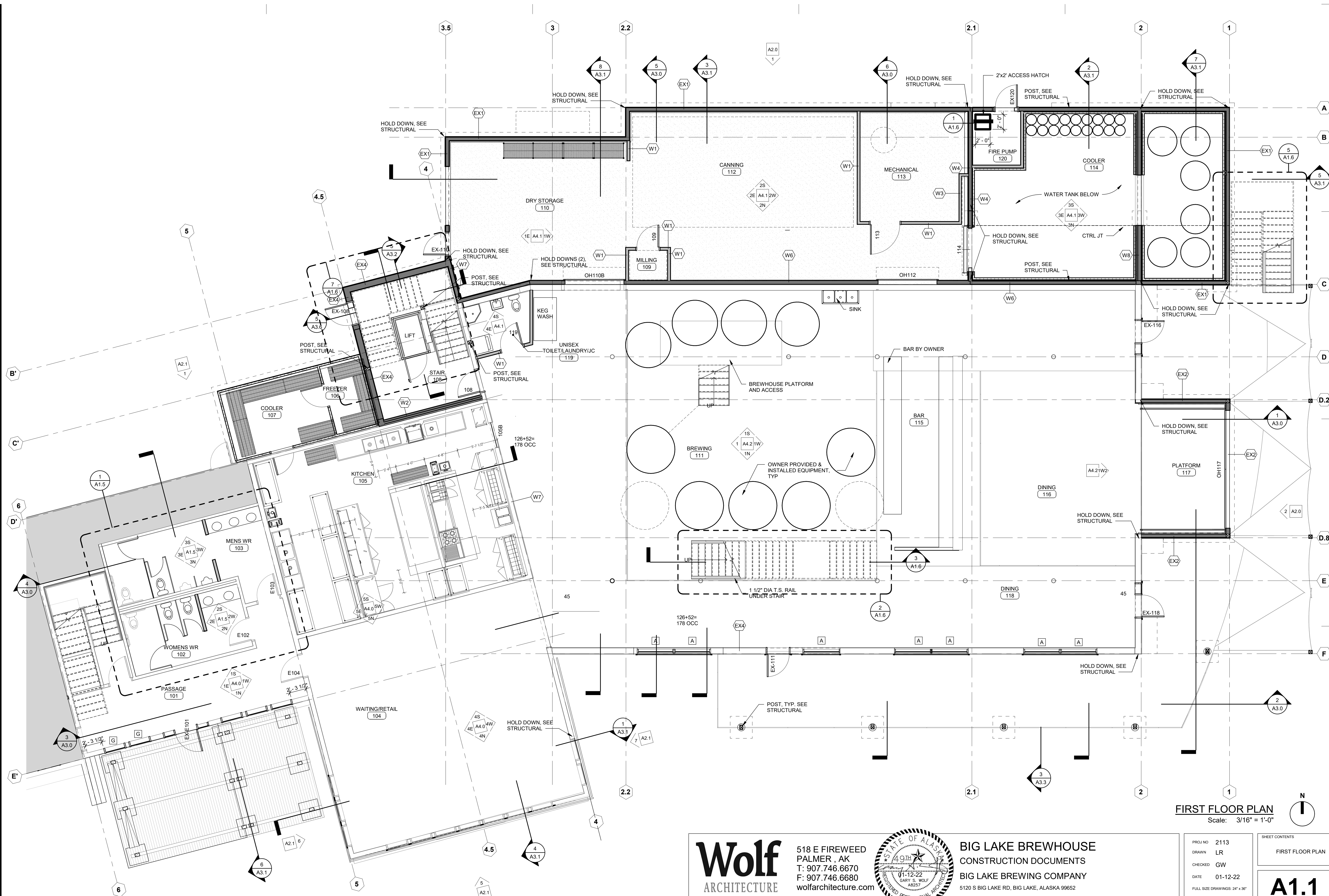


BIG LAKE BREWHOUSE
CONSTRUCTION DOCUMENTS
BIG LAKE BREWING COMPANY
5120 S BIG LAKE RD, BIG LAKE, ALASKA 99652

PROJ NO 2113
DRAWN LR
CHECKED GW
DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
ARCHITECTURAL SITE
PLAN

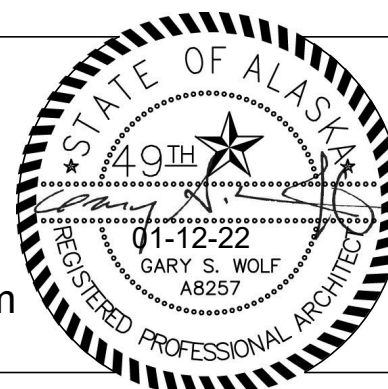
A1.0



FIRST FLOOR PLAN
Scale: 3/16" = 1'-0"

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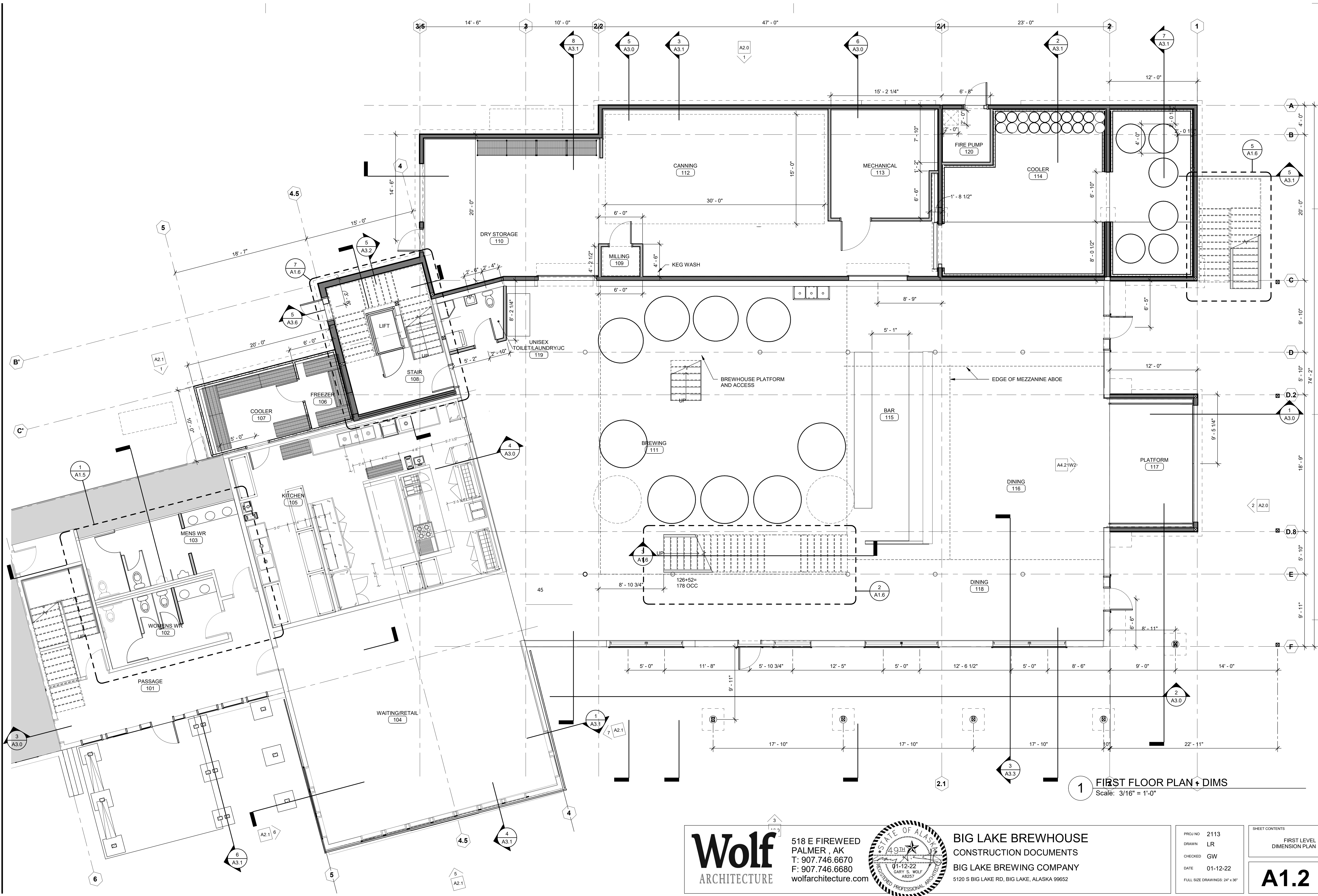


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DRAWN LR
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SHEET CONTENTS
FIRST FLOOR PLAN


A1.1



1 FIRST FLOOR PLAN + DIMS
Scale: 3/16" = 1'-0"



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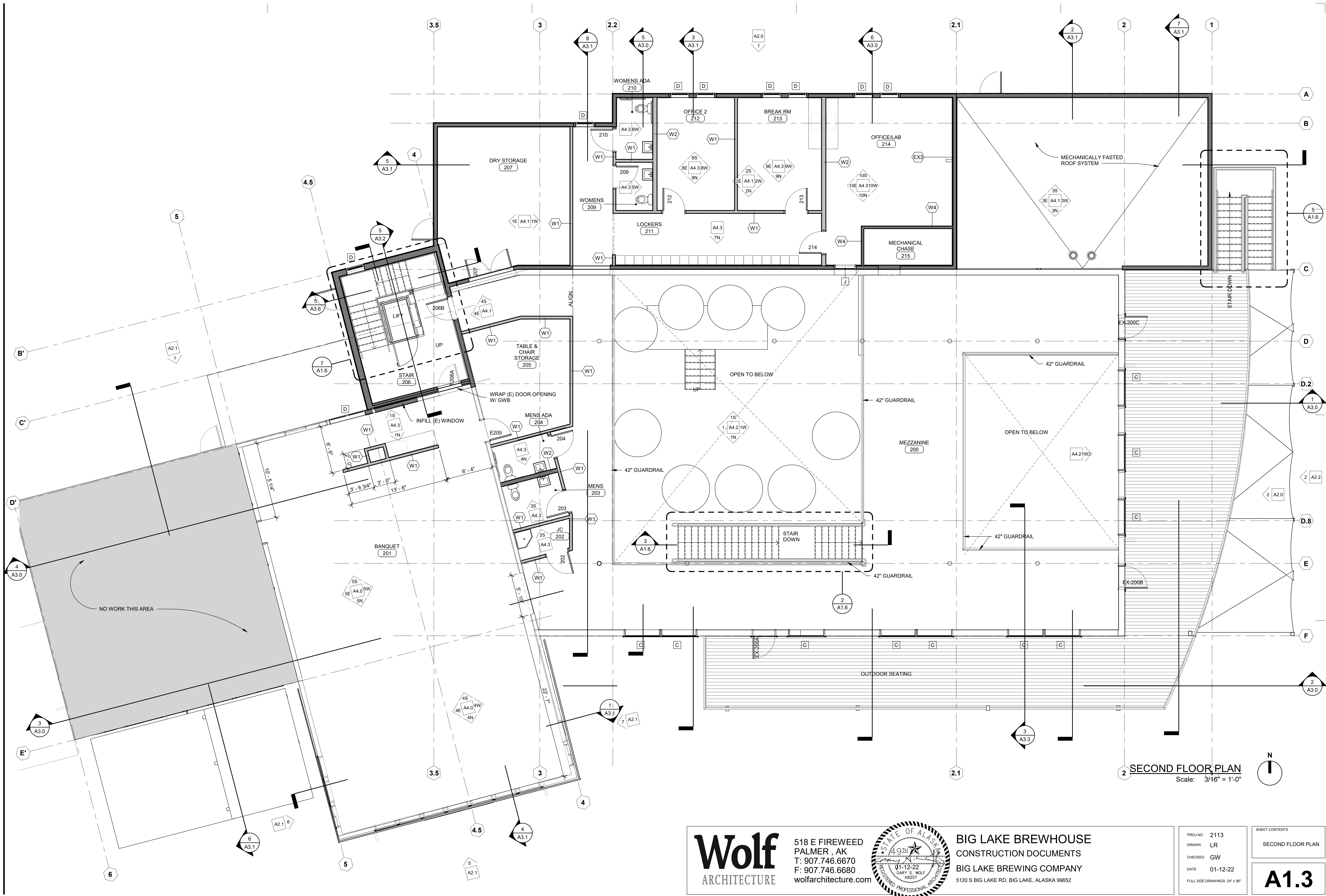
GARY S. WOLF
14919
REGISTERED PROFESSIONAL ARCHITECT

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DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
FIRST LEVEL
DIMENSION PLAN

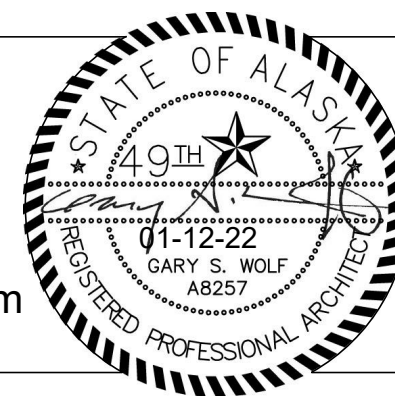
A1.2



2 SECOND FLOOR PLAN
Scale: 3/16" = 1'-0"

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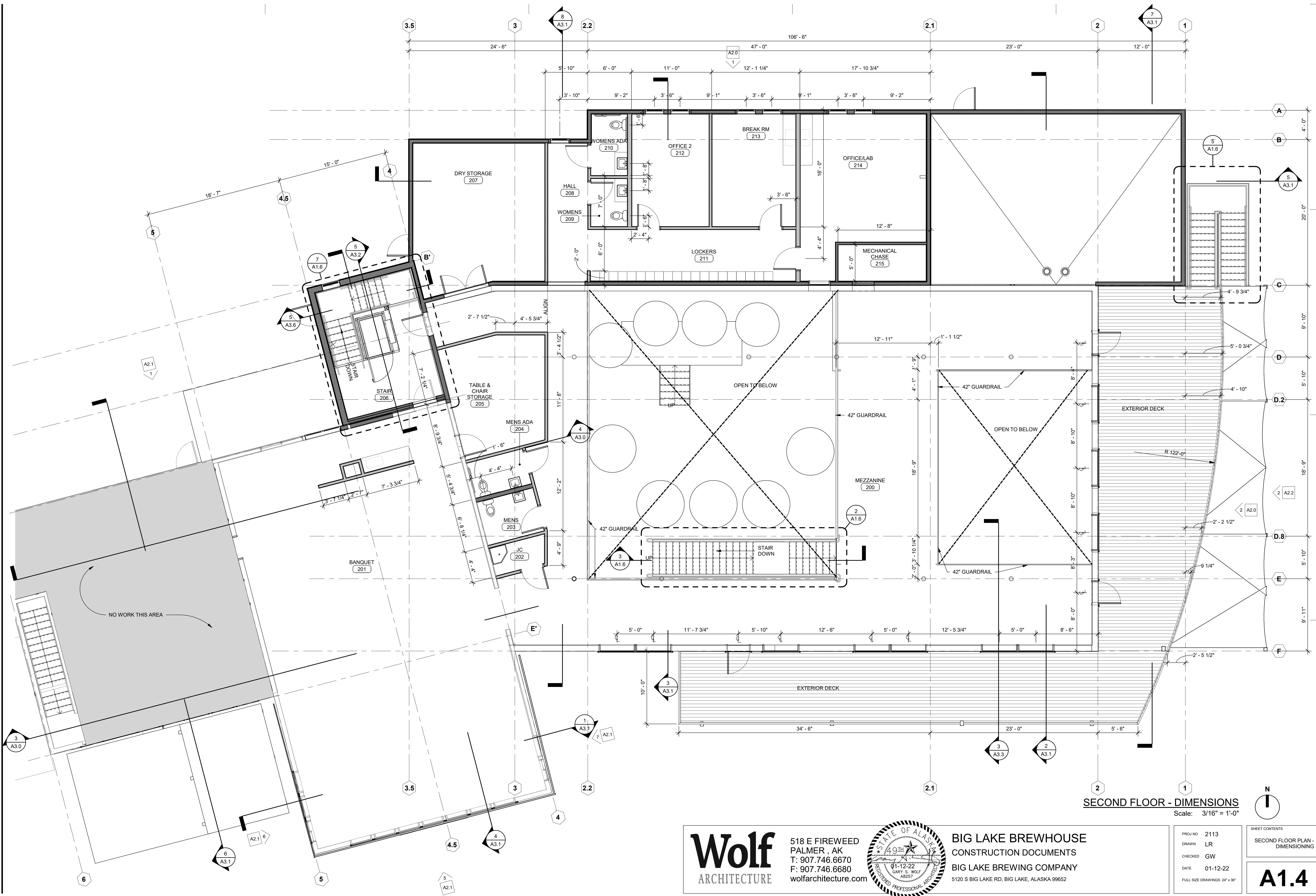


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DRAWN LR
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SHEET CONTENTS
SECOND FLOOR PLAN

A1.3

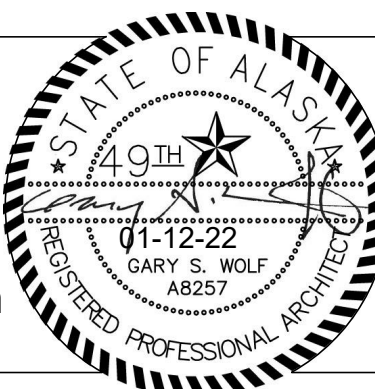


SECOND FLOOR - DIMENSIONS

Scale: 3/16" = 1'-0"

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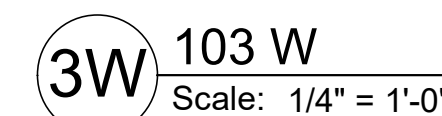
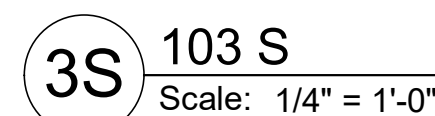
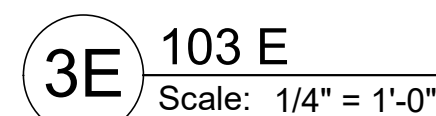
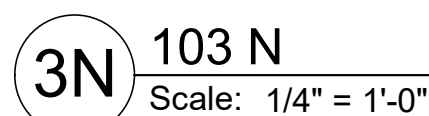
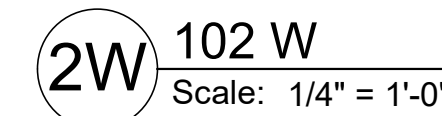
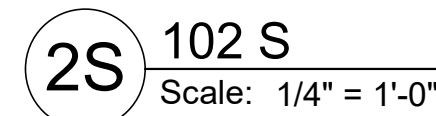
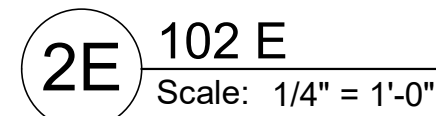
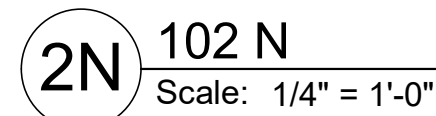


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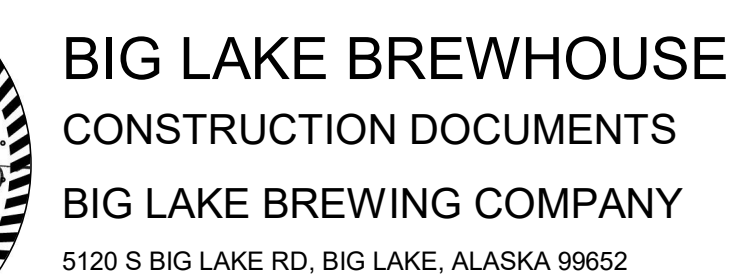
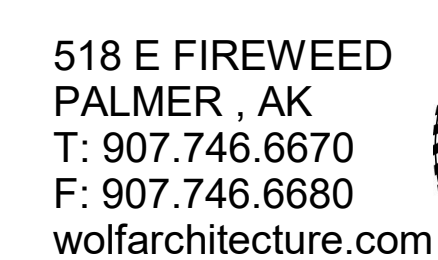
PROJ NO 2113
DRAWN LR
CHECKED GW
DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
SECOND FLOOR PLAN -
DIMENSIONING

A1.4



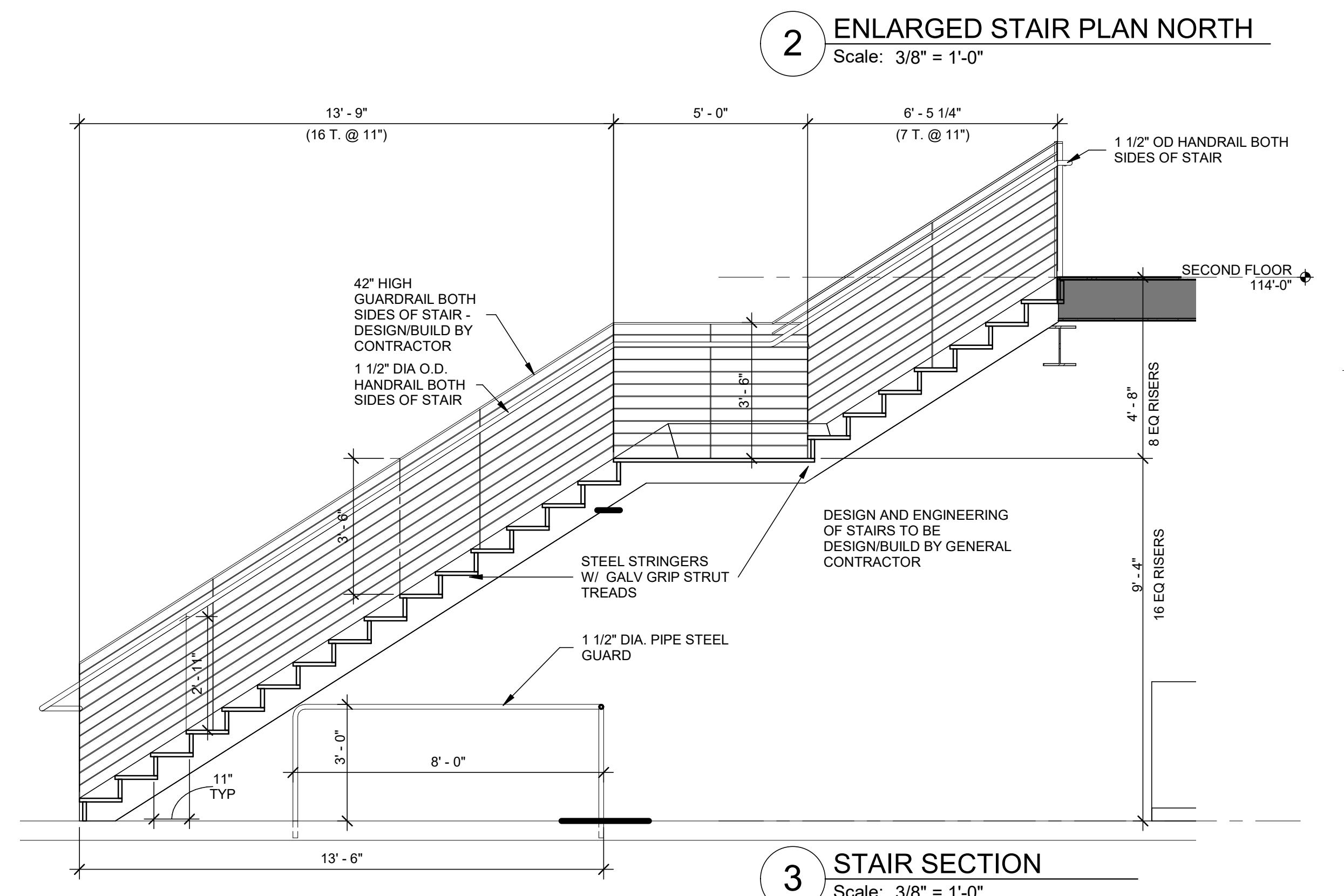
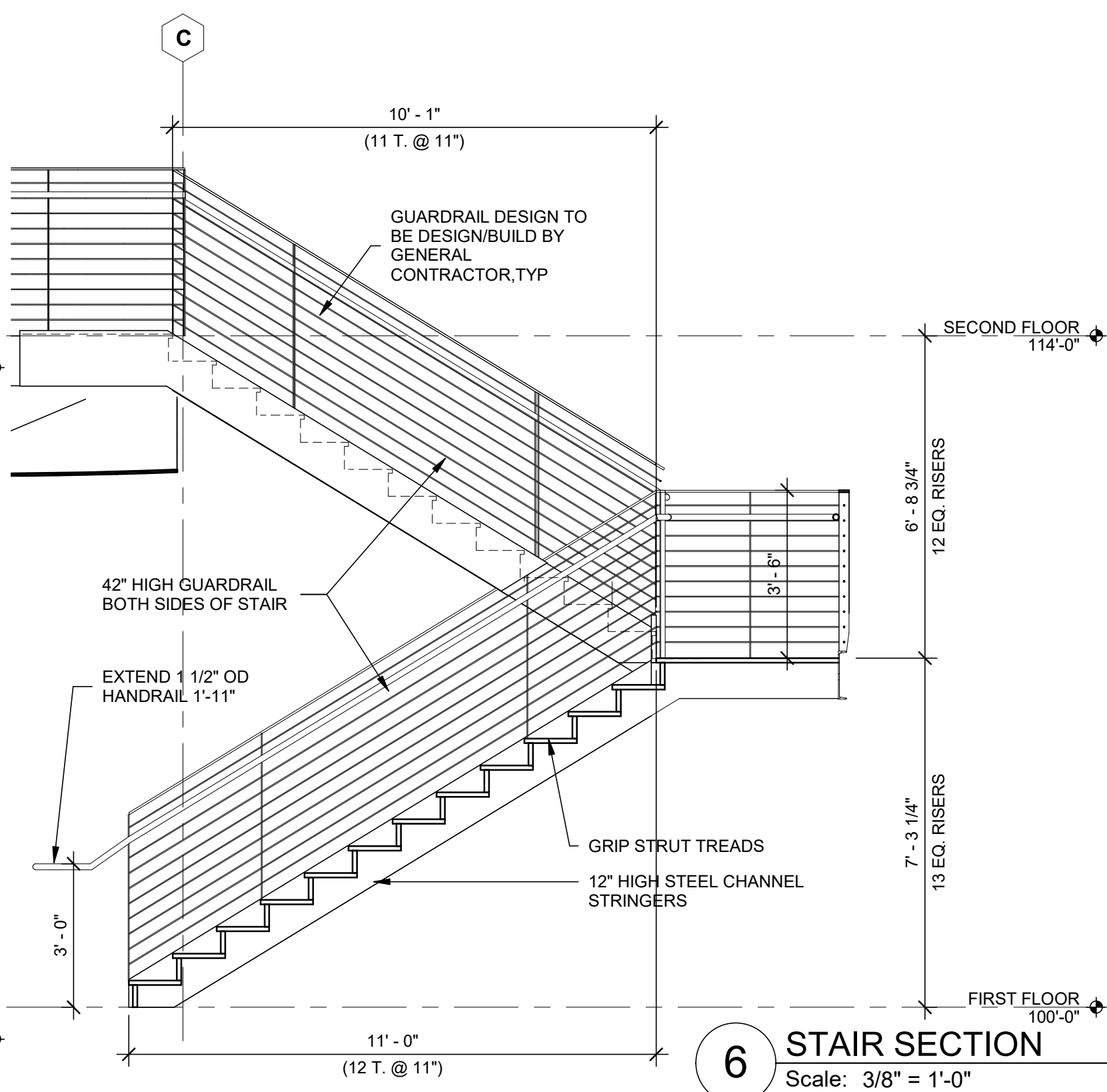
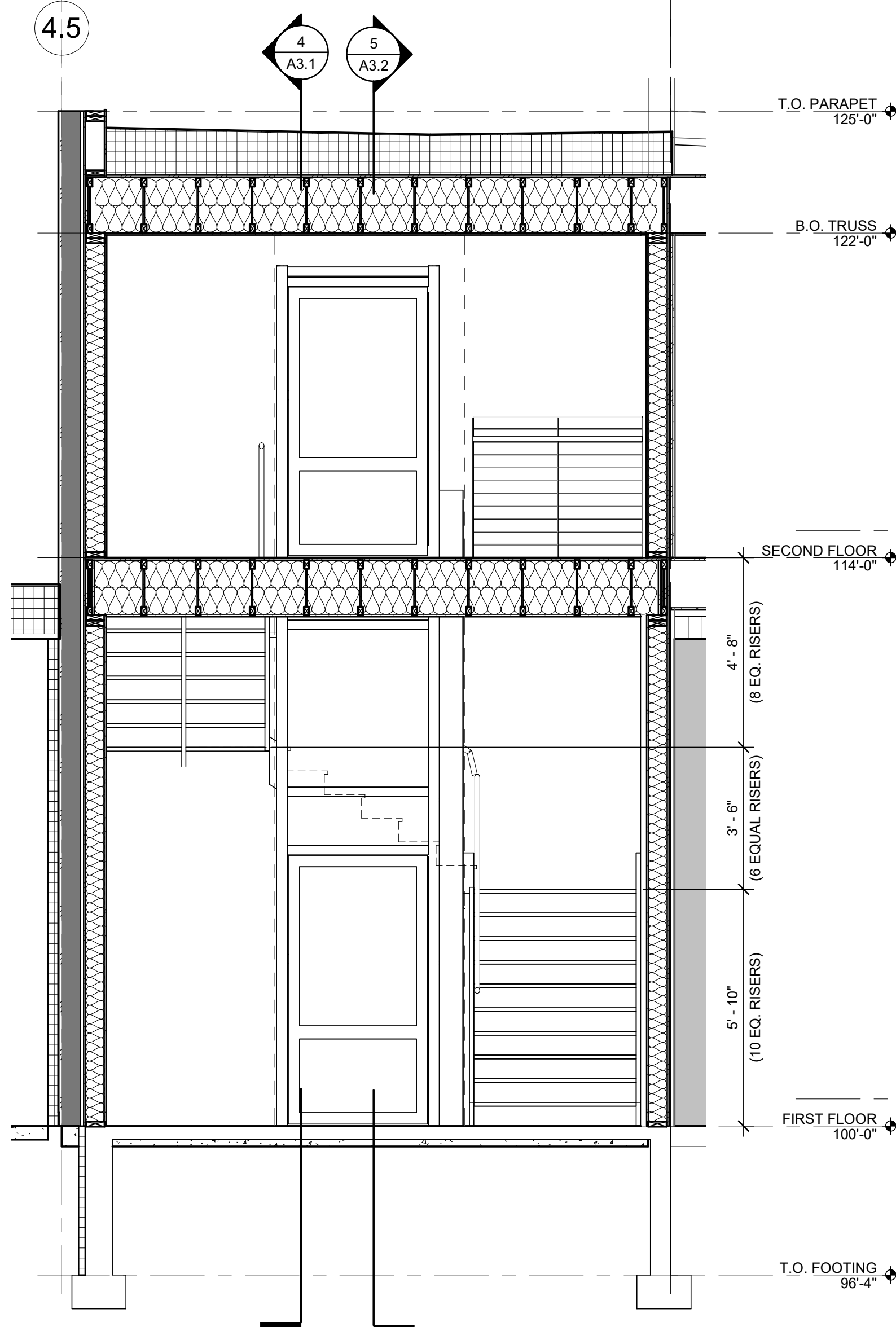
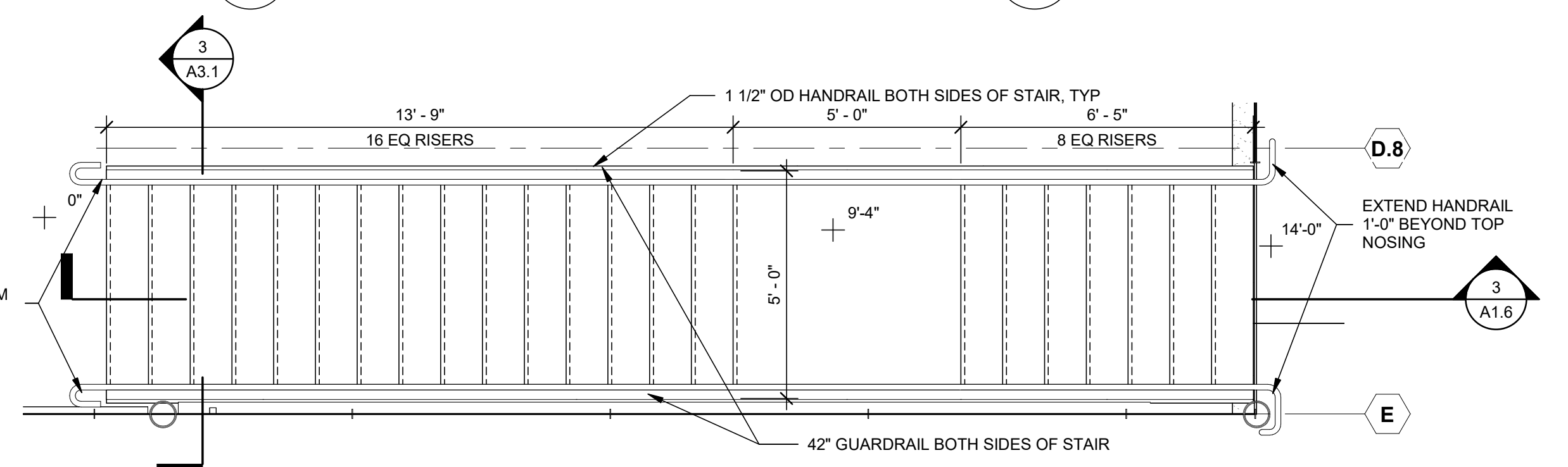
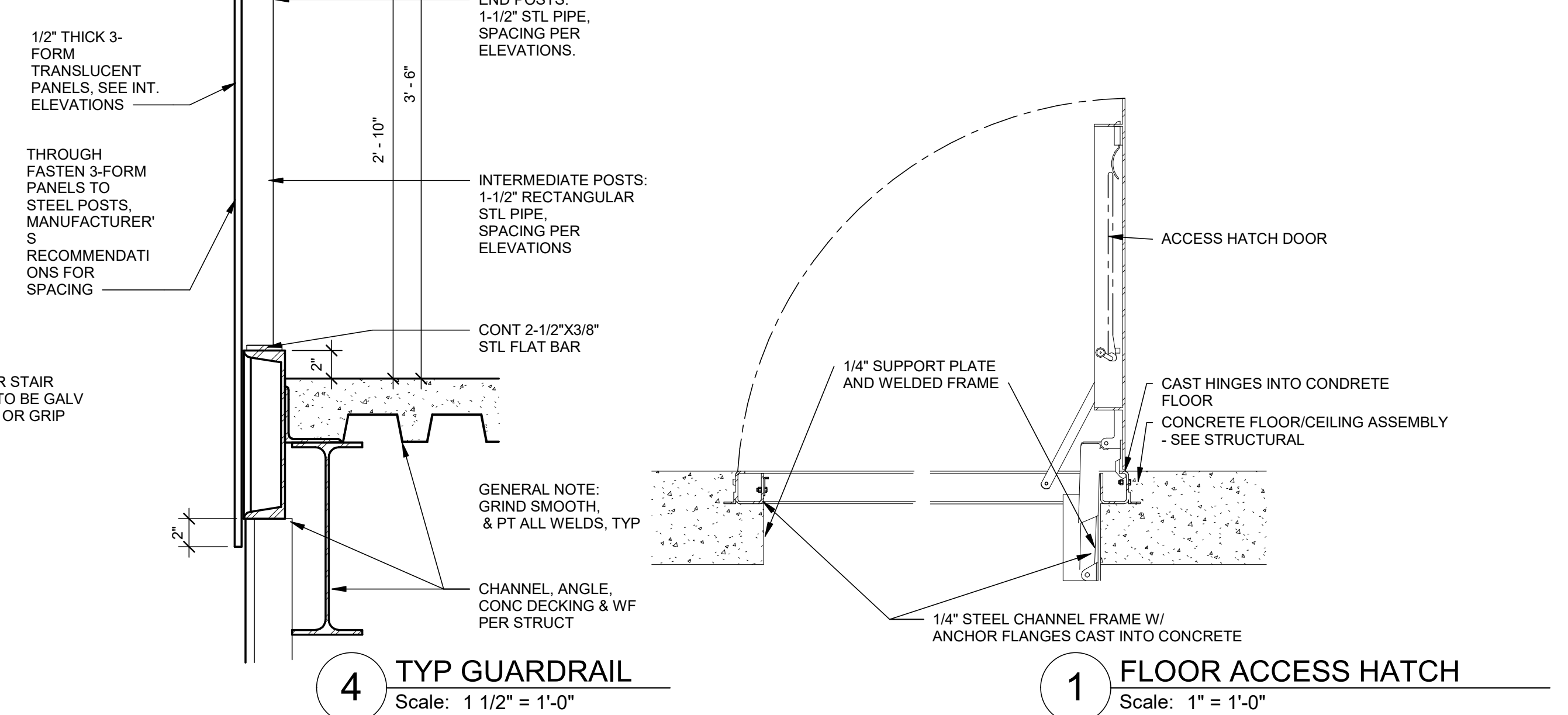
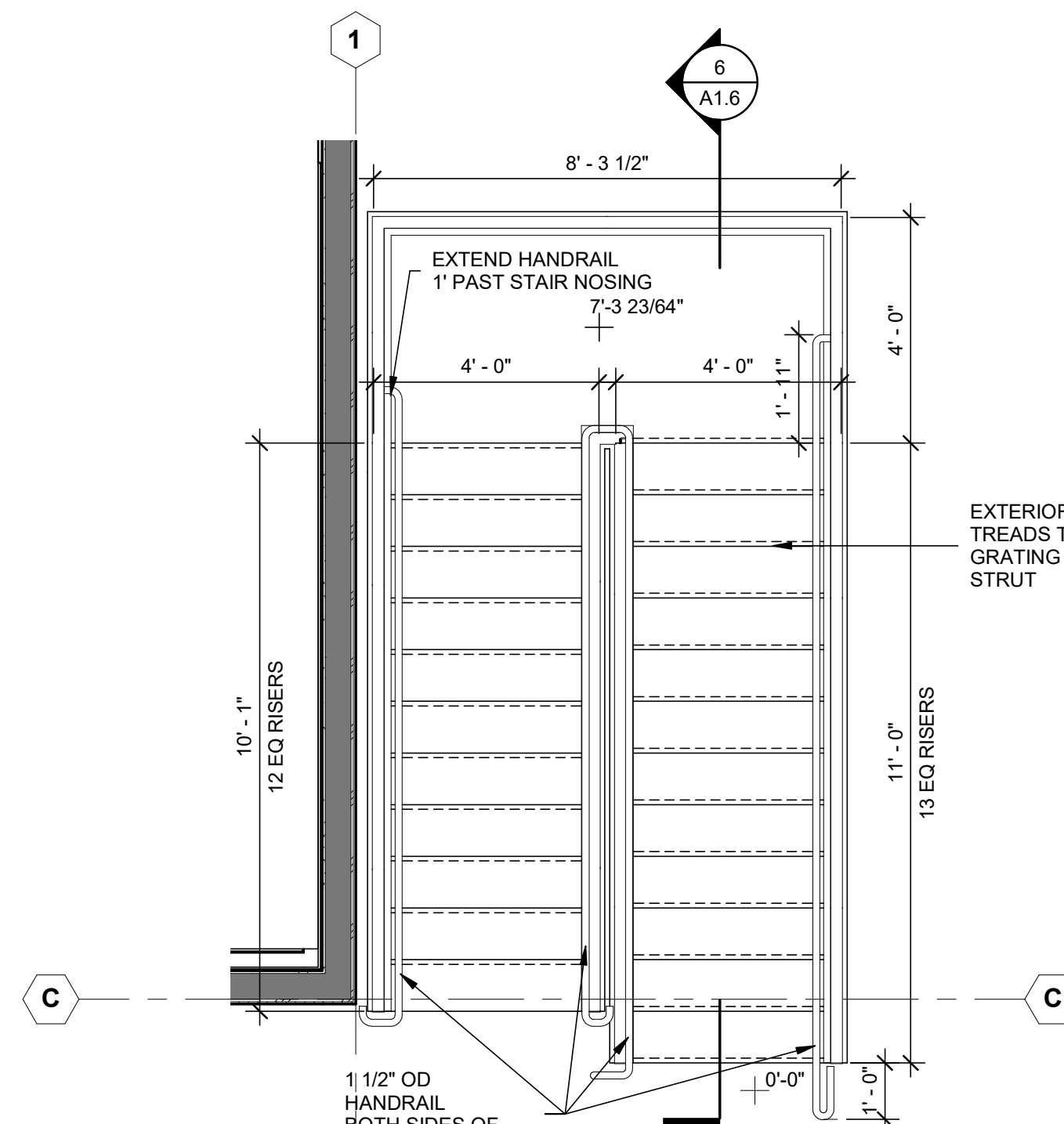
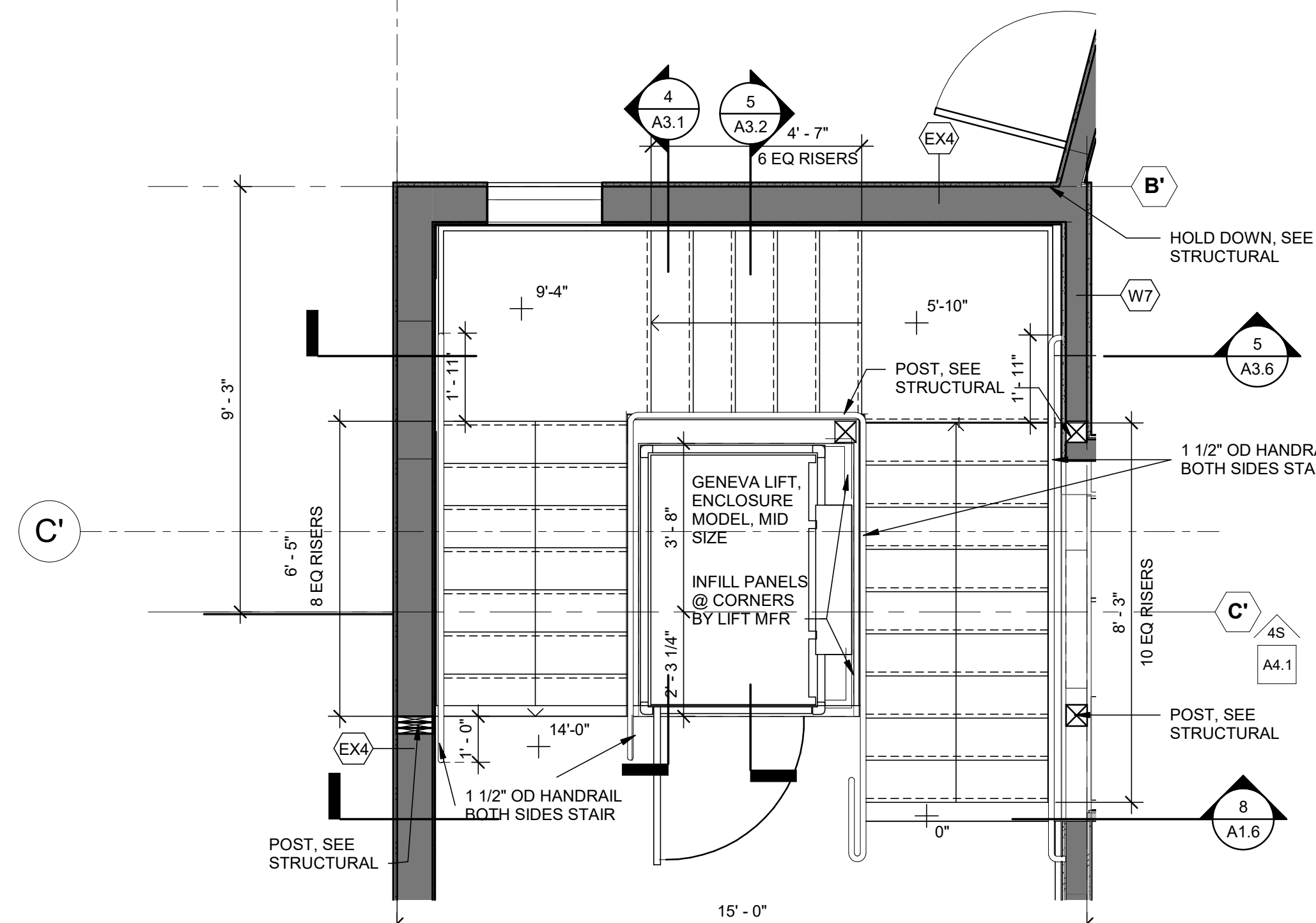
*REFERENCE SHEET G1.04 FOR ADA FIXTURE LOCATION REQUIREMENTS



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DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

ENLARGED TOILET
ROOM PLAN,
ELEVATIONS

A1.5



2 ENLARGED STAIR PLAN NORTH
Scale: 3/8" = 1'-0"

6 STAIR SECTION
Scale: 3/8" = 1'-0"

3 STAIR SECTION
Scale: 3/8" = 1'-0"

8 STAIR SECTION
Scale: 3/8" = 1'-0"

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PROJ NO	2113
DRAWN	Author
CHECKED	Checker
DATE	01-12-22
FULL SIZE DRAWINGS: 24" x 36"	

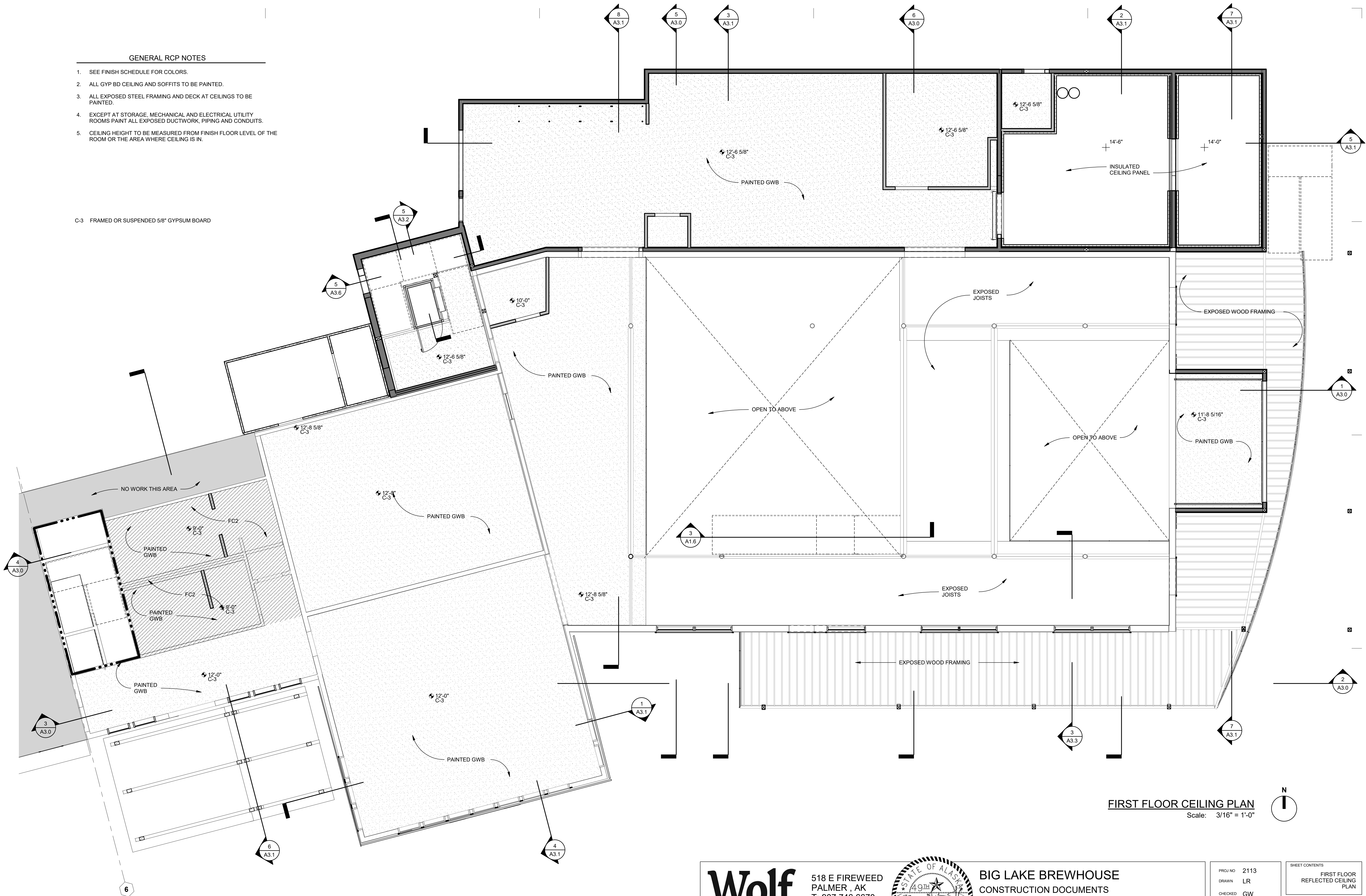
SHEET CONTENTS
ENLARGED STAIR PLANS SECTIONS

A1.6

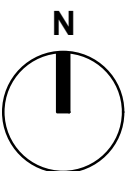
GENERAL RCP NOTES

1. SEE FINISH SCHEDULE FOR COLORS.
2. ALL GYP BD CEILING AND SOFFITS TO BE PAINTED.
3. ALL EXPOSED STEEL FRAMING AND DECK AT CEILINGS TO BE PAINTED.
4. EXCEPT AT STORAGE, MECHANICAL AND ELECTRICAL UTILITY ROOMS PAINT ALL EXPOSED DUCTWORK, PIPING AND CONDUITS.
5. CEILING HEIGHT TO BE MEASURED FROM FINISH FLOOR LEVEL OF THE ROOM OR THE AREA WHERE CEILING IS IN.

C-3 FRAMED OR SUSPENDED 5/8" GYPSUM BOARD

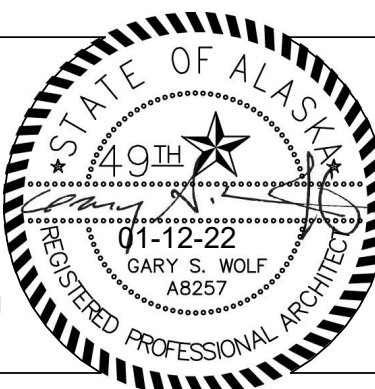


FIRST FLOOR CEILING PLAN
Scale: 3/16" = 1'-0"



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FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
FIRST FLOOR
REFLECTED CEILING
PLAN

















A1.7

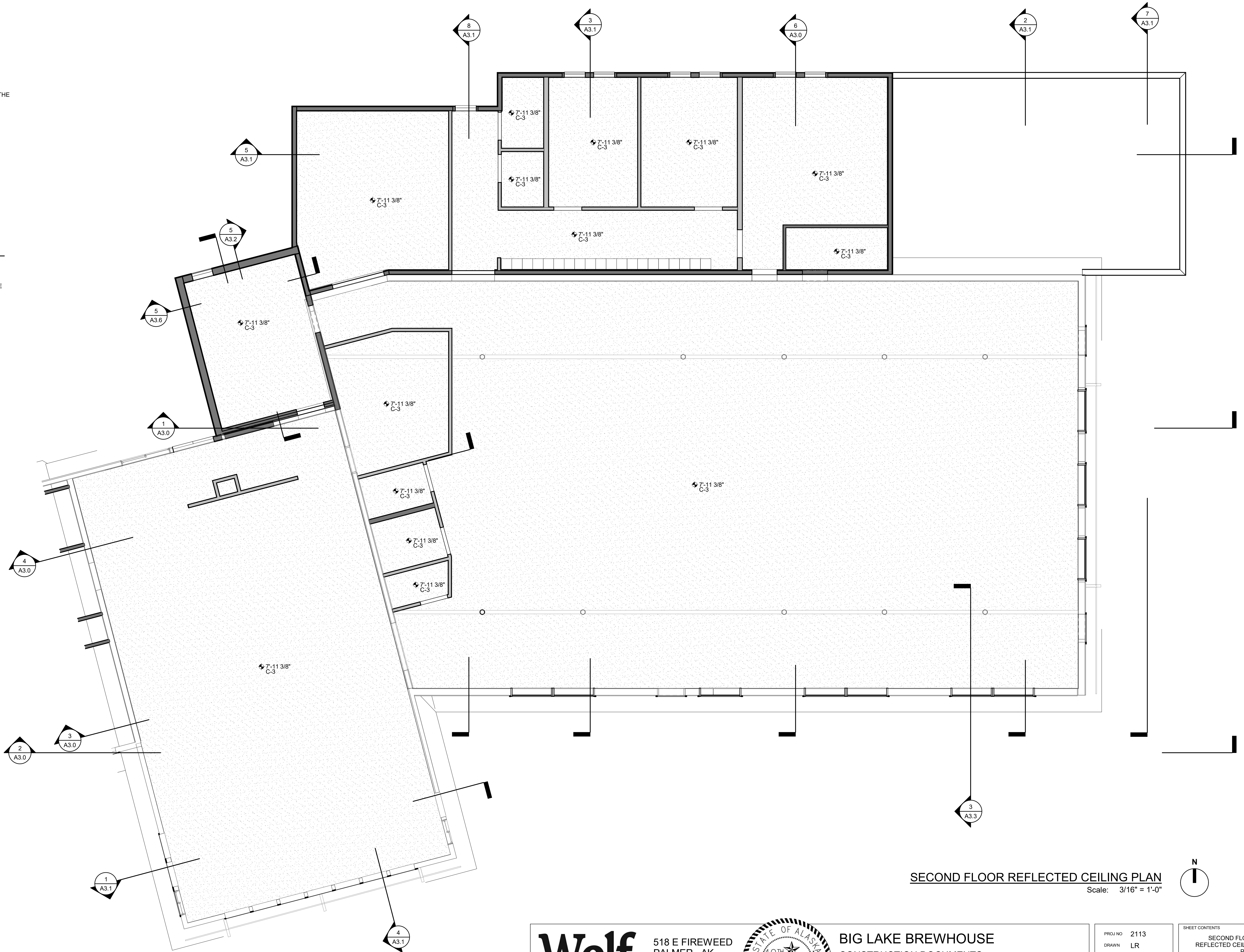
GENERAL RCP NOTES

- SEE FINISH SCHEDULE FOR COLORS.
- ALL GYP BD CEILING AND SOFFITS TO BE PAINTED.
- ALL EXPOSED STEEL FRAMING AND DECK AT CEILINGS TO BE PAINTED.
- EXCEPT AT STORAGE, MECHANICAL AND ELECTRICAL UTILITY ROOMS PAINT ALL EXPOSED DUCTWORK, PIPING AND CONDUITS.
- CEILING HEIGHT TO BE MEASURED FROM FINISH FLOOR LEVEL OF THE ROOM OR THE AREA WHERE CEILING IS IN.

C-3 FRAMED OR SUSPENDED 5/8" GYPSUM BOARD

LEGEND

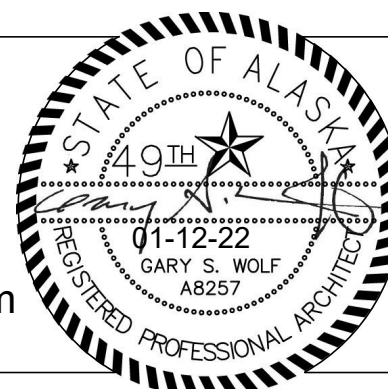
-  CEILING ACCESS PANEL, 18"X18" UNO.
-  CEILING HEIGHT (HEIGHTS INDICATED ARE RELATIVE TO 100'-0" FLOOR LEVEL).
-  PROJECTOR (POSITIONS SHOWN ARE APPROXIMATE. FINAL POSITION TO BE VERIFIED WITH OWNER).
-  SUSPENDED LIGHT FIXTURES
-  SUPPLY DIFFUSERS
-  RETURN AIR REGISTER OR EXHAUST FAN
-  EXIT LIGHT
-  SMOKE DETECTOR
-  HEAT DETECTOR
-  INTERCOM
-  PAGING SPEAKER
-  INFRARED DETECTOR
-  SPEAKER
-  VIDEO CAMERA
-  DAYLIGHT SENSOR
-  MOTION DETECTOR



SECOND FLOOR REFLECTED CEILING PLAN
Scale: 3/16" = 1'-0"

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SHEET CONTENTS
SECOND FLOOR
REFLECTED CEILING
PLAN

A1.8

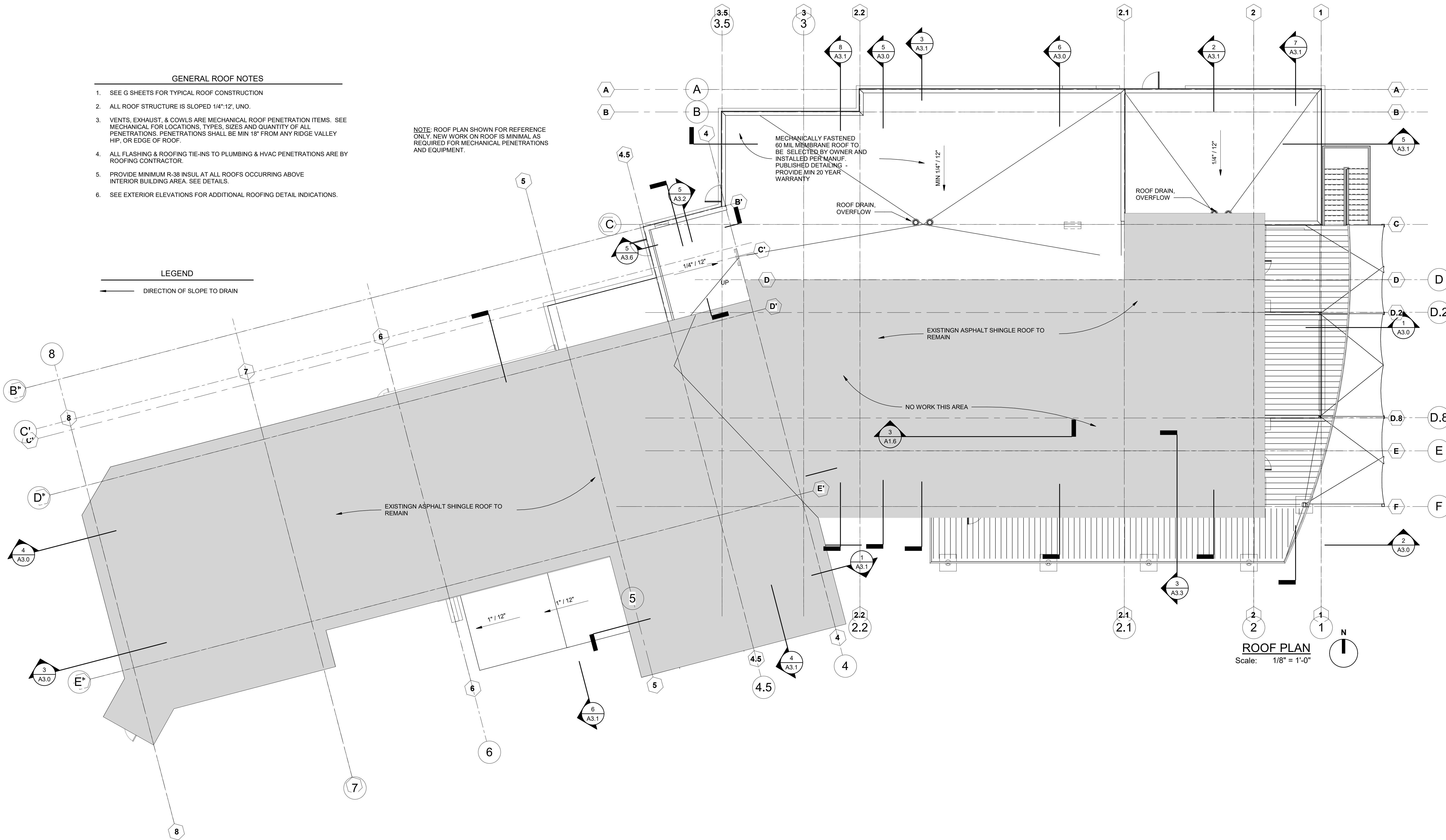
GENERAL ROOF NOTES

1. SEE G SHEETS FOR TYPICAL ROOF CONSTRUCTION
2. ALL ROOF STRUCTURE IS SLOPED 1/4":12", UNO.
3. VENTS, EXHAUST, & COWLS ARE MECHANICAL ROOF PENETRATION ITEMS. SEE MECHANICAL FOR LOCATIONS, TYPES, SIZES AND QUANTITY OF ALL PENETRATIONS. PENETRATIONS SHALL BE MIN 18" FROM ANY RIDGE VALLEY HIP, OR EDGE OF ROOF.
4. ALL FLASHING & ROOFING TIE-INS TO PLUMBING & HVAC PENETRATIONS ARE BY ROOFING CONTRACTOR.
5. PROVIDE MINIMUM R-38 INSUL AT ALL ROOFS OCCURRING ABOVE INTERIOR BUILDING AREA. SEE DETAILS.
6. SEE EXTERIOR ELEVATIONS FOR ADDITIONAL ROOFING DETAIL INDICATIONS.

LEGEND

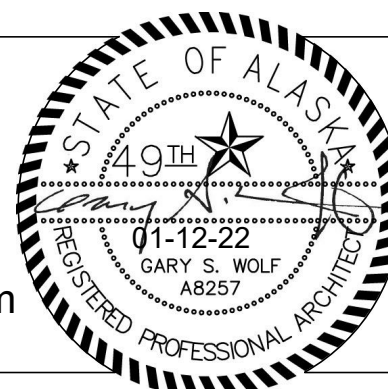
— DIRECTION OF SLOPE TO DRAIN

NOTE: ROOF PLAN SHOWN FOR REFERENCE ONLY. NEW WORK ON ROOF IS MINIMAL AS REQUIRED FOR MECHANICAL PENETRATIONS AND EQUIPMENT.



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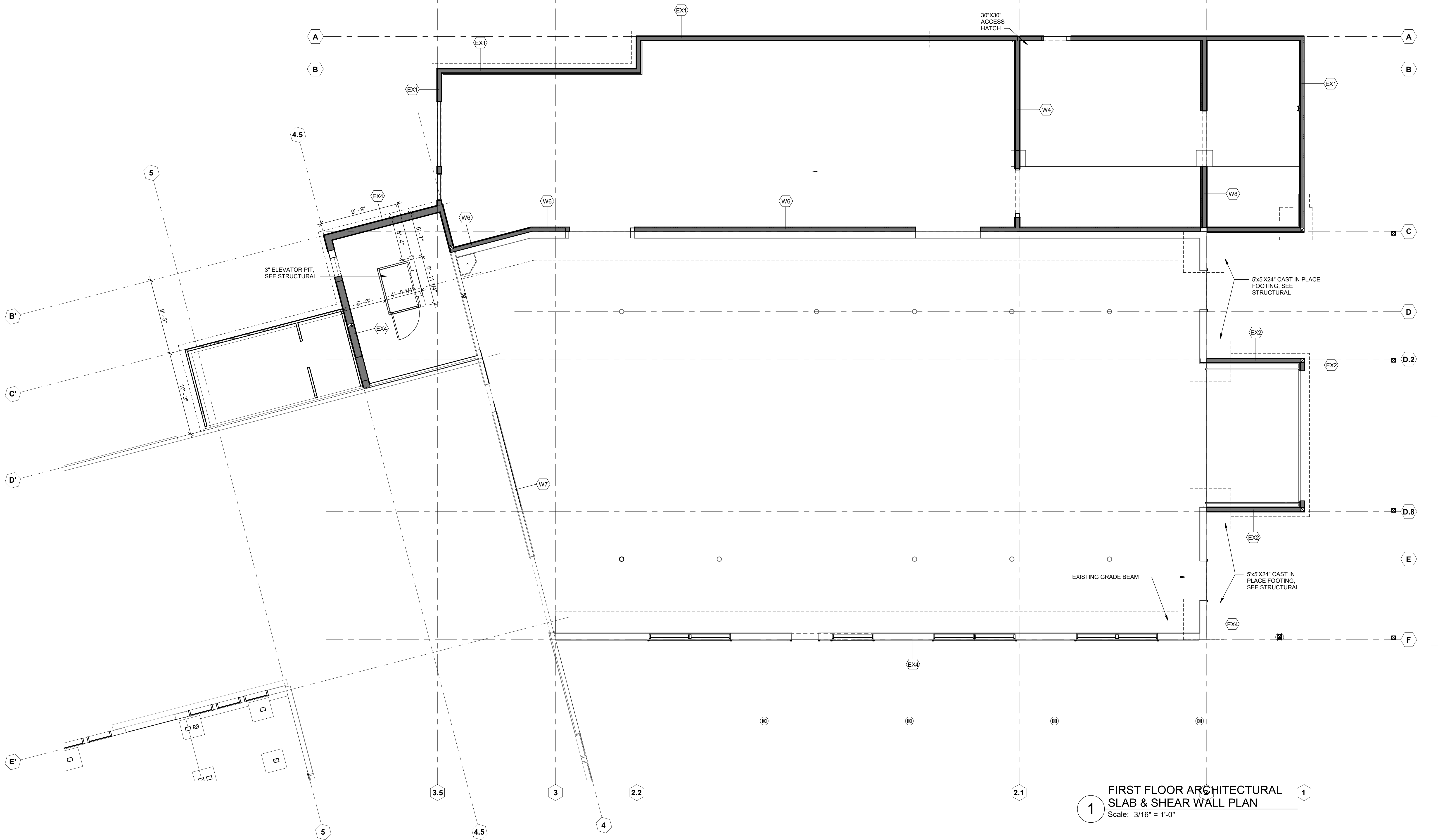


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SHEET CONTENTS
ROOF PLAN

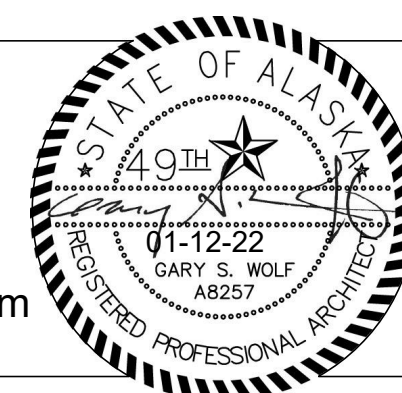
A1.9



1 FIRST FLOOR ARCHITECTURAL
SLAB & SHEAR WALL PLAN
Scale: 3/16" = 1'-0"

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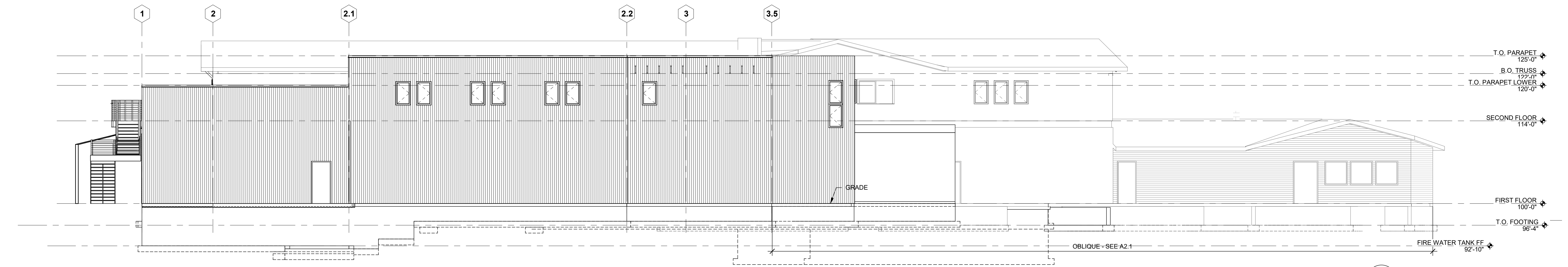


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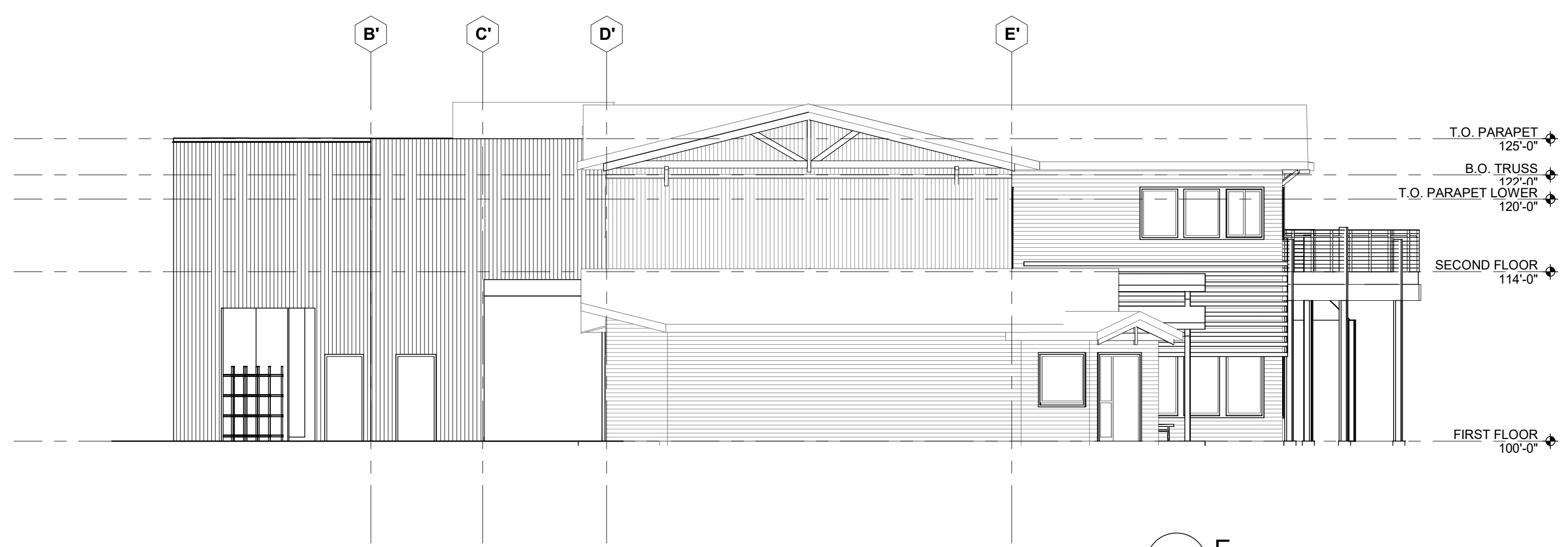
PROJ NO 2113
DRAWN LR
CHECKED GW
DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
ARCHITECTURAL SLAB &
SHEAR WALL PLAN

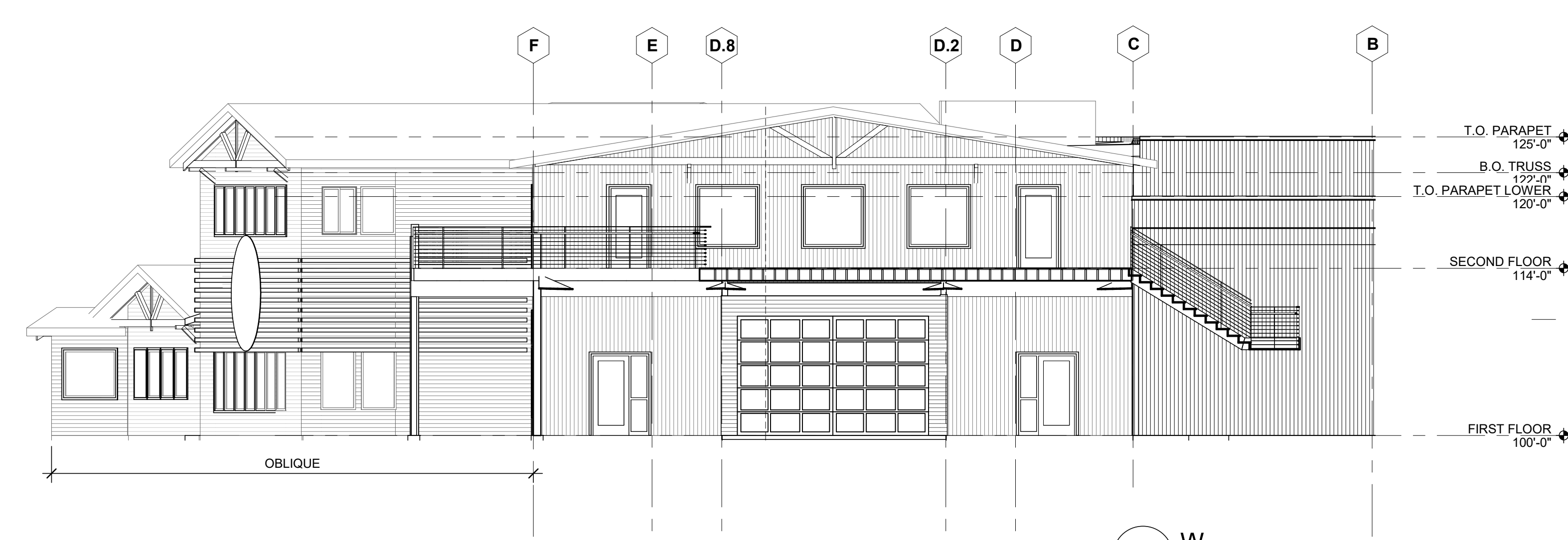
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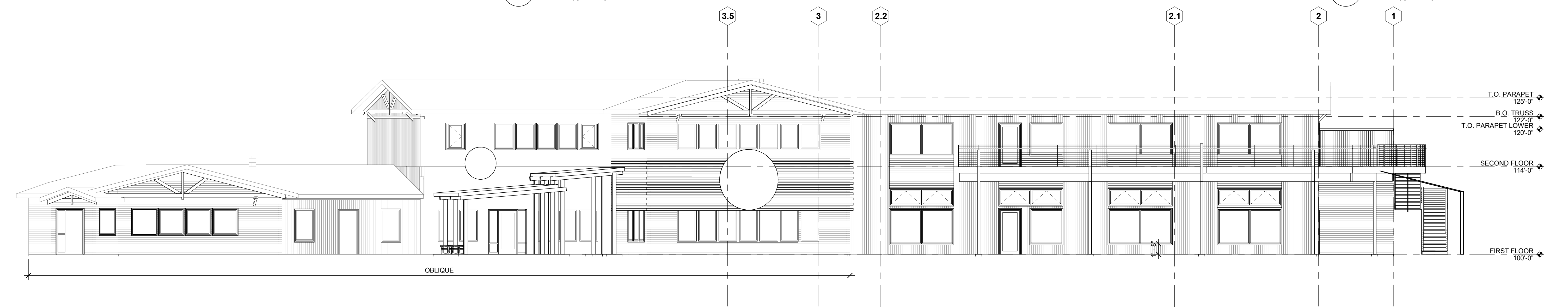
1 S
Scale: 1/8" = 1'-0"



4 E
Scale: 1/8" = 1'-0"



2 W
Scale: 1/8" = 1'-0"



3 N
Scale: 1/8" = 1'-0"

MATERIALS LEGEND	
	COMPOSITION SHINGLE ROOFING
	HORIZONTAL SMART SIDING
	VERTICAL CORRUGATED METAL SIDING

NOTE: THIS LEGEND DOES NOT INCLUDE ALL MATERIALS. SEE NOTES & REFERENCED DETAILS FOR ADDITIONAL INFORMATION.

NOTE: WINDOWS NOT TAGGED ARE EXISTING TO REMAIN, SEE A6.0 FOR WINDOW SHEDULE
SEE A2.1 FOR KEY PLAN

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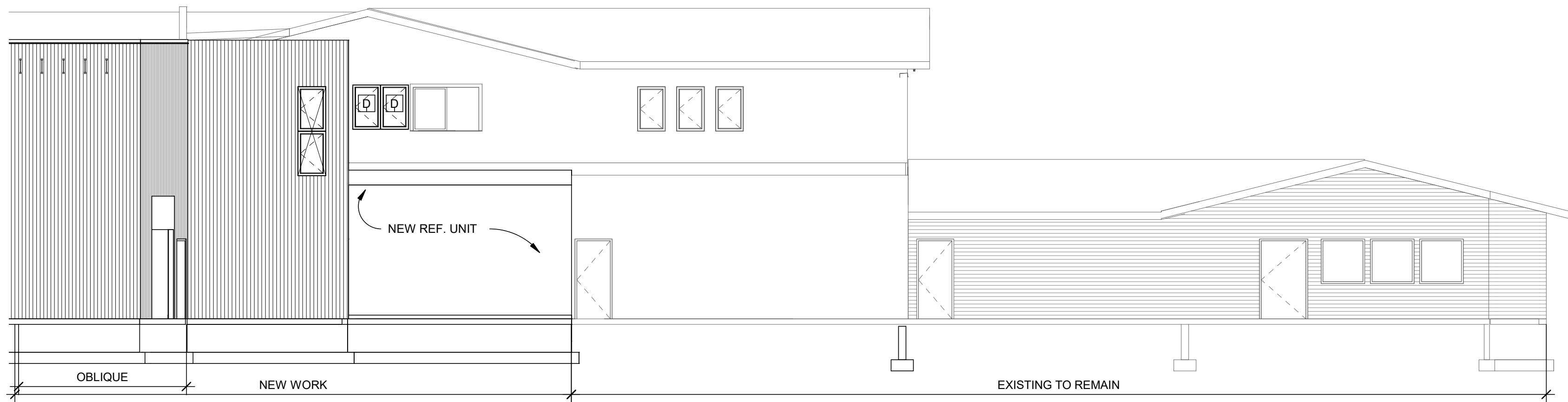
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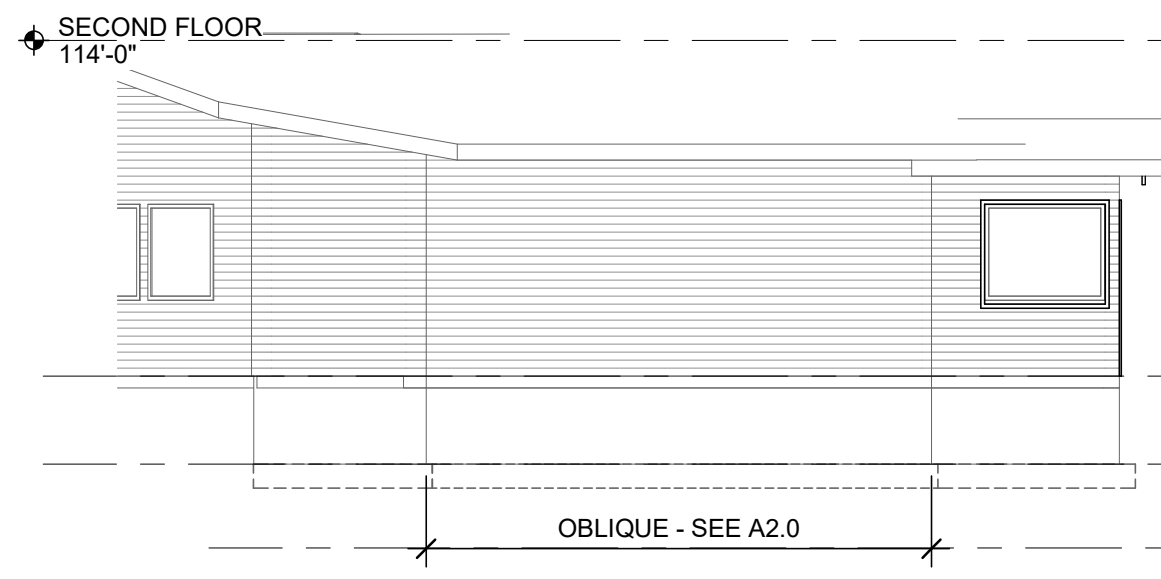
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DRAWN LR
CHECKED GW
DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
EXTERIOR ELEVATIONS

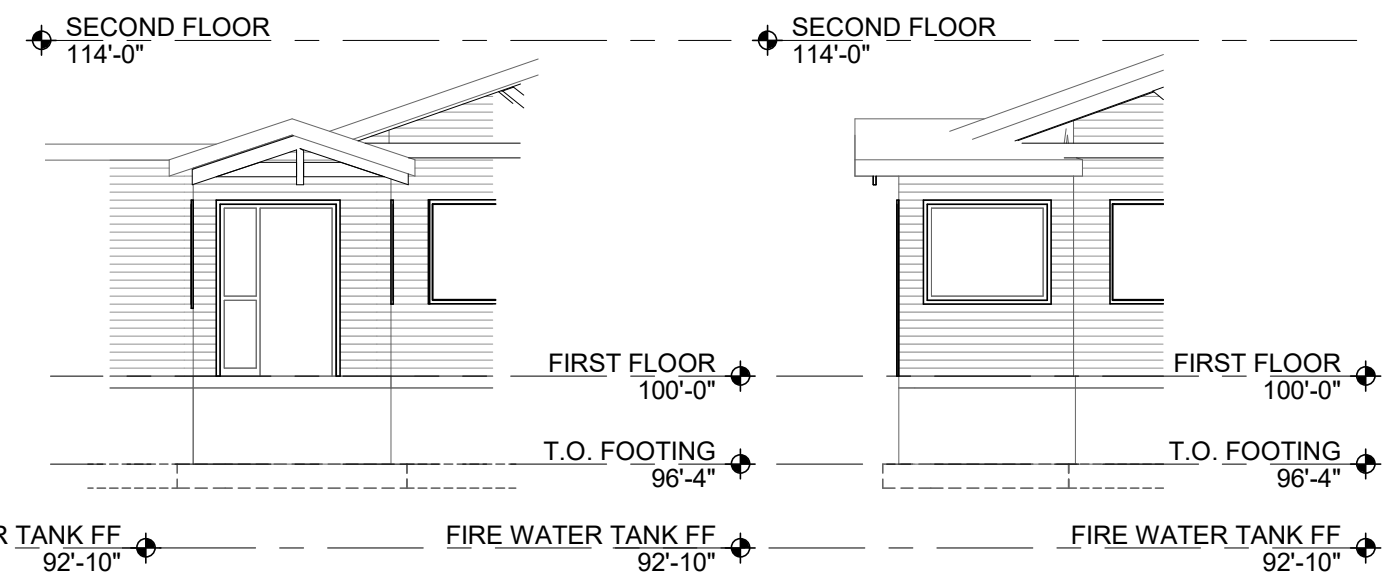
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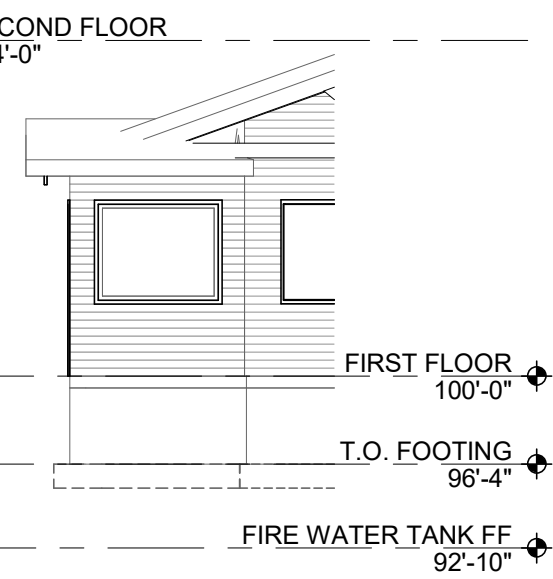
1 SE1
Scale: 1/8" = 1'-0"



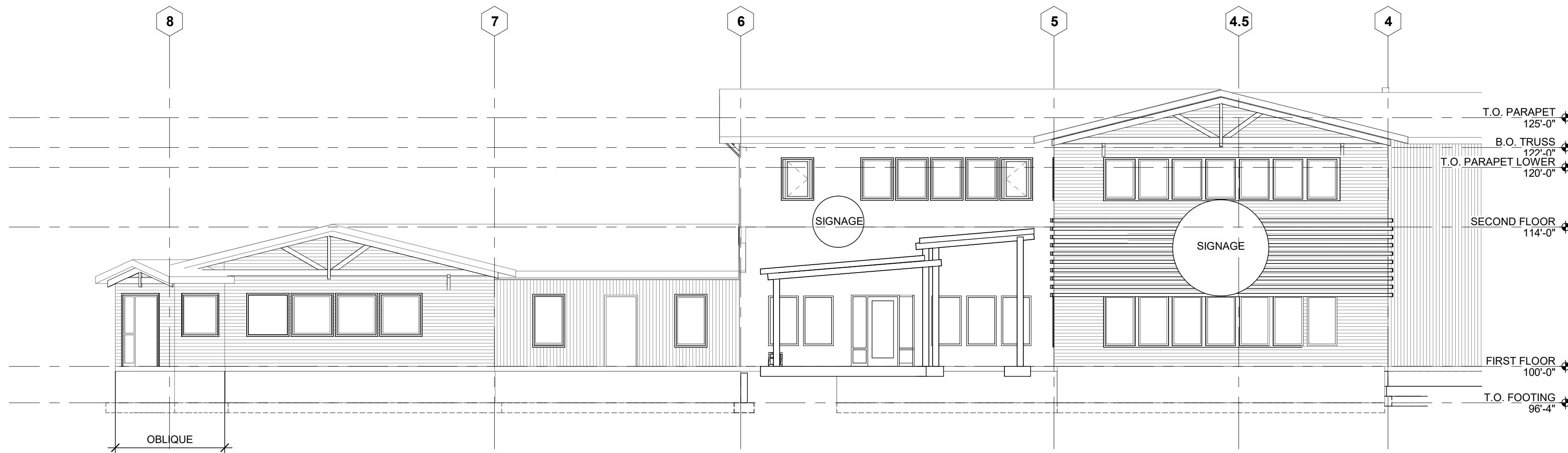
2 SE2
Scale: 1/8" = 1'-0"



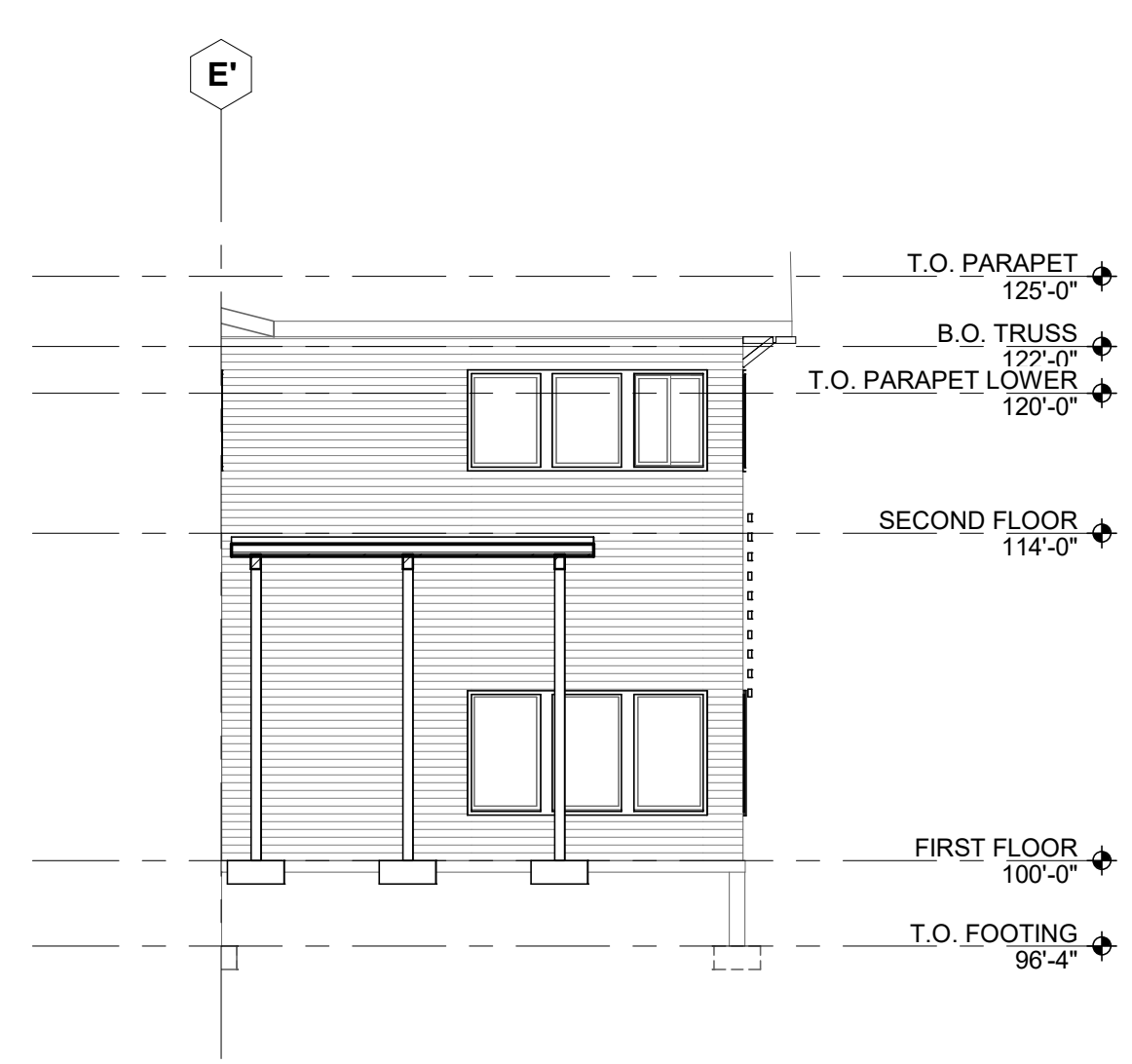
3 E2
Scale: 1/8" = 1'-0"



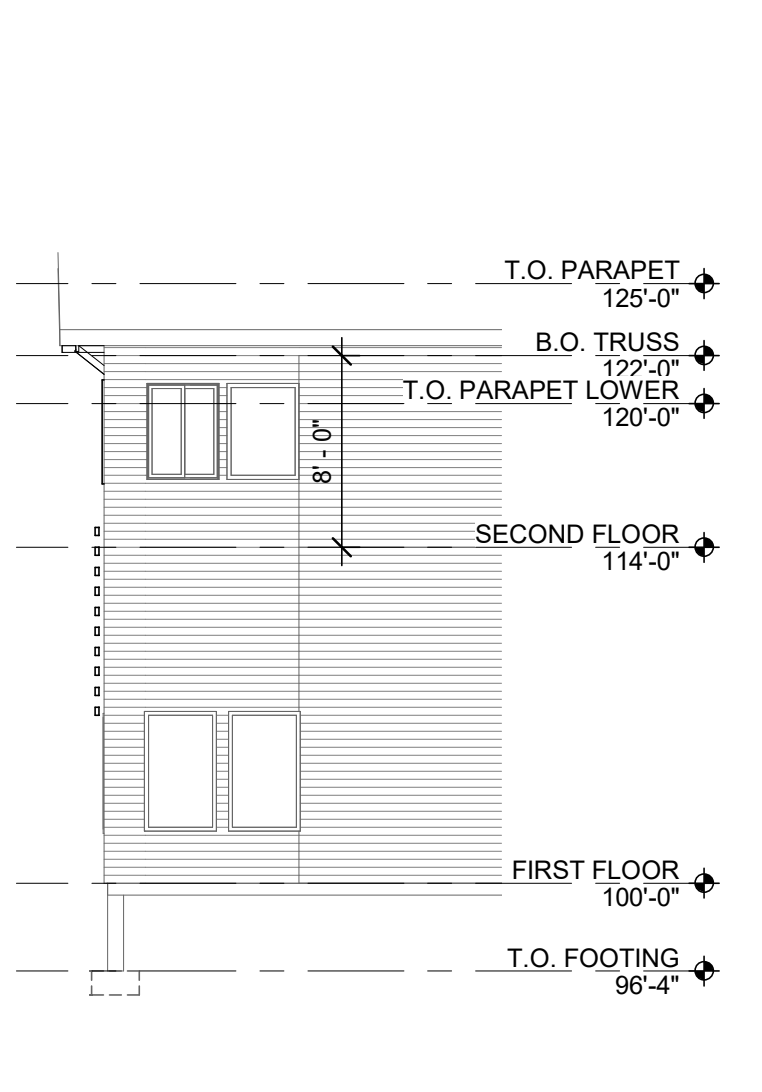
4 NE2
Scale: 1/8" = 1'-0"



5 NE
Scale: 1/8" = 1'-0"



6 E4
Scale: 1/8" = 1'-0"

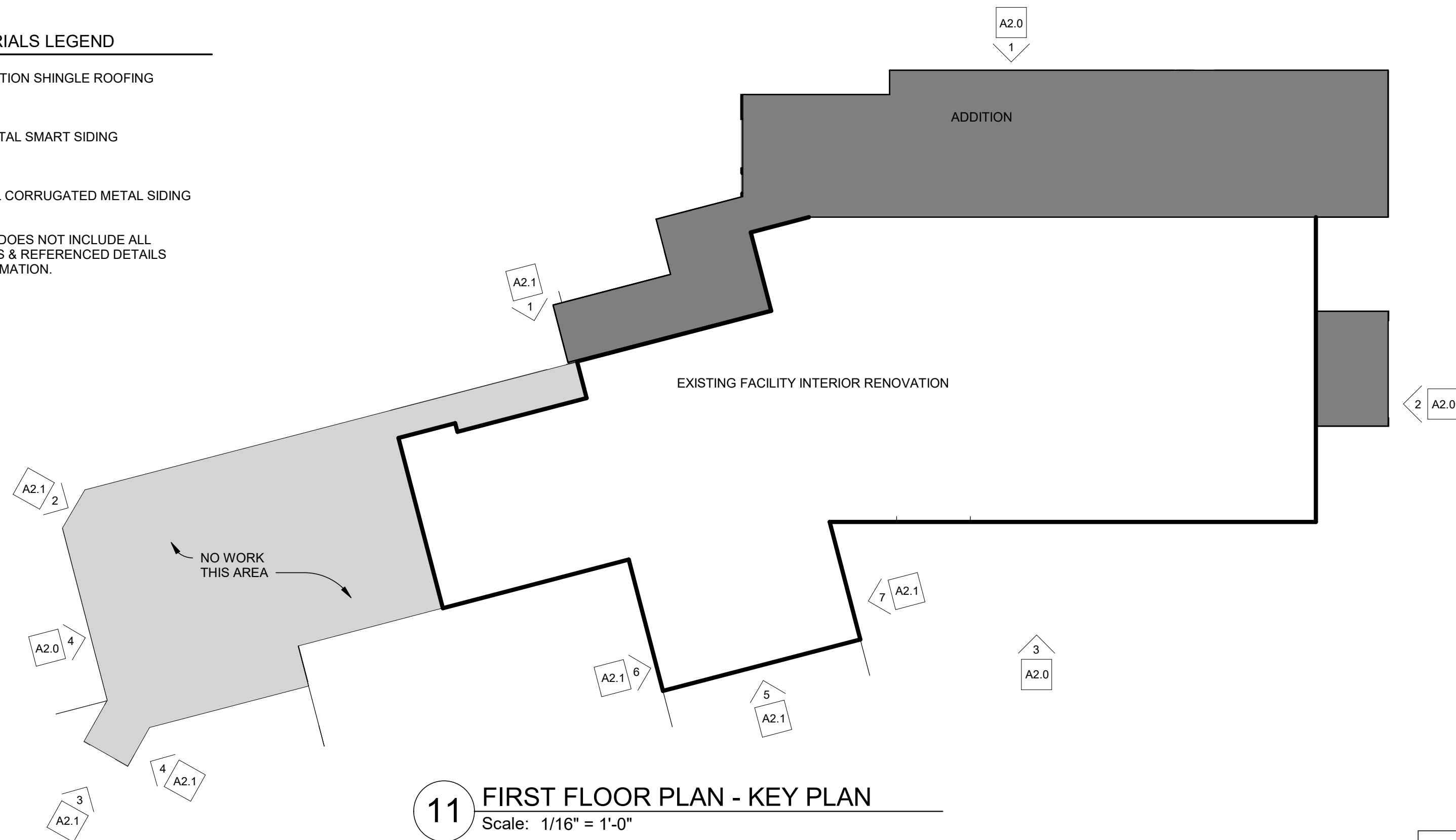


7 W4
Scale: 1/8" = 1'-0"

MATERIALS LEGEND

- COMPOSITION SHINGLE ROOFING
- HORIZONTAL SMART SIDING
- VERTICAL CORRUGATED METAL SIDING

NOTE: THIS LEGEND DOES NOT INCLUDE ALL MATERIALS. SEE NOTES & REFERENCED DETAILS FOR ADDITIONAL INFORMATION.

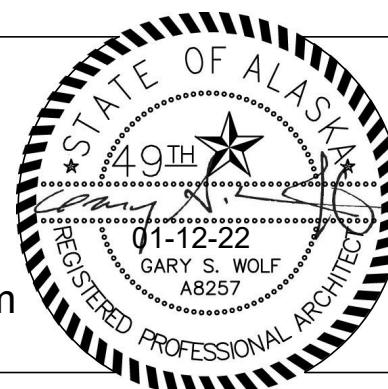


11 FIRST FLOOR PLAN - KEY PLAN
Scale: 1/16" = 1'-0"

NOTE: WINDOWS NOT TAGGED ARE EXISTING TO REMAIN, SEE A6.0 FOR WINDOW SHEDULE

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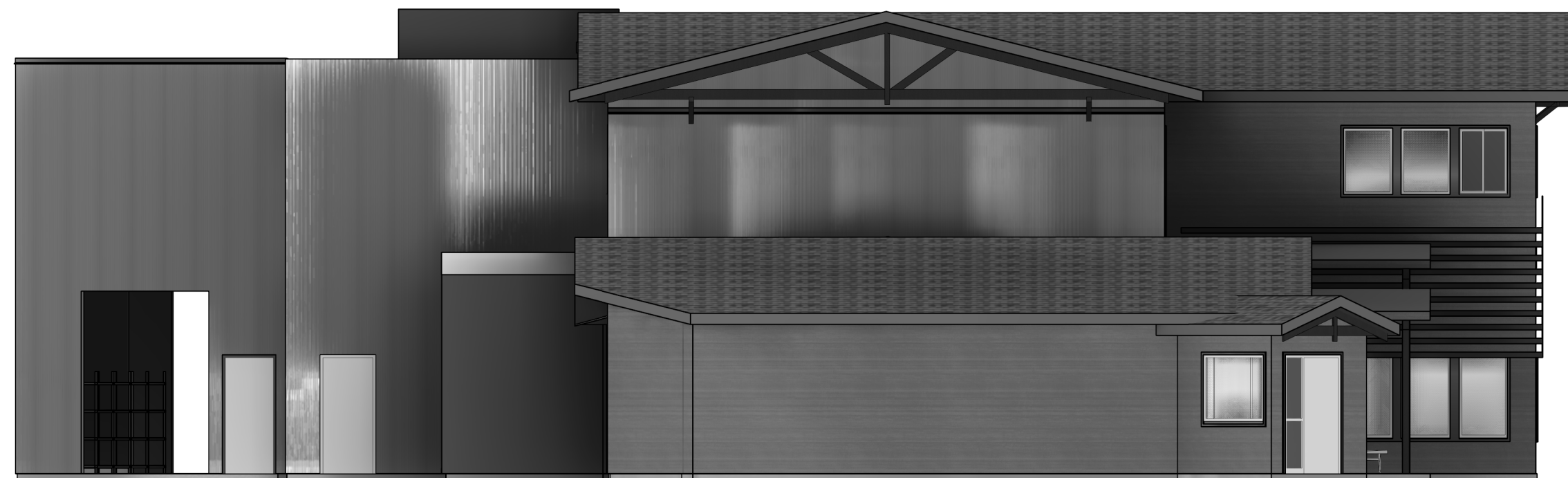
PROJ NO 2113
DRAWN LR
CHECKED GW
DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
EXTERIOR ELEVATIONS

A2.1



1 S - COLOR
Scale: 1/8" = 1'-0"



4 NE - COLOR
Scale: 1/8" = 1'-0"



2 W - COLOR
Scale: 1/8" = 1'-0"




3 N - COLOR
Scale: 1/8" = 1'-0"

NOTE: COLORED ELEVATIONS ARE PROVIDED FOR MATERIAL AND FINISH REFERENCE. CONFIRM COLOR SELECTION WITH ARCHITECT AND OWNER PRIOR TO ORDERING MATERIAL.

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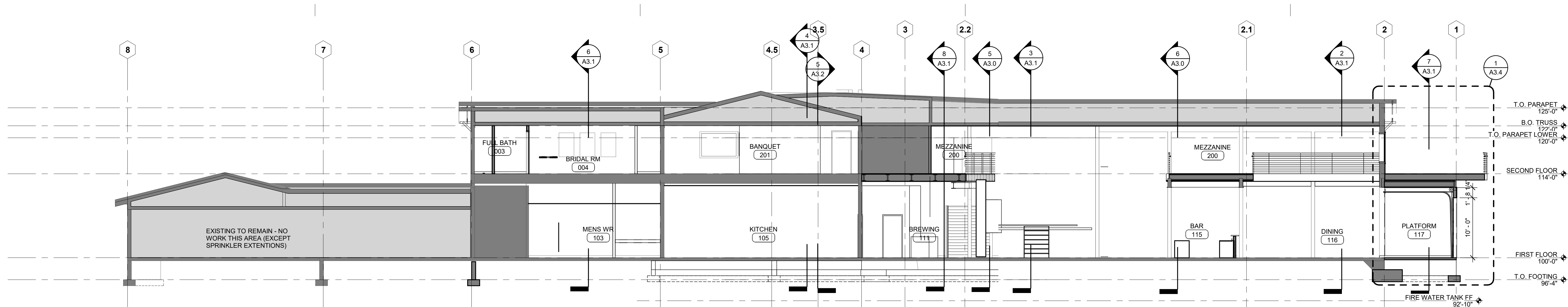
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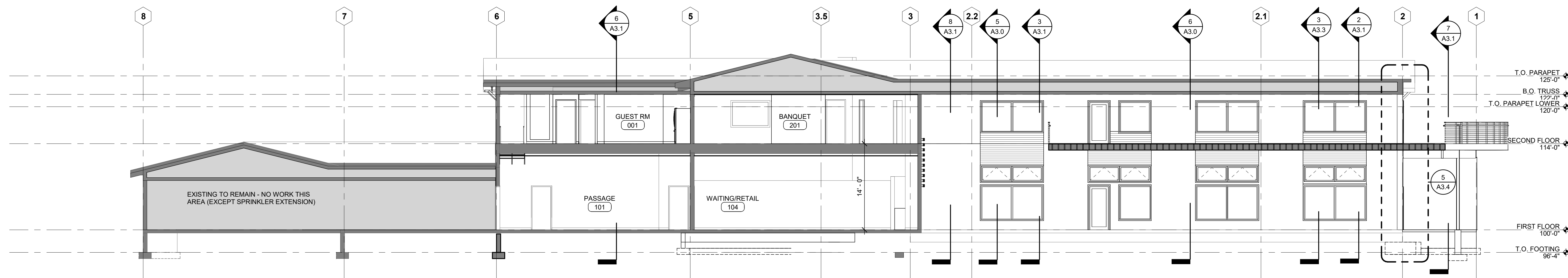
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5120 S BIG LAKE RD, BIG LAKE, ALASKA 99652

PROJ NO	2113
DRAWN	LR
CHECKED	GW
DATE	01-12-22
FULL SIZE DRAWINGS: 24" x 36"	

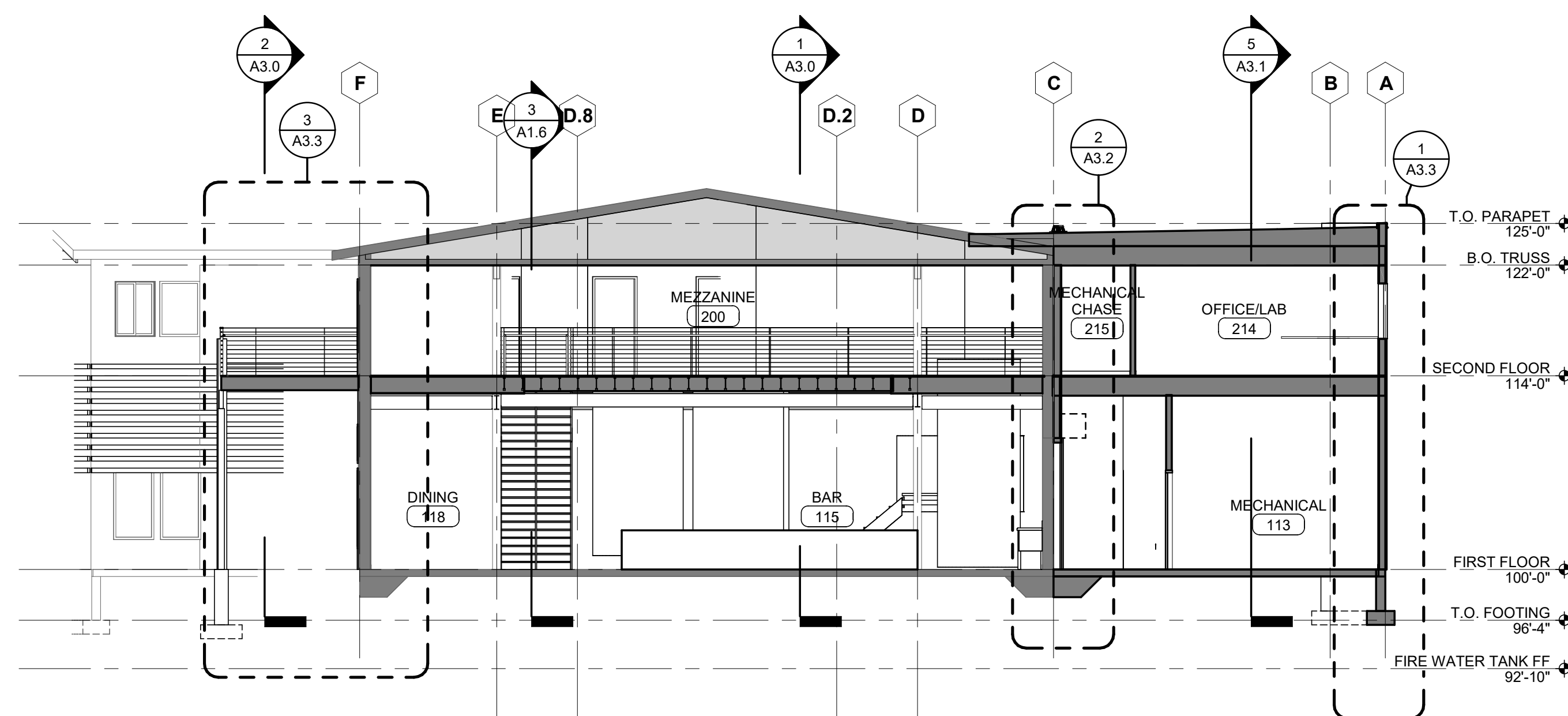
SHEET CONTENTS
ELEVATIONS - COLOR
A2.2



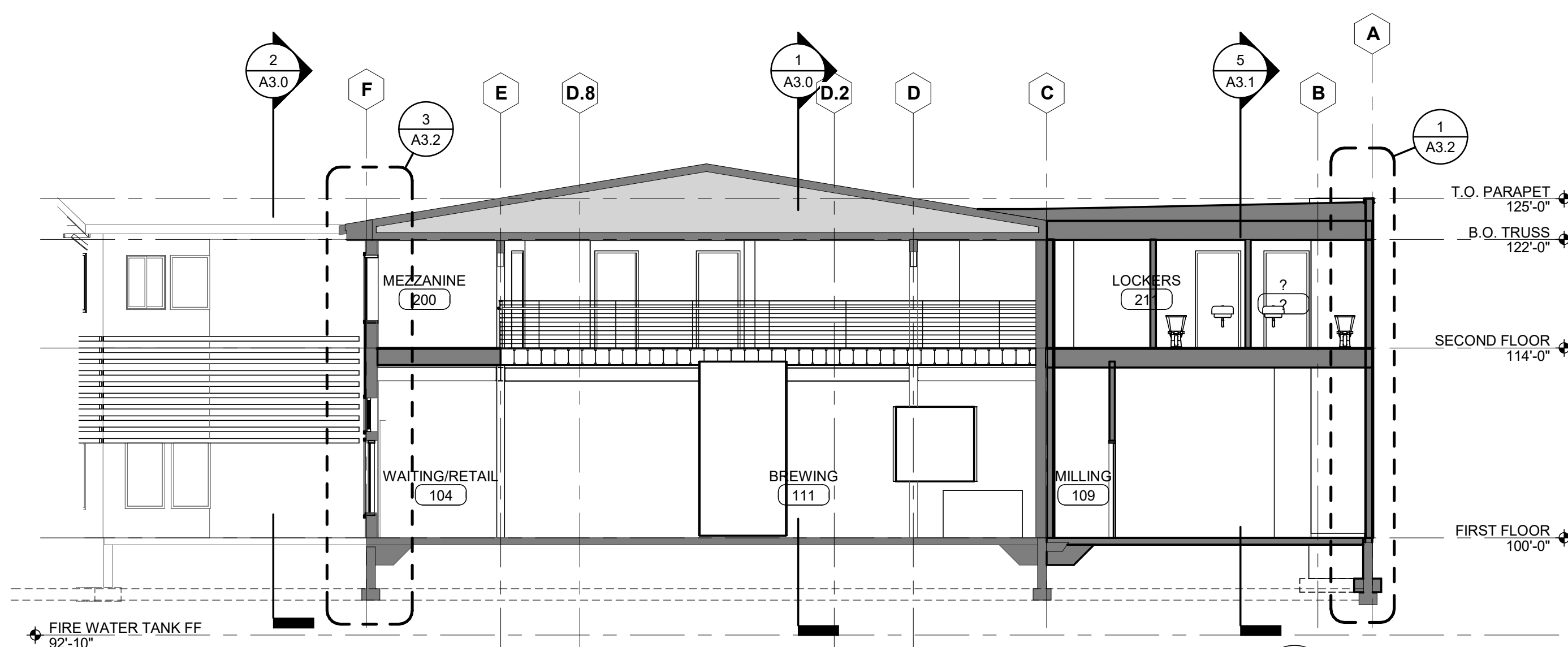
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Scale: 1/8" = 1'-0"



2 BUILDING SECTION
Scale: 1/8" = 1'-0"



3 BUILDING SECTION
Scale: 1/8" = 1'-0"

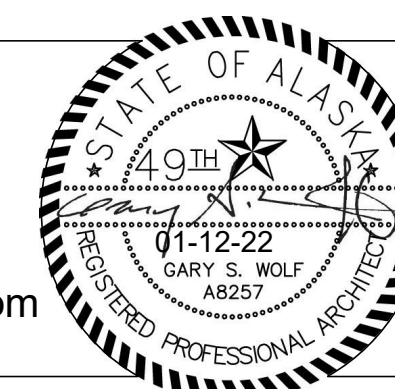


4 BUILDING SECTION
Scale: 1/8" = 1'-0"

NOTE: BUILDING SECTIONS ARE SHOWN FOR REFERENCE ONLY. BASED OFF OF EXISTING DRAWINGS. NO NEW STRUCTURAL WORK IS BEING DONE FOR THE RENOVATION.

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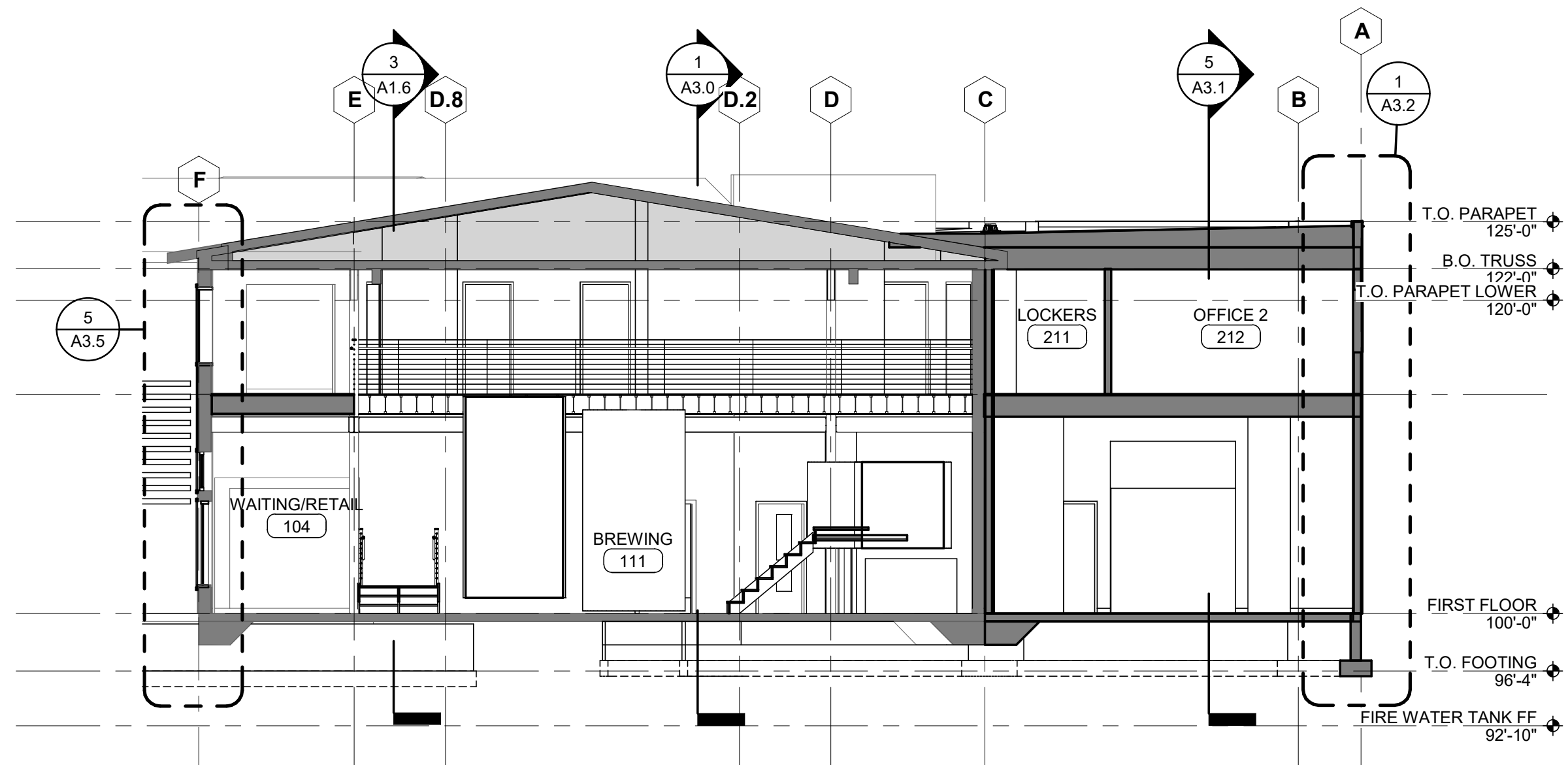


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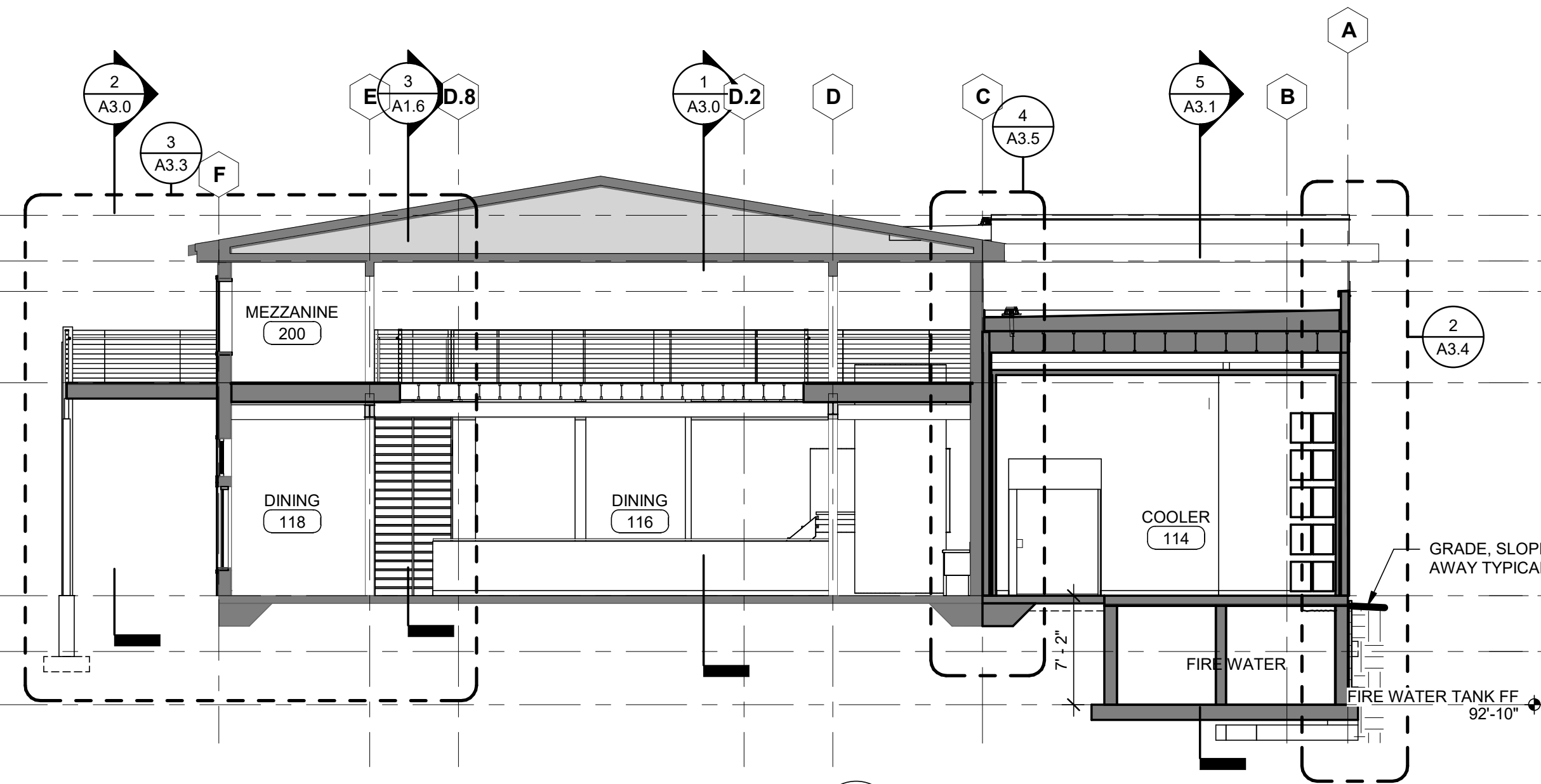
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DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
BUILDING SECTIONS

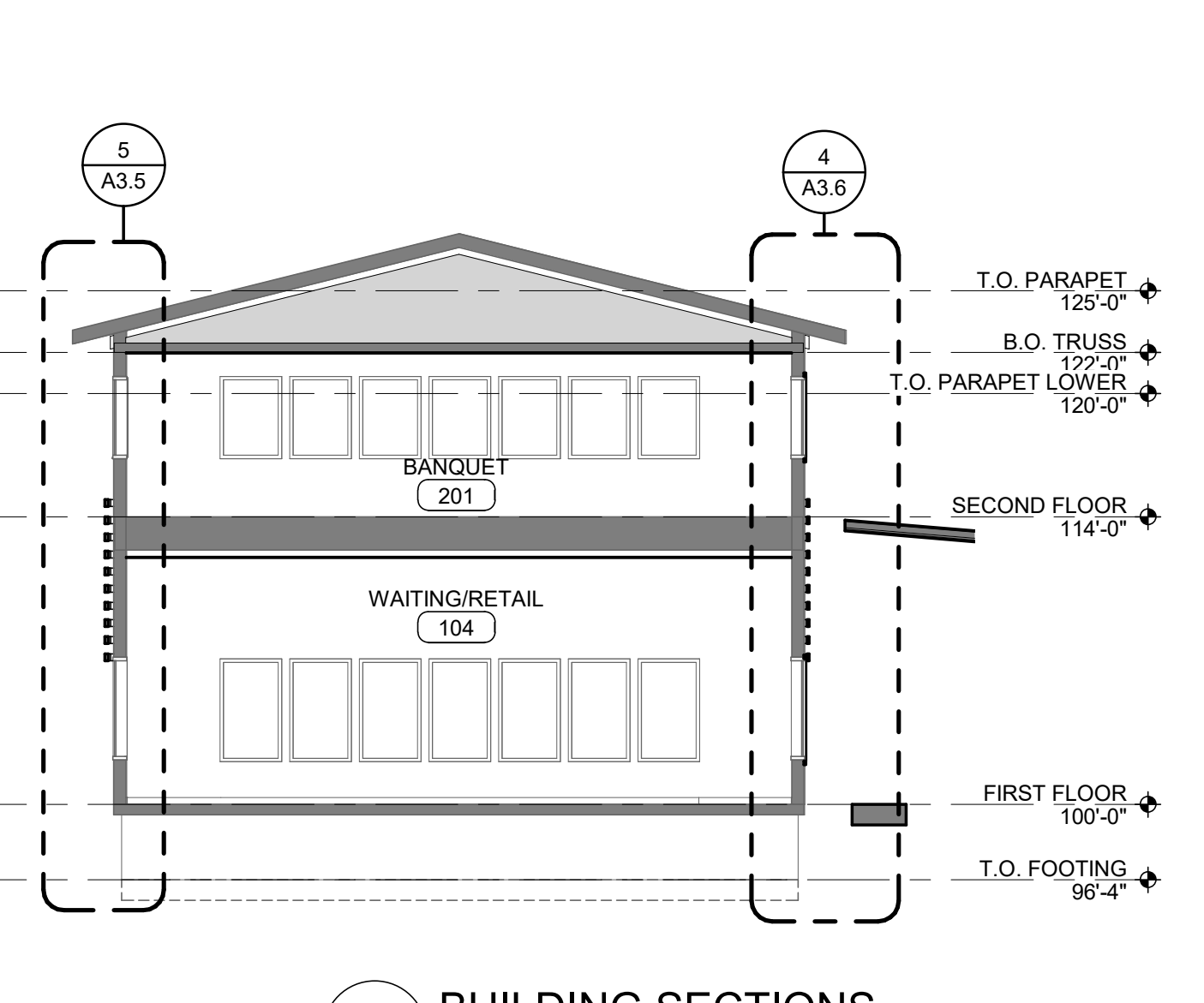
A3.0



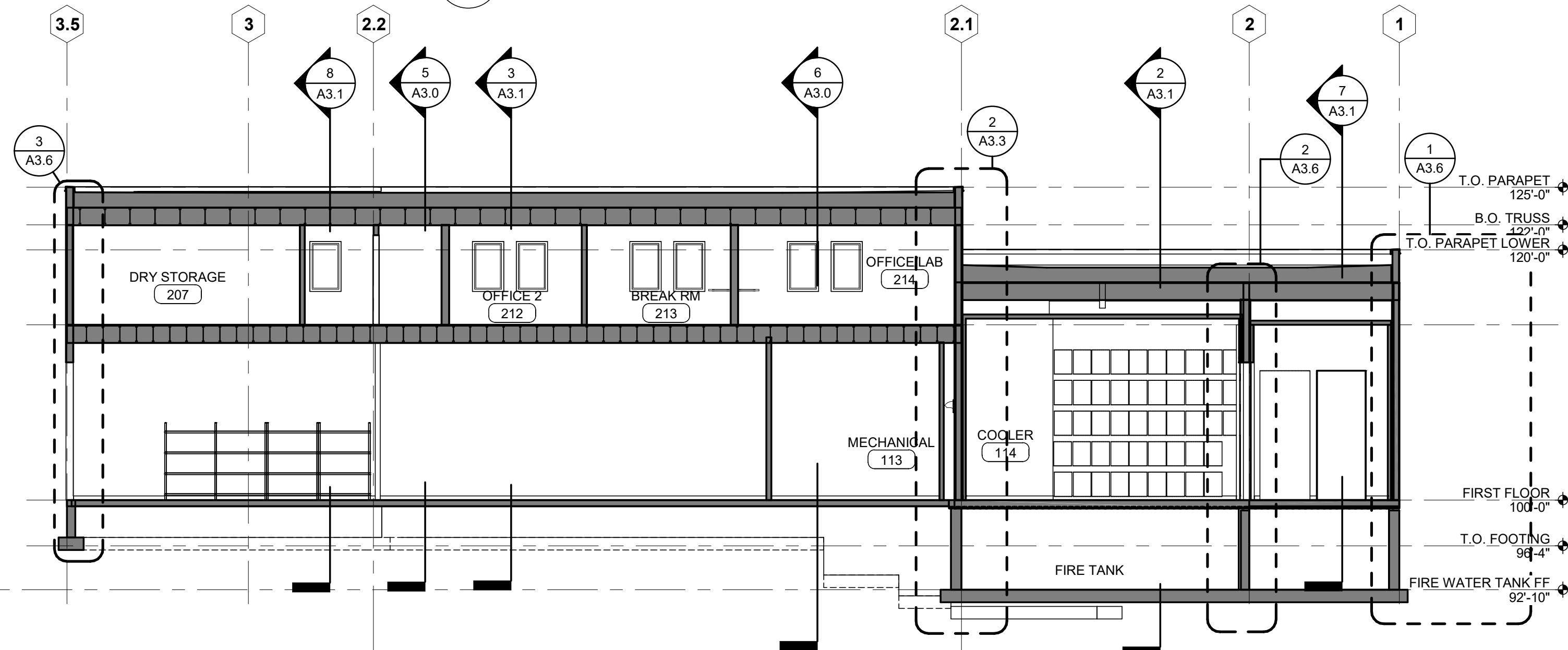
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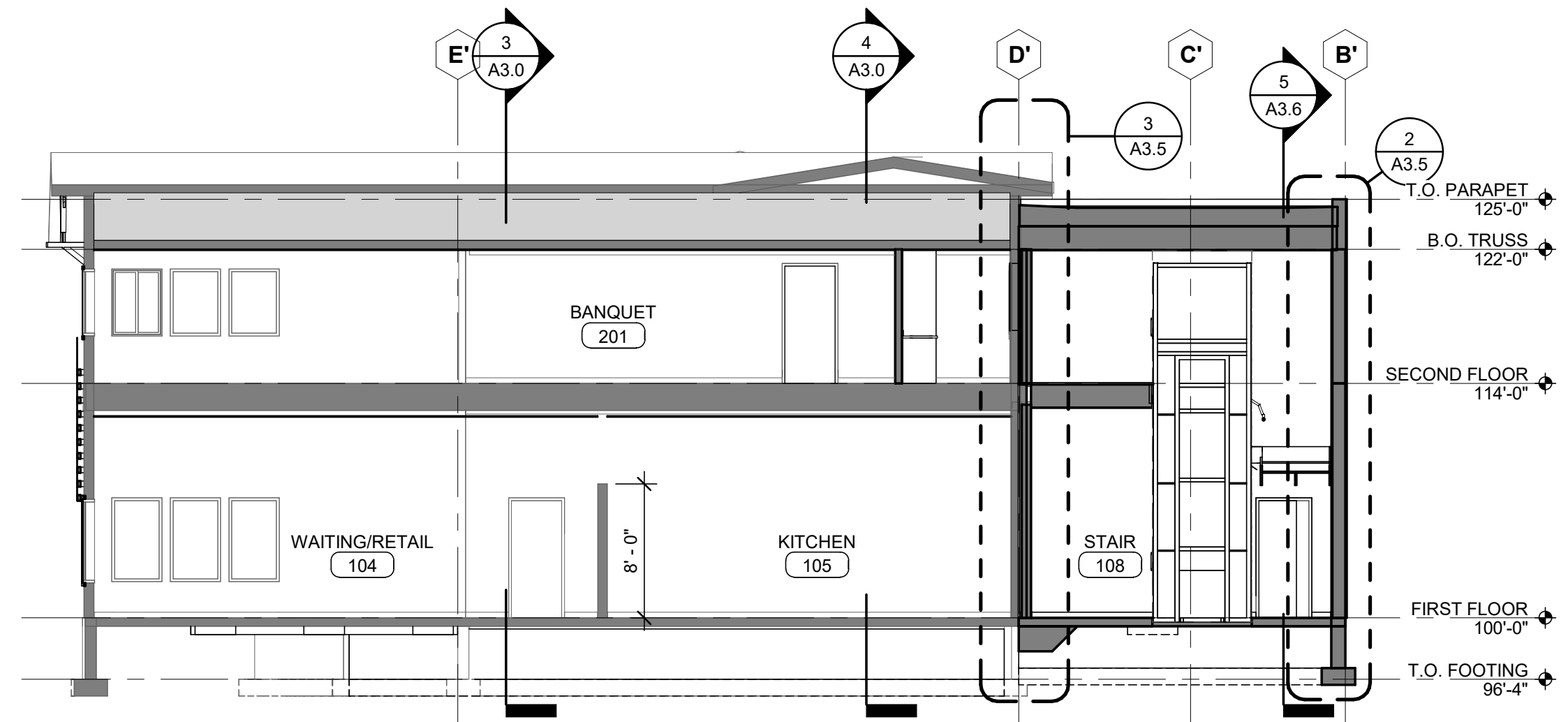
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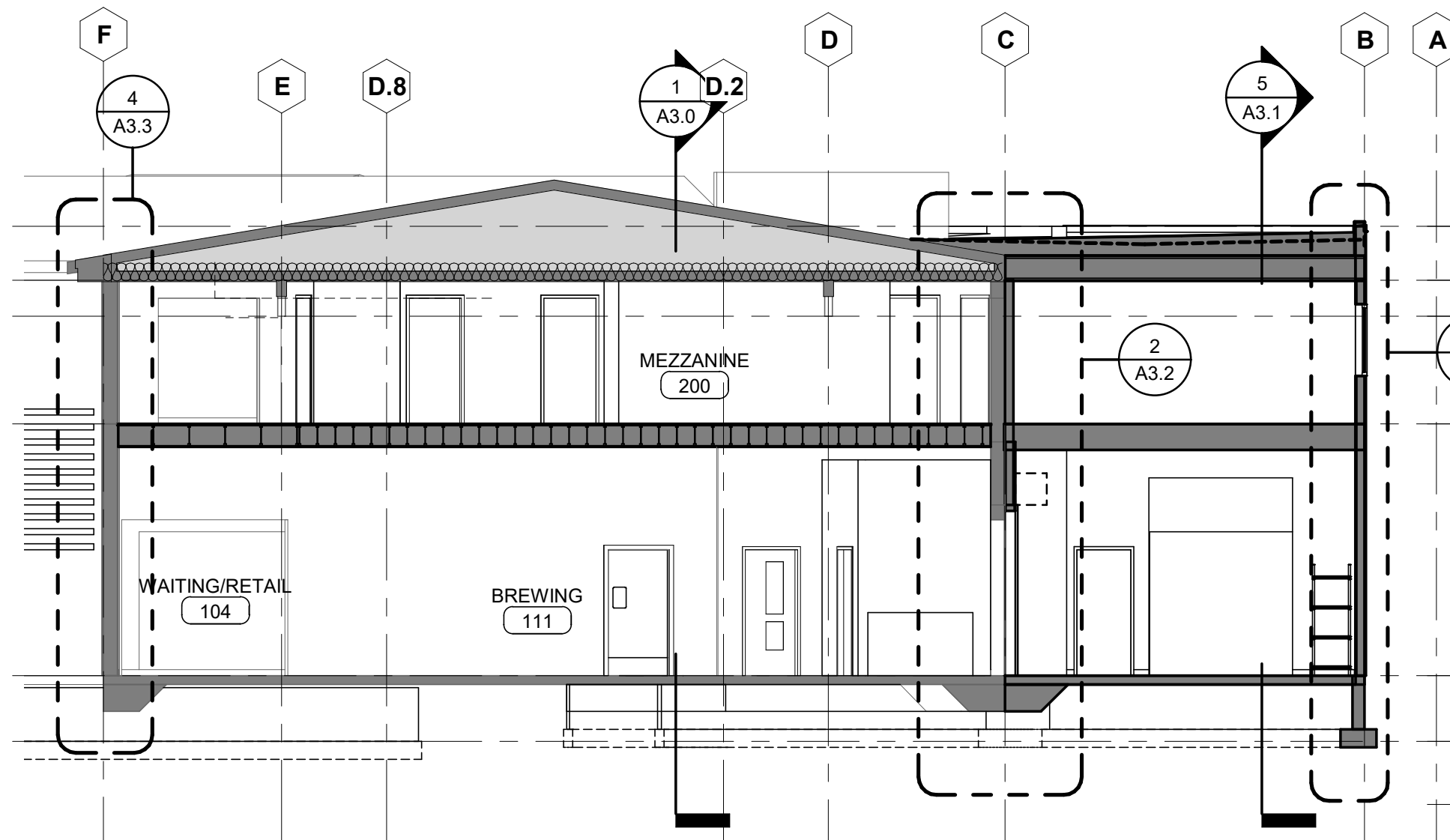
1 BUILDING SECTIONS
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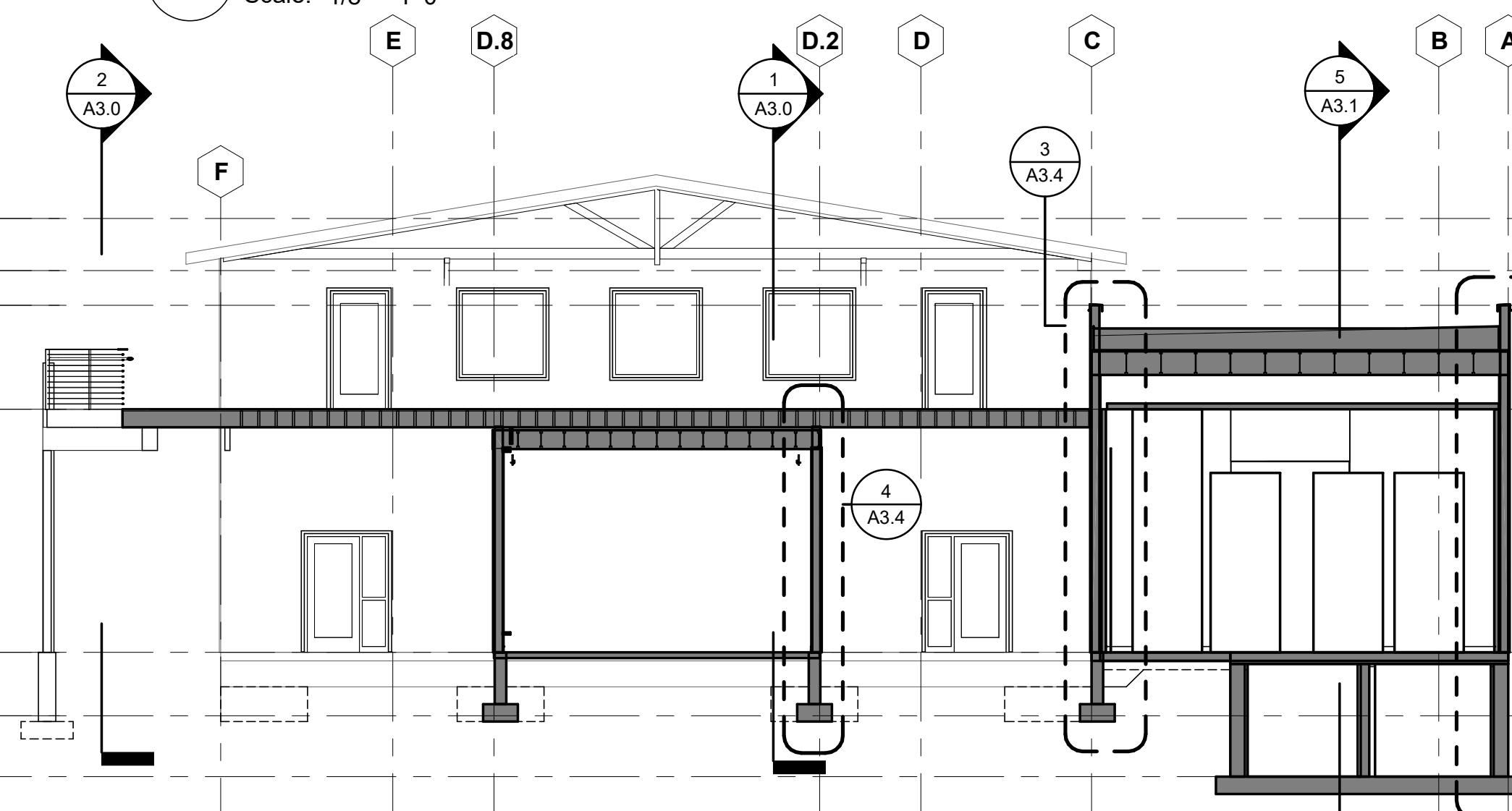
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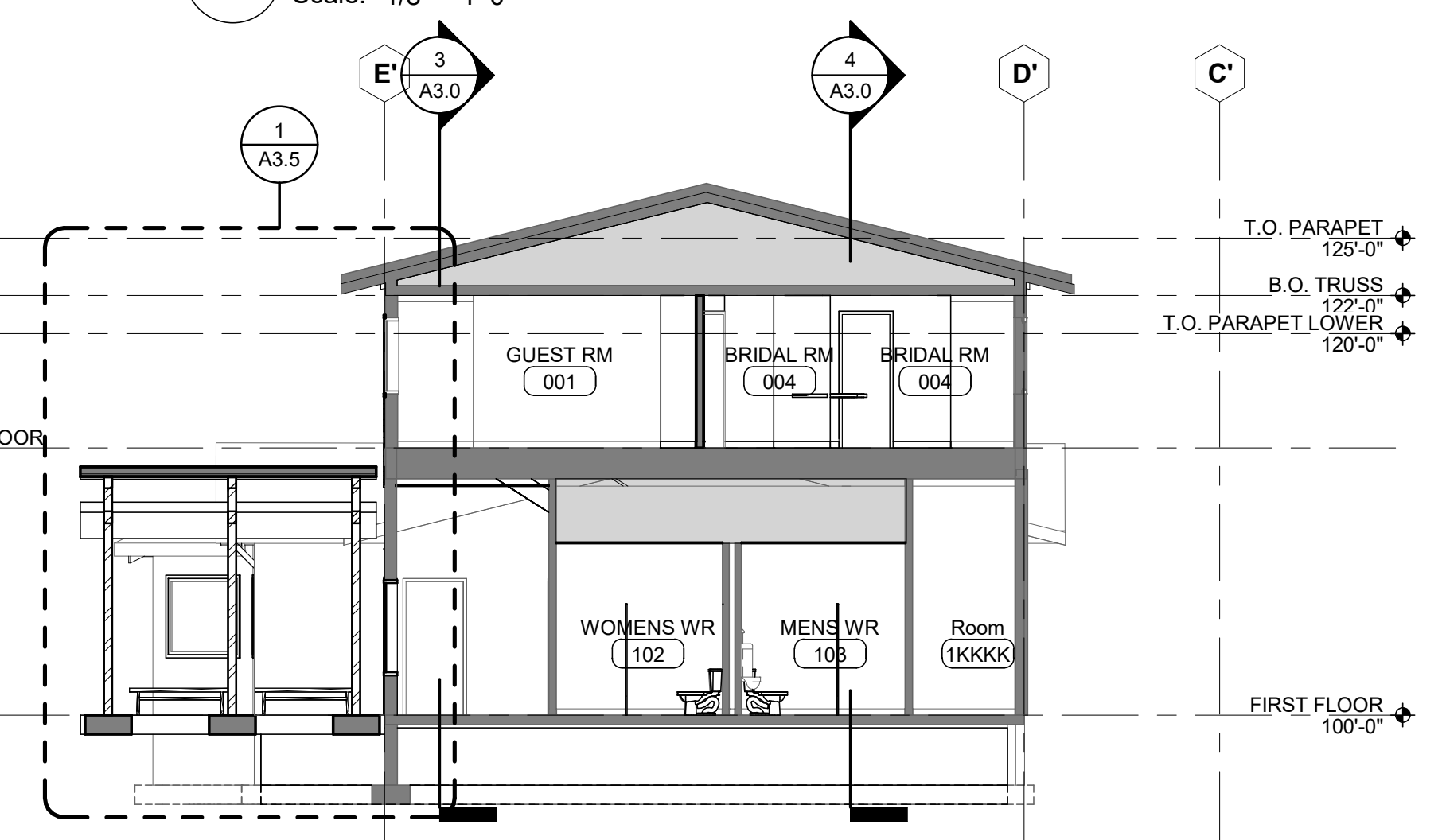
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8 BUILDING SECTIONS
Scale: 1/8" = 1'-0"



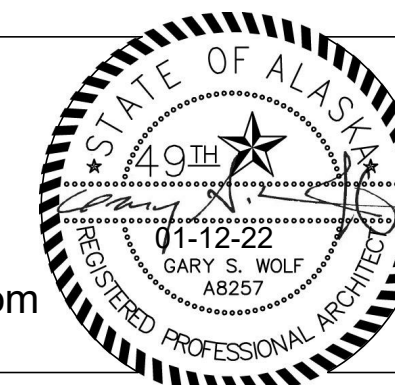
7 BUILDING SECTION
Scale: 1/8" = 1'-0"



6 BUILDING SECTIONS
Scale: 1/8" = 1'-0"

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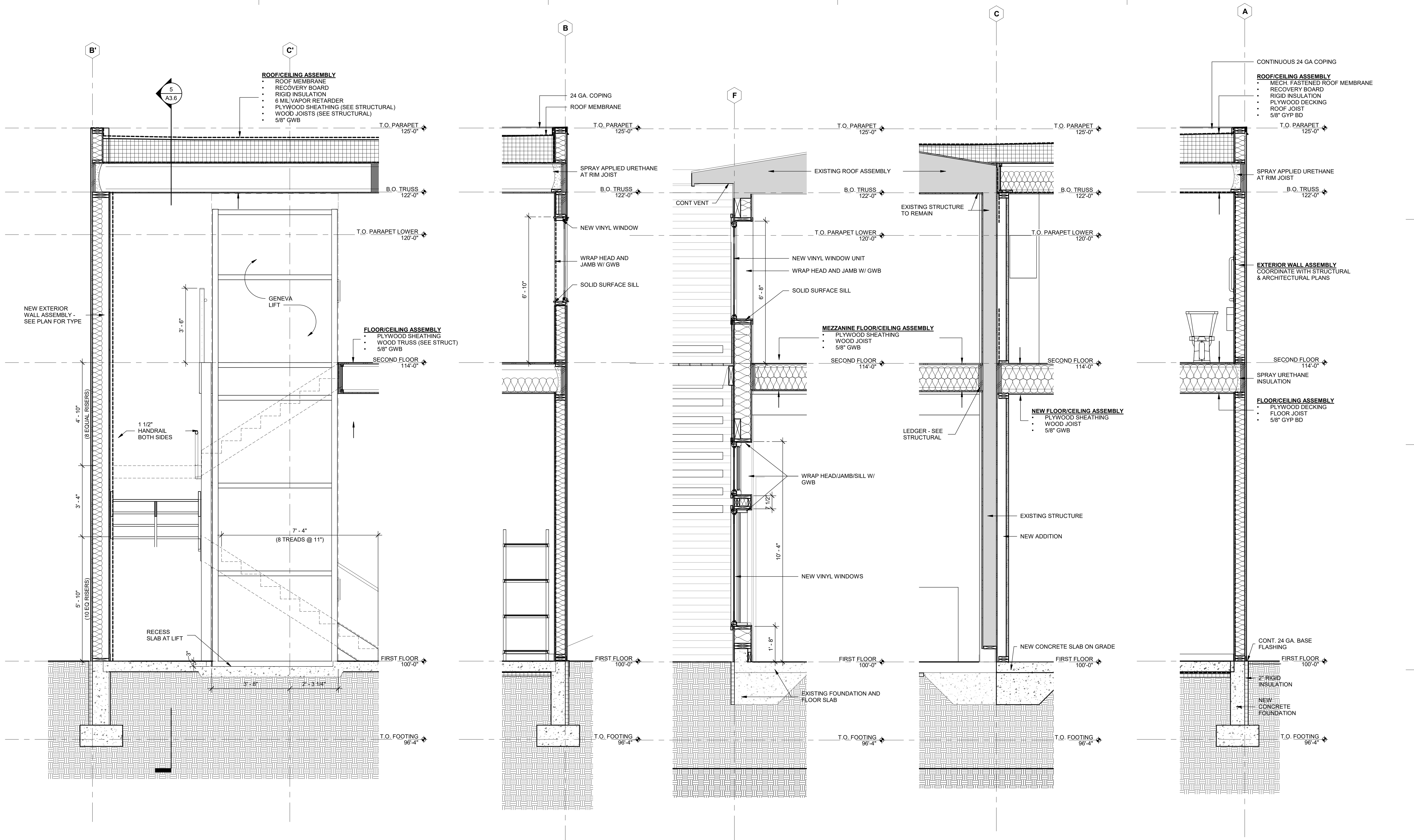


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PROJ NO 2113
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FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
BUILDING SECTIONS

A3.1



5 WS12
Scale: 1/2" = 1'-0"

4 WALL SECTION
Scale: 1/2" = 1'-0"

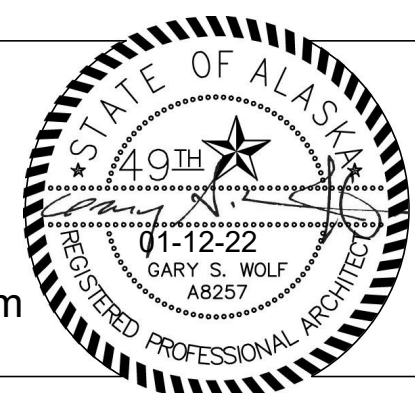
3 WALL SECTION
Scale: 1/2" = 1'-0"

2 WALL SECTION
Scale: 1/2" = 1'-0"

1 WALL SECTION
Scale: 1/2" = 1'-0"

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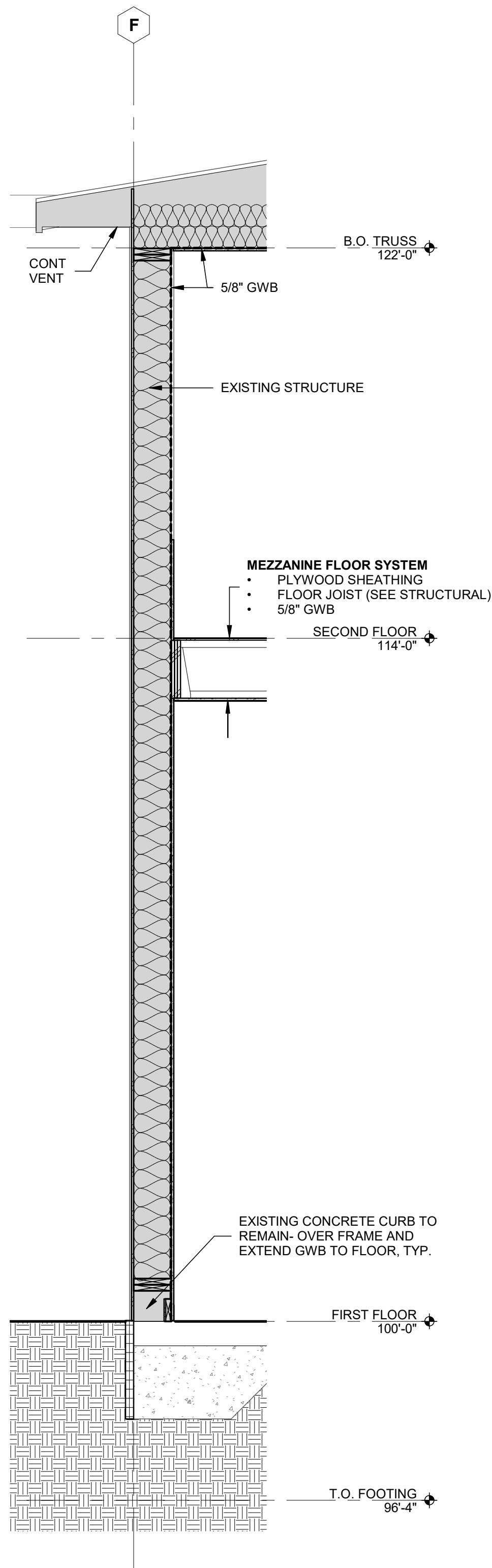


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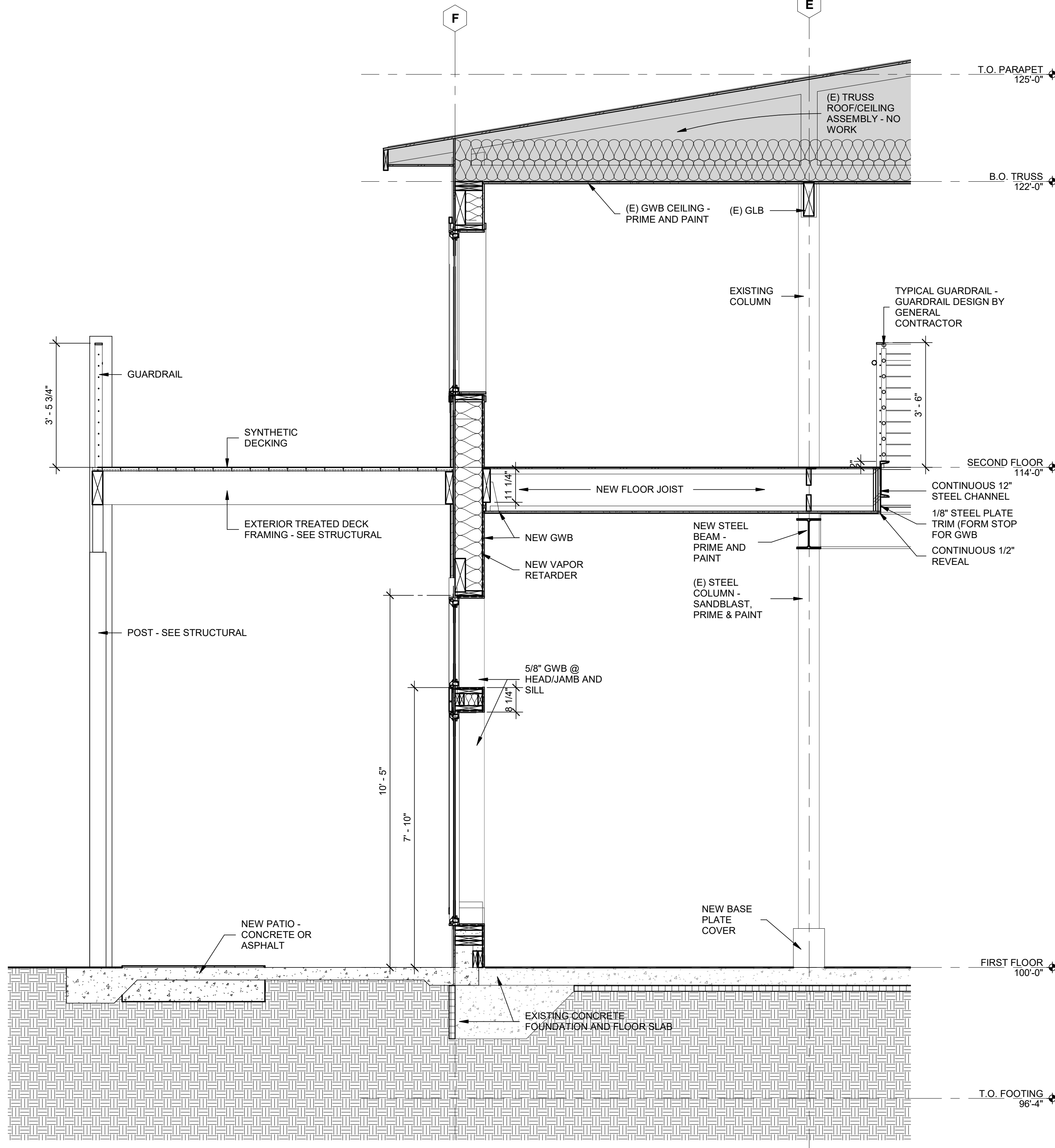
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DRAWN	LR
CHECKED	GW
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SHEET CONTENTS
WALL SECTIONS

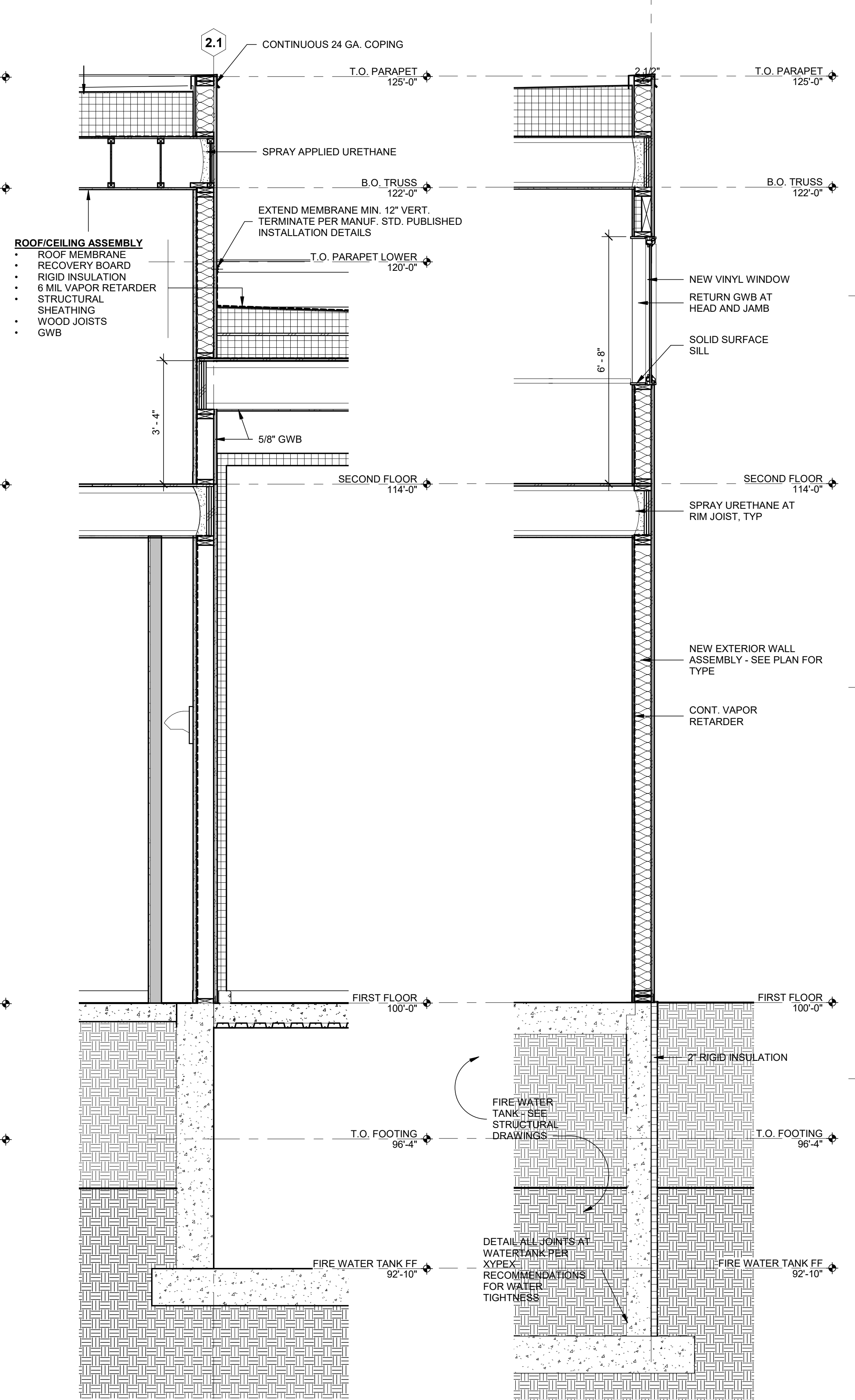
A3.2



4 WALL SECTION
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3 WALL SECTION
Scale: 1/2" = 1'-0"

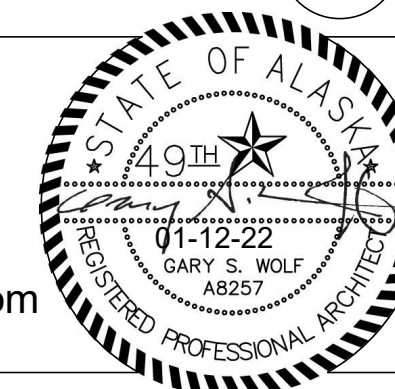


2 WALL SECTION
Scale: 1/2" = 1'-0"

1 WALL SECTION
Scale: 1/2" = 1'-0"

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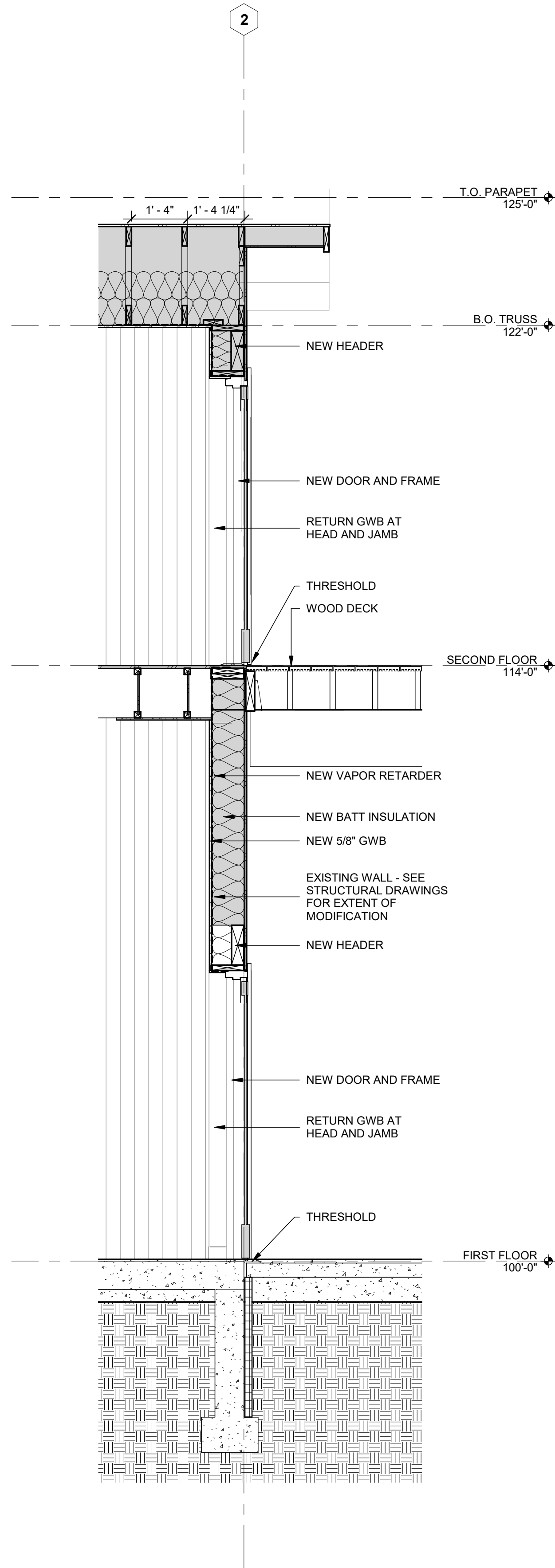


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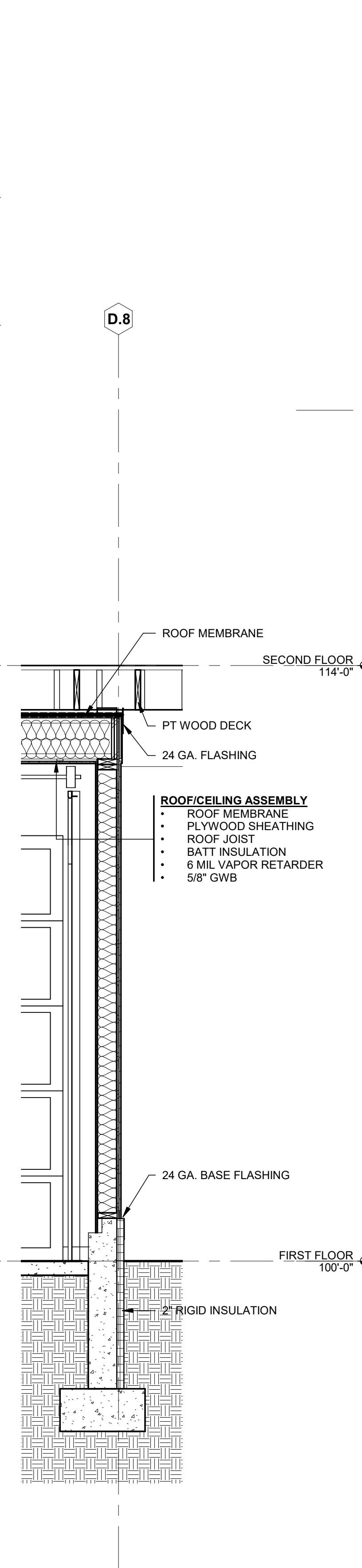
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DRAWN LR
CHECKED GW
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FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
WALL SECTIONS

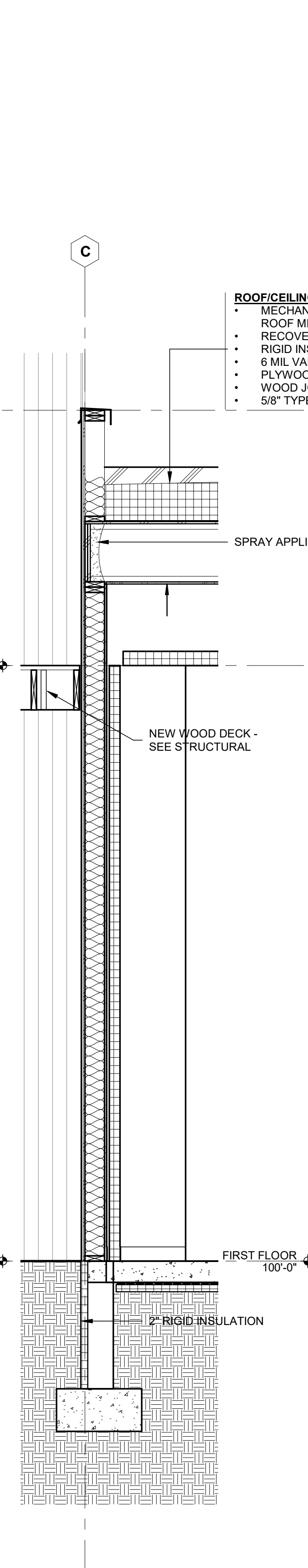
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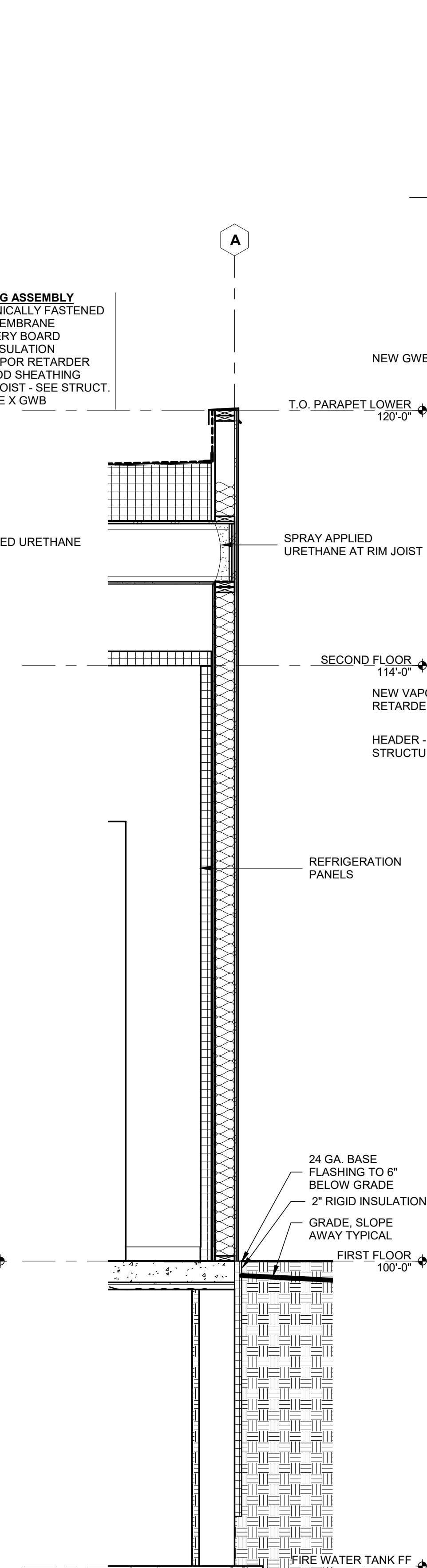
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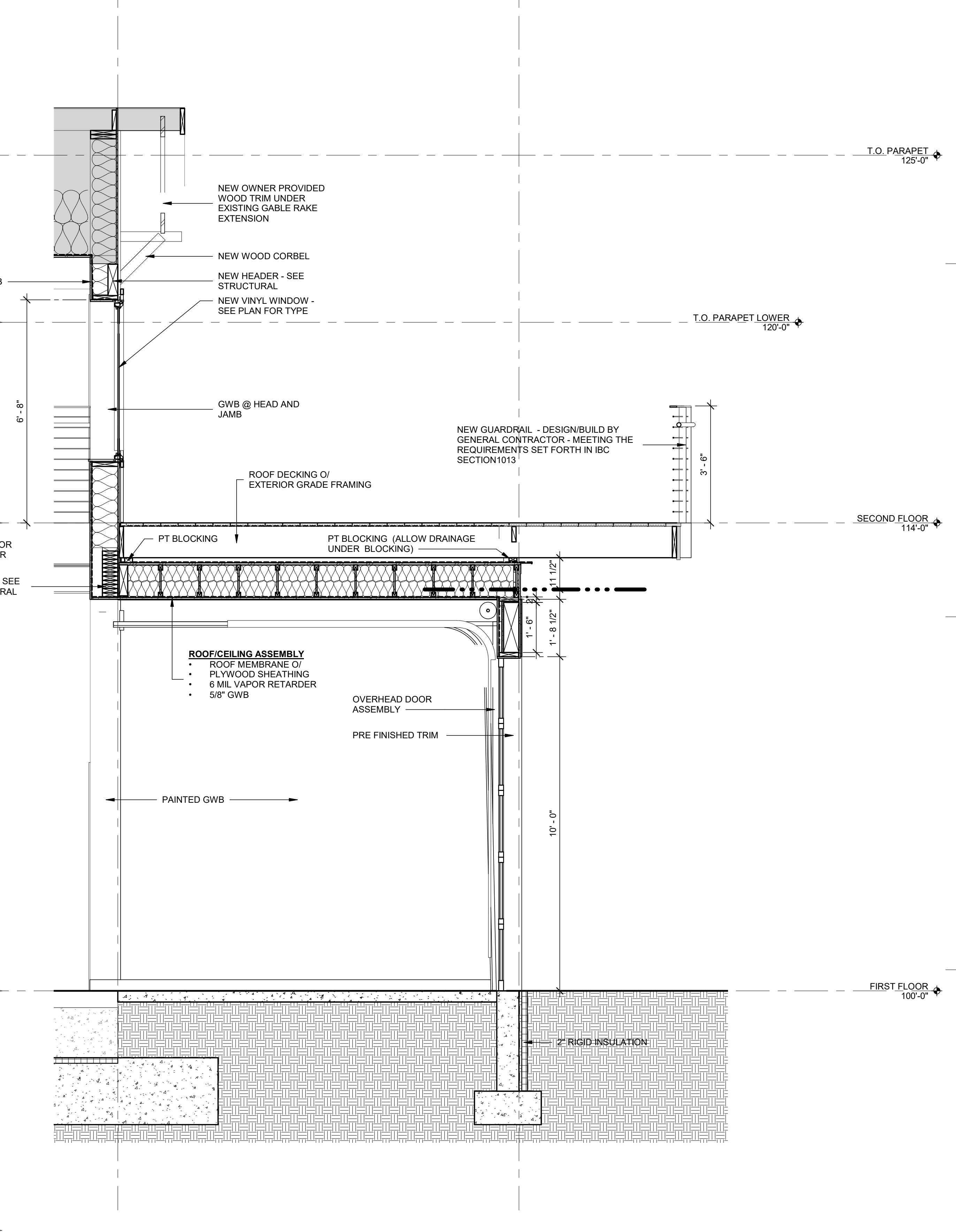
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3 WALL SECTION
Scale: 1/2" = 1'-0"



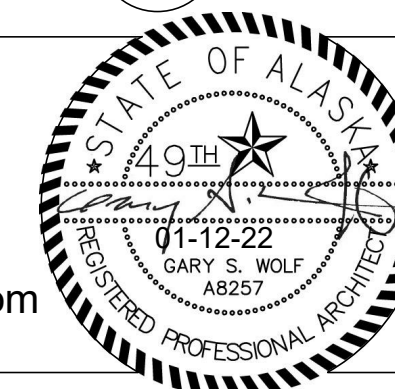
2 WALL SECTION
Scale: 1/2" = 1'-0"



1 WALL SECTION
Scale: 1/2" = 1'-0"

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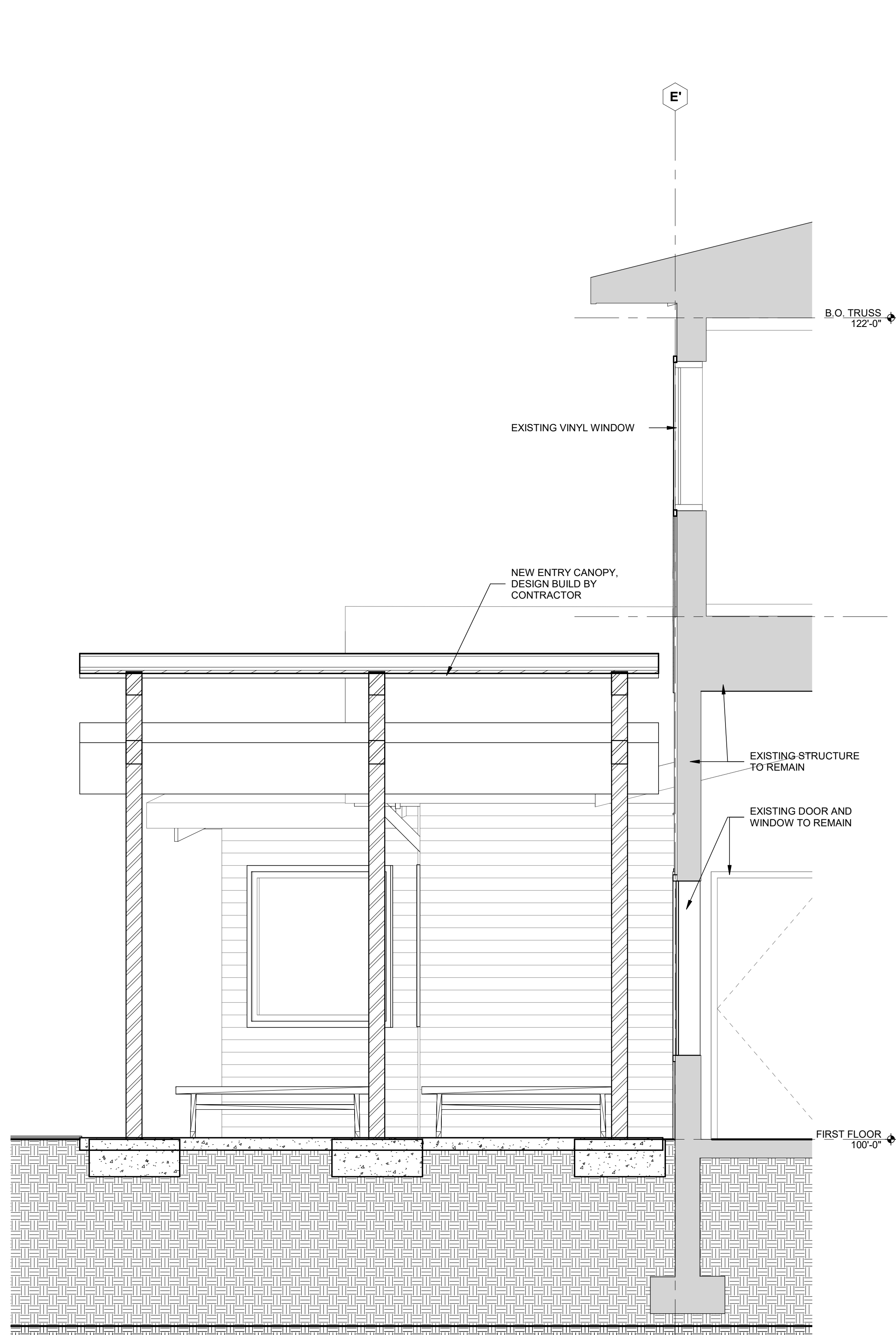


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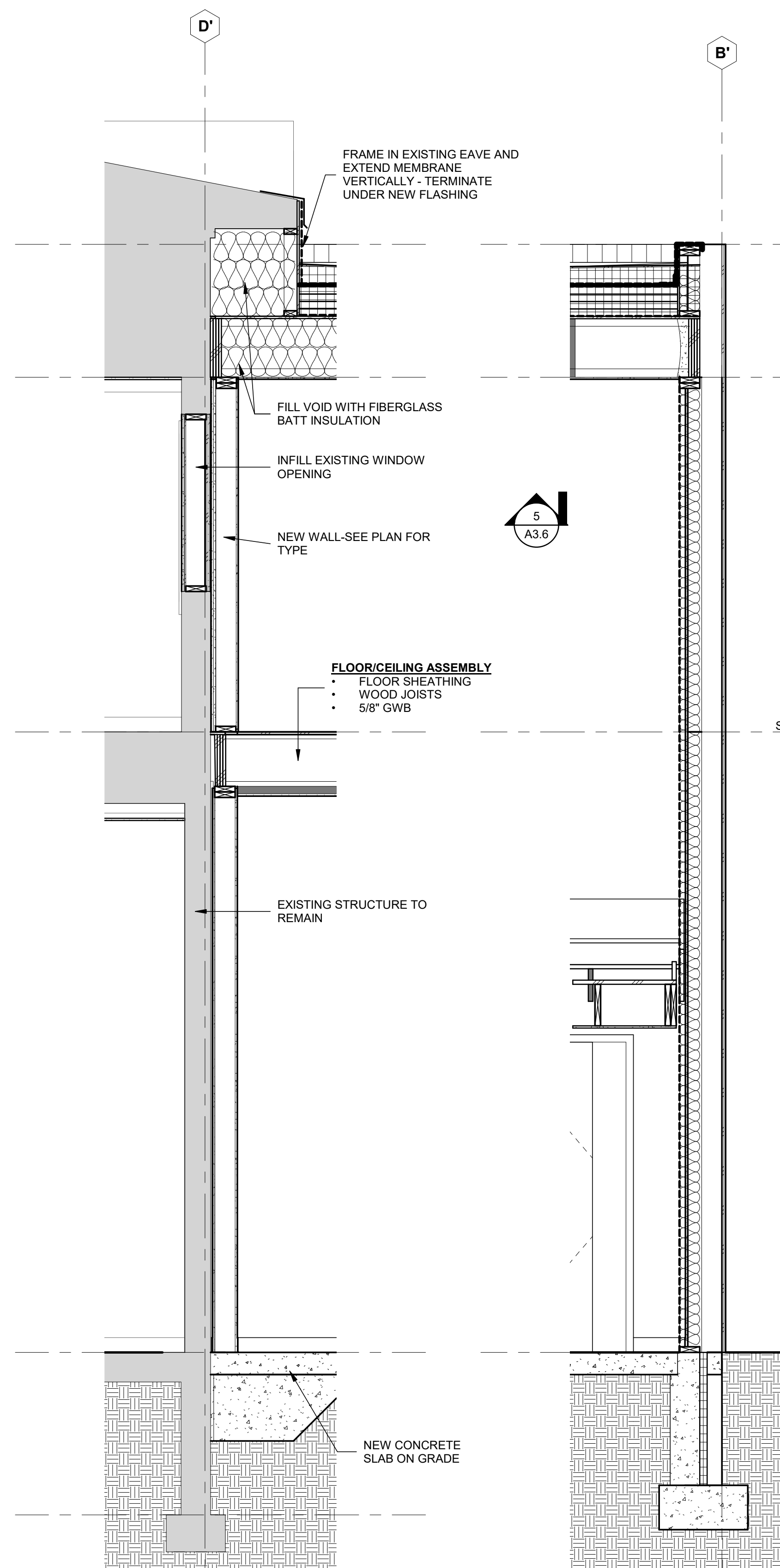
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DRAWN LR
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FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
WALL SECTIONS

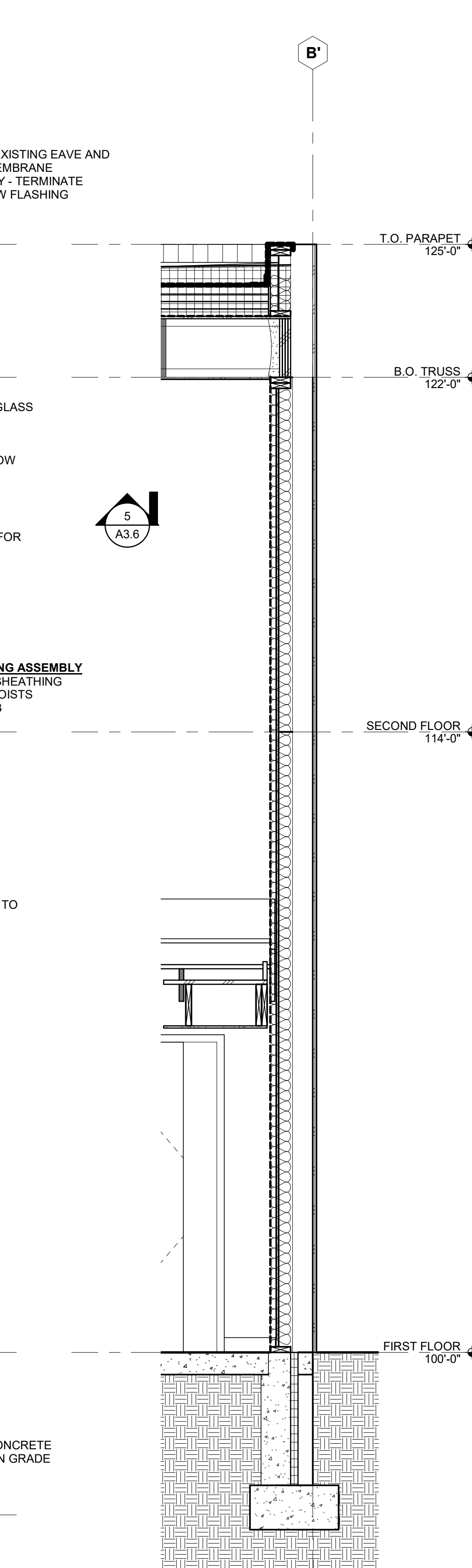
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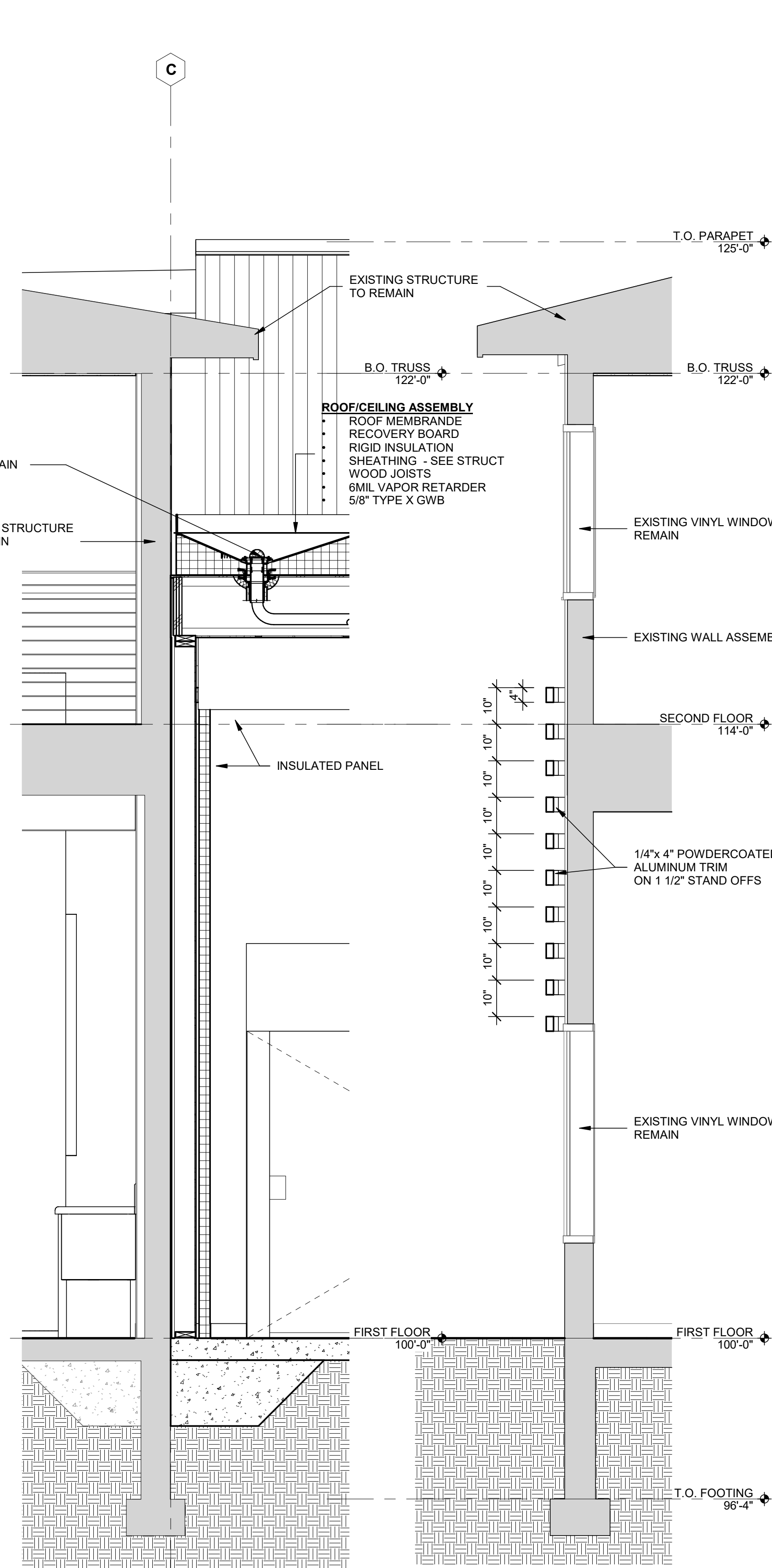
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3 WALL SECTION
Scale: 1/2" = 1'-0"



2 WALL SECTION
Scale: 1/2" = 1'-0"

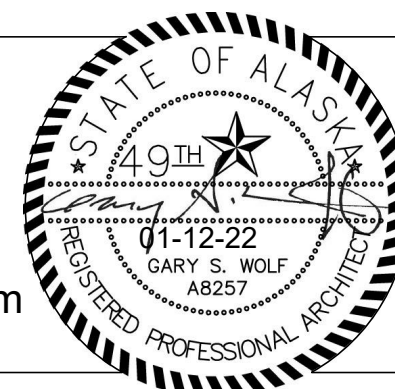


4 WALL SECTION
Scale: 1/2" = 1'-0"

5 WALL SECTION
Scale: 1/2" = 1'-0"

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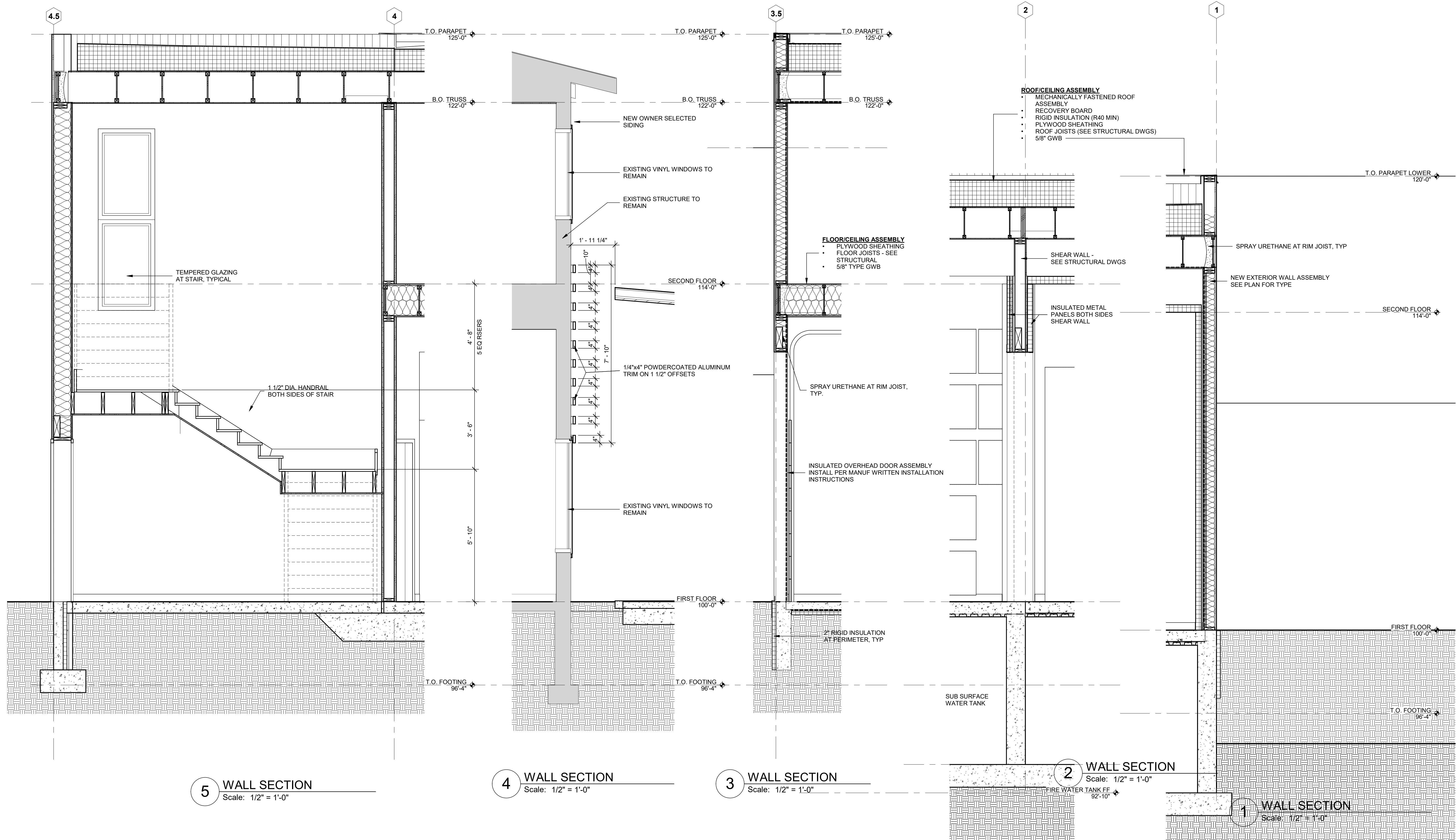


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PROJ NO 2113
DRAWN Author
CHECKED Checker
DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
WALL SECTIONS

A3.5



5 WALL SECTION
Scale: 1/2" = 1'-0"

4 WALL SECTION
Scale: 1/2" = 1'-0"

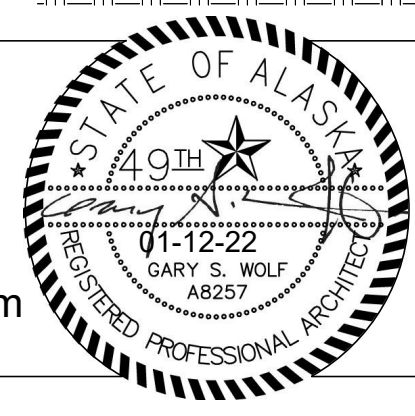
3 WALL SECTION
Scale: 1/2" = 1'-0"

2 WALL SECTION
Scale: 1/2" = 1'-0"

1 WALL SECTION
Scale: 1/2" = 1'-0"

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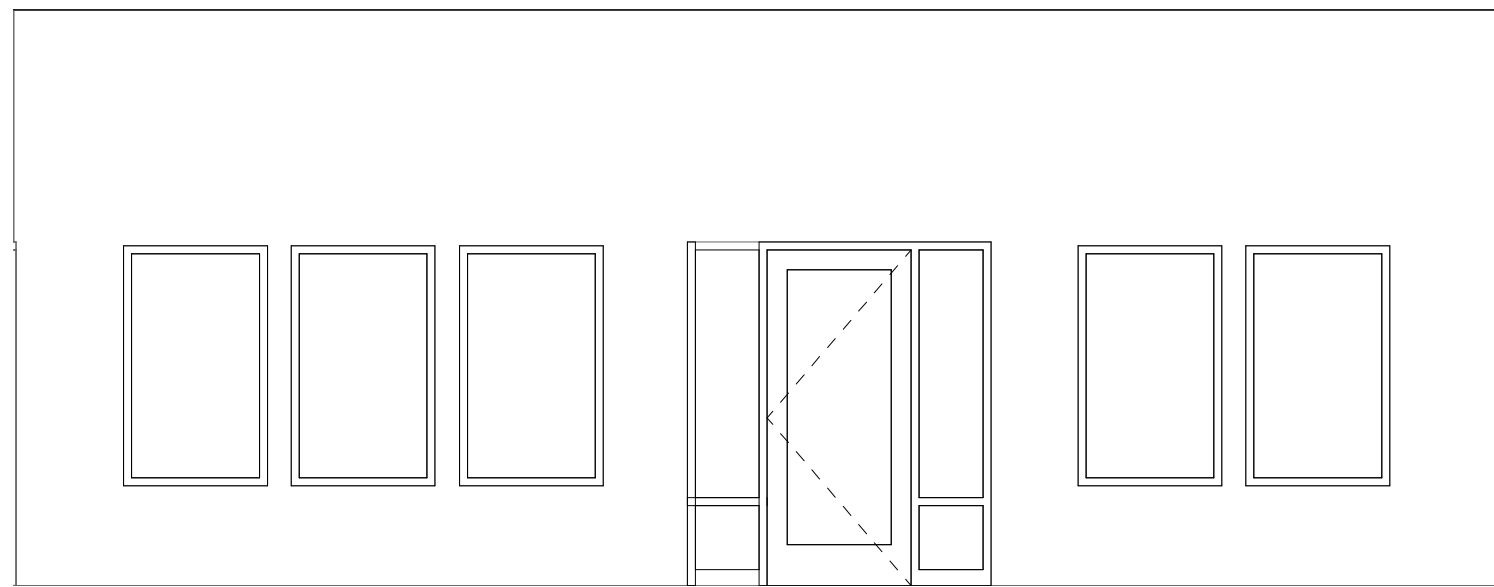
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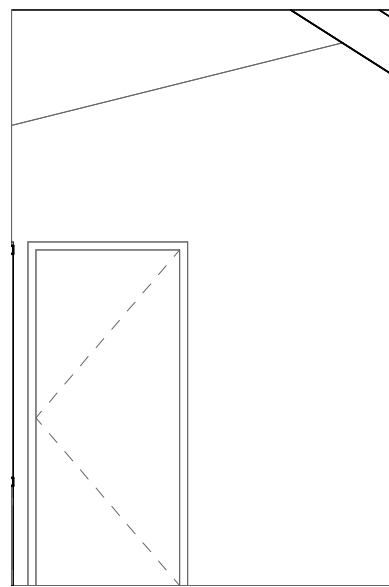
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PROJ NO 2113
DRAWN Author
CHECKED Checker
DATE 01-12-22
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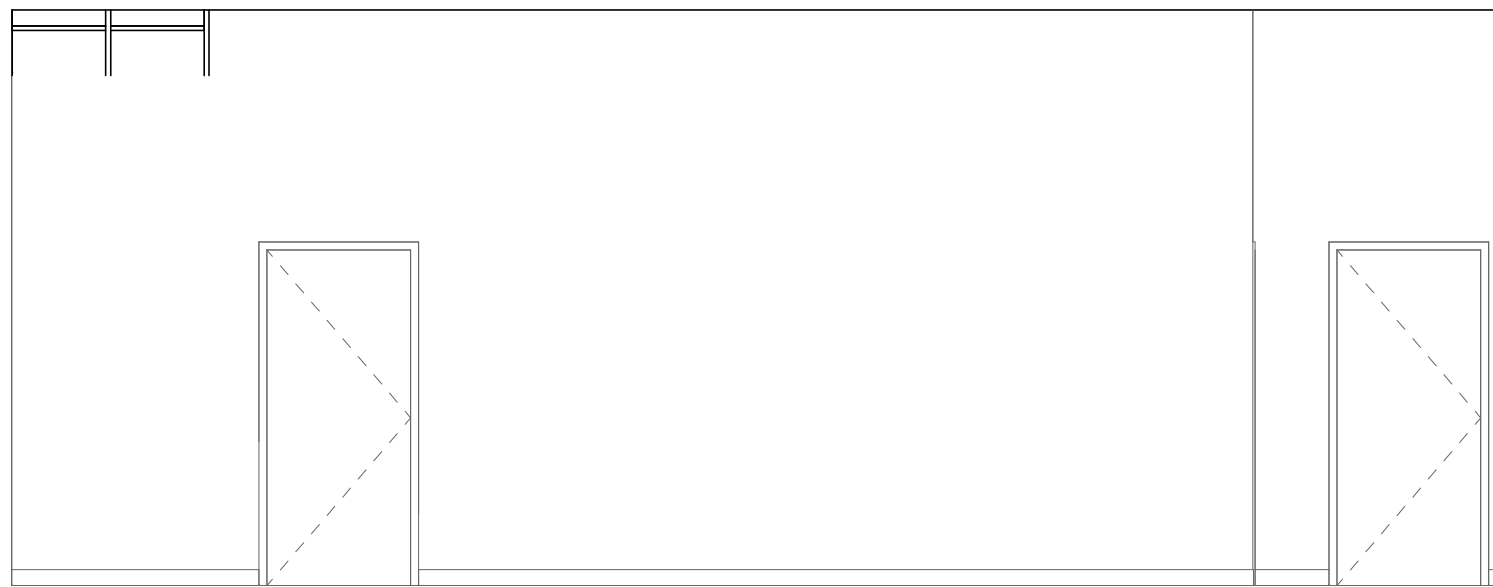
WALL SECTIONS
A3.6



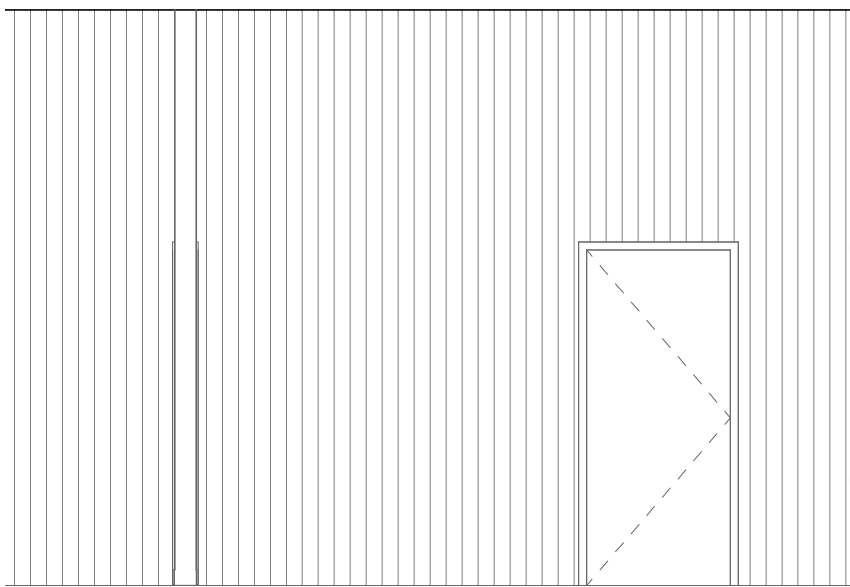
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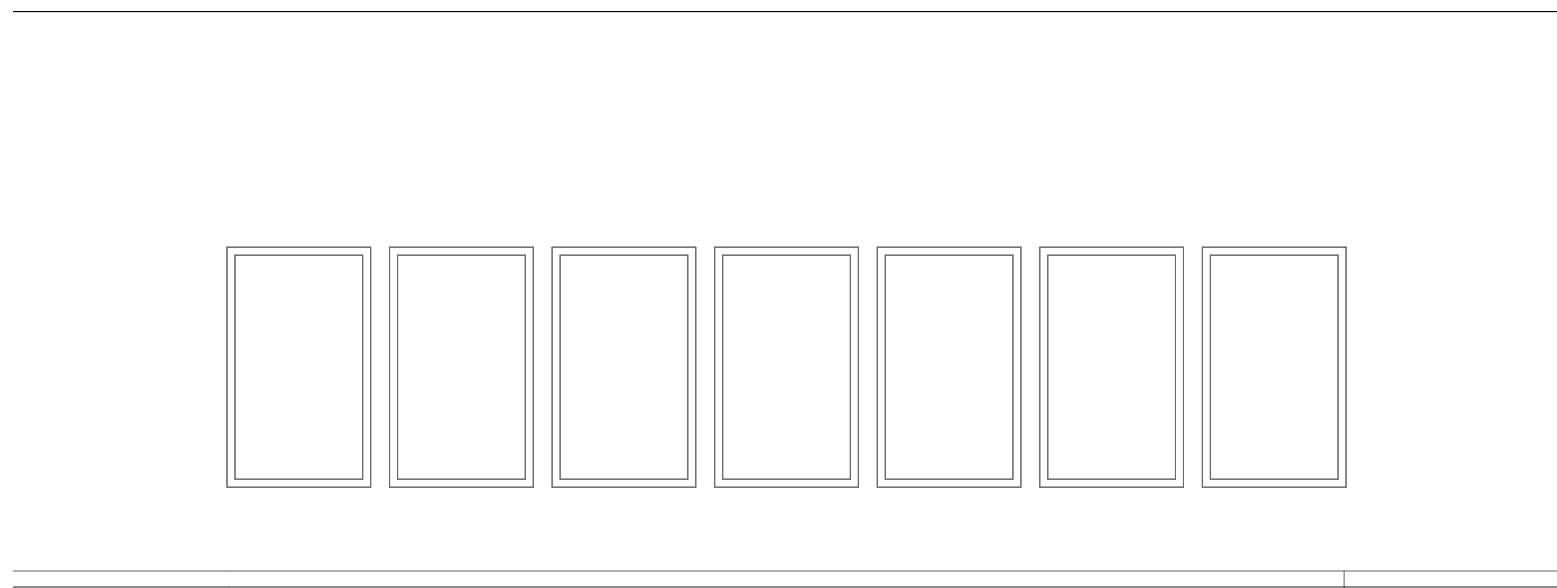
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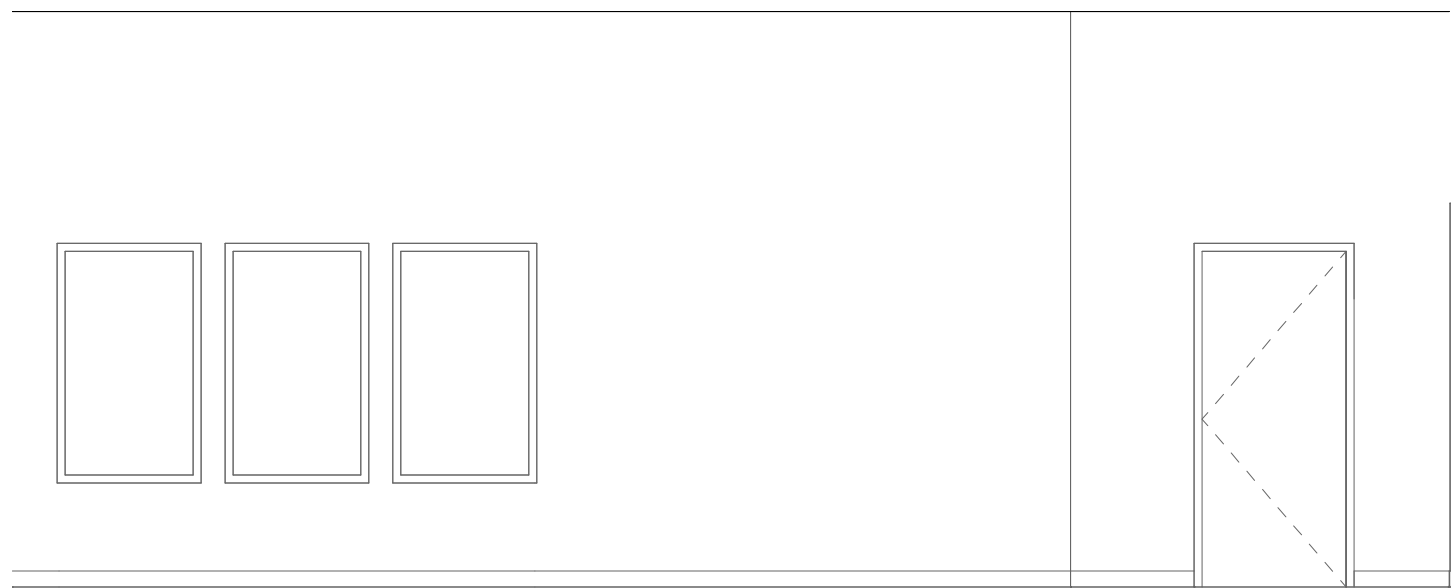
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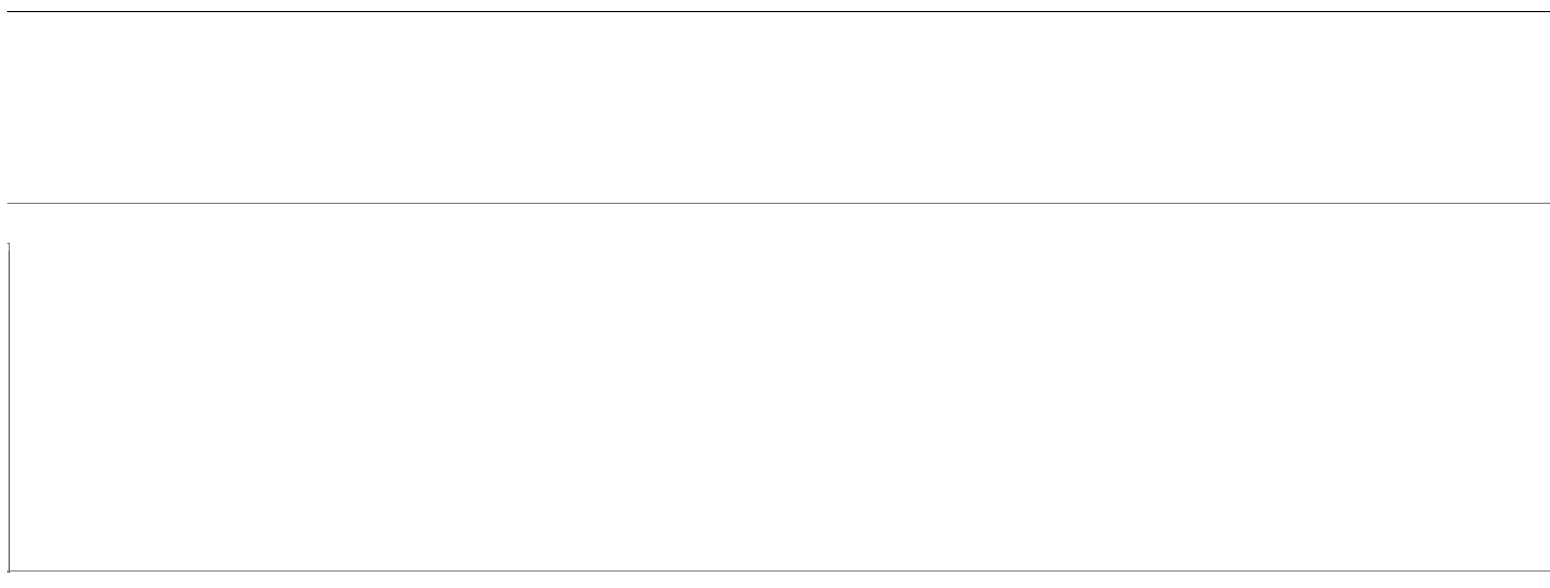
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4N 104 N
Scale: 1/4" = 1'-0"



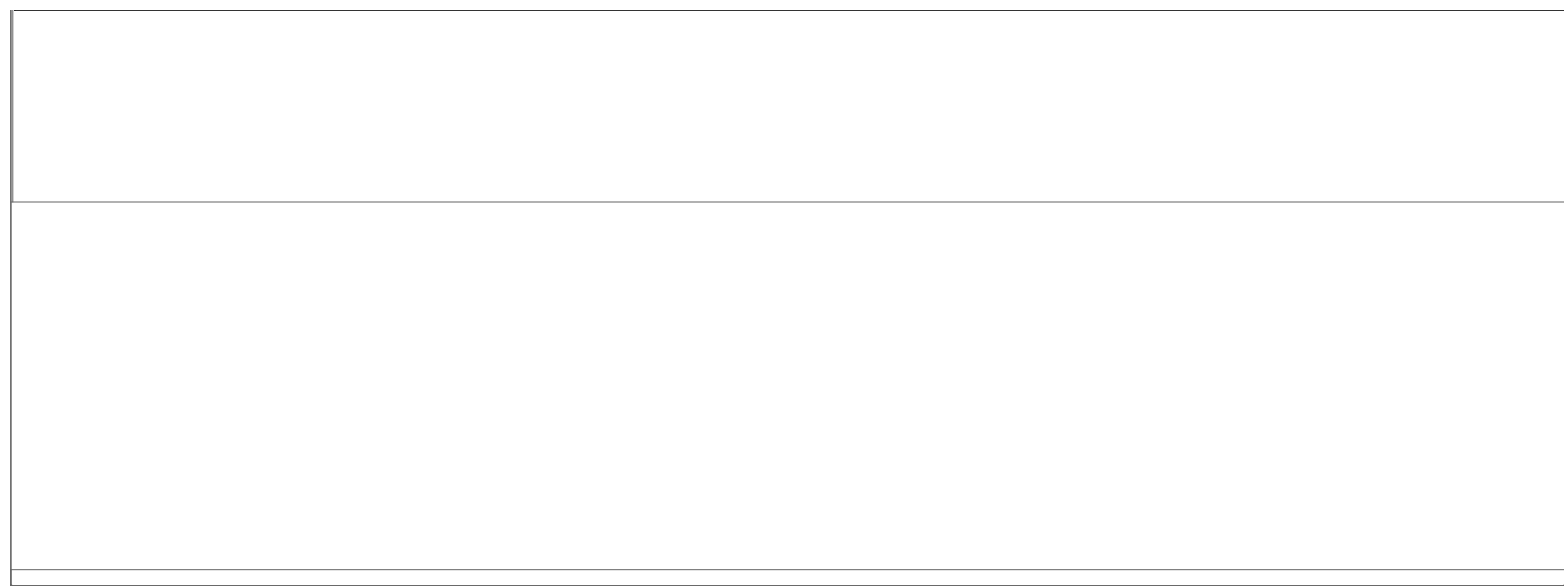
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4S 104 S
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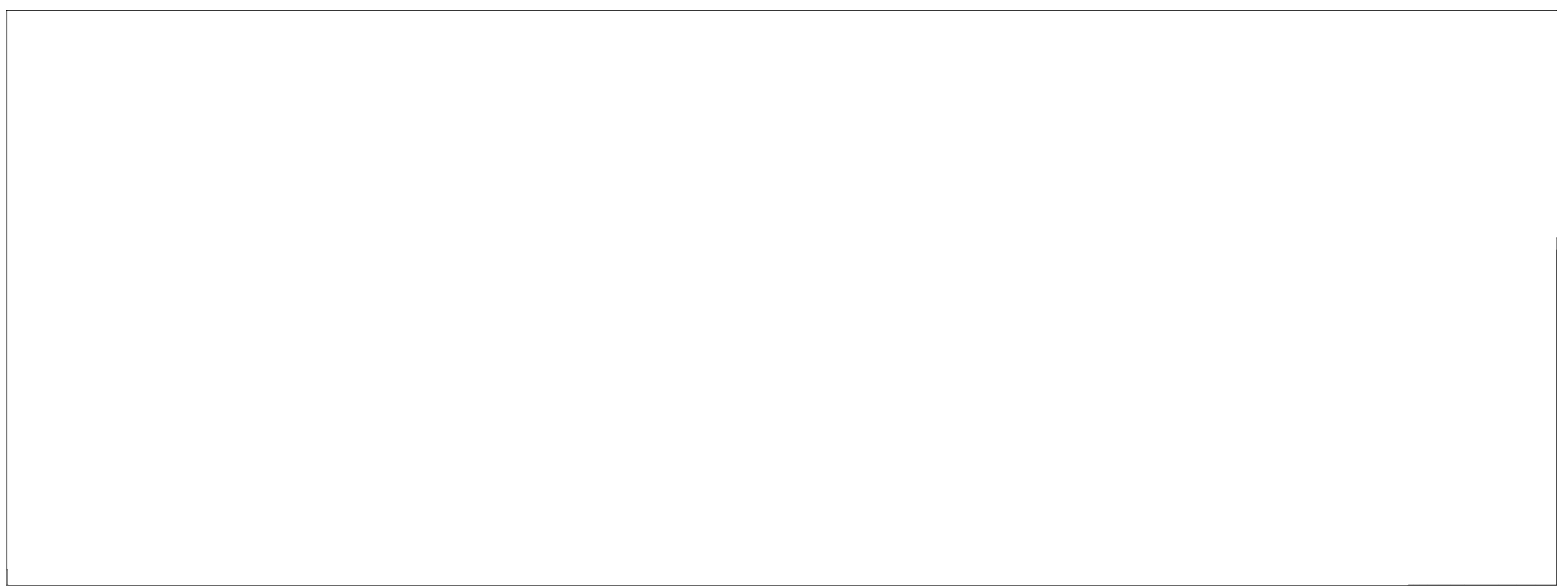
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5N 105 N
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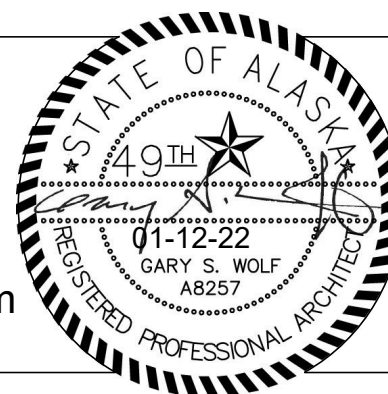
5S 105 S
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5W 105 W
Scale: 1/4" = 1'-0"

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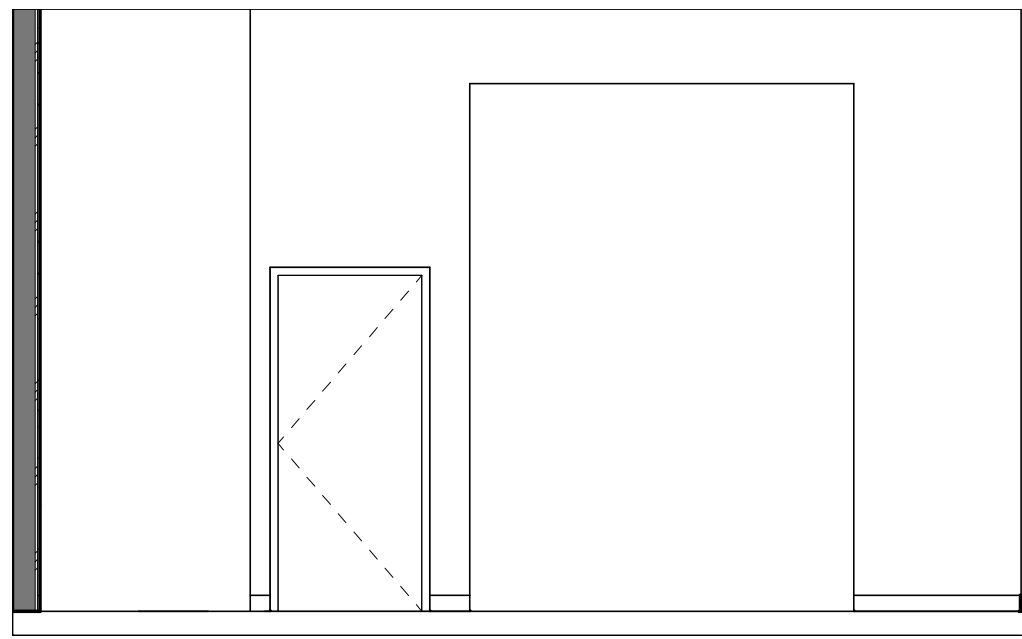


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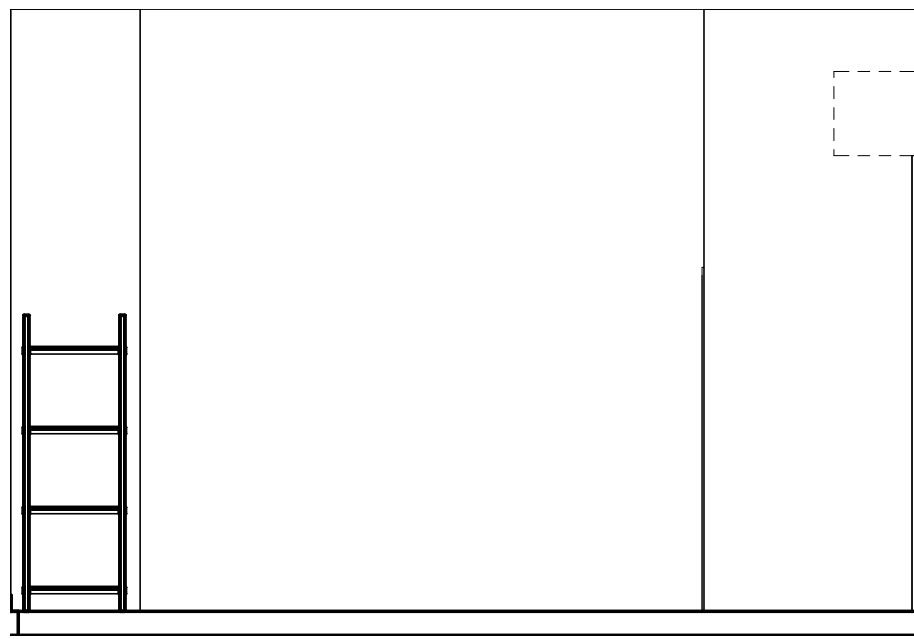
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SHEET CONTENTS
INTERIOR ELEVATIONS

A4.0



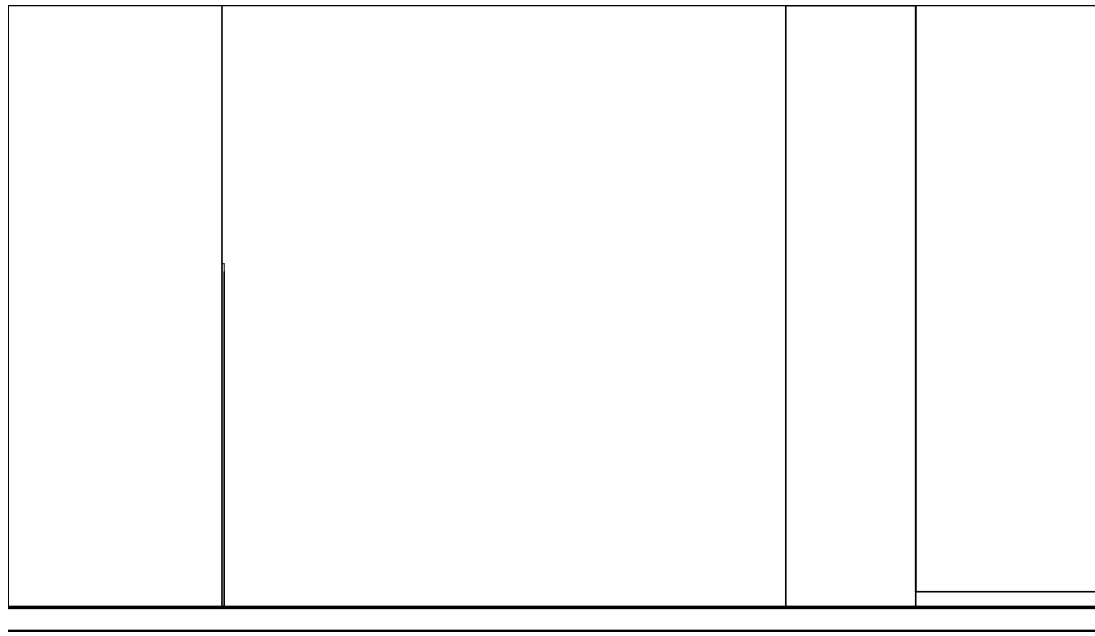
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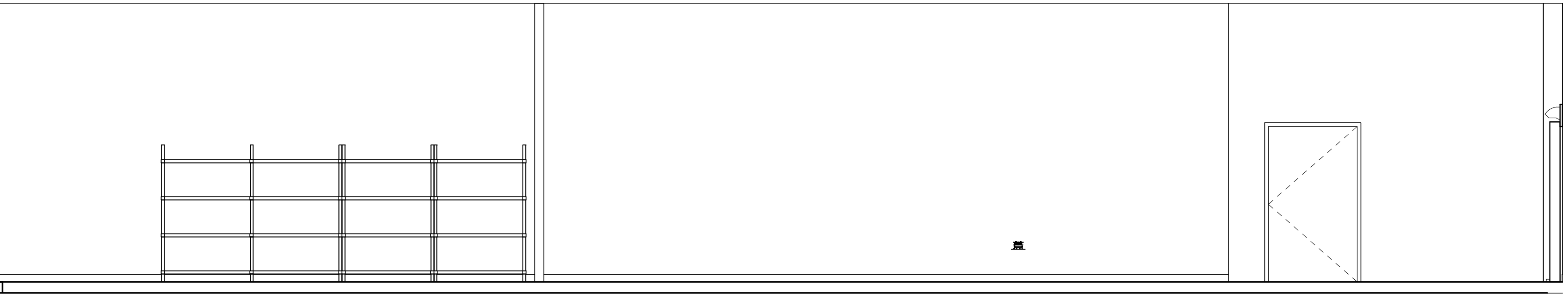
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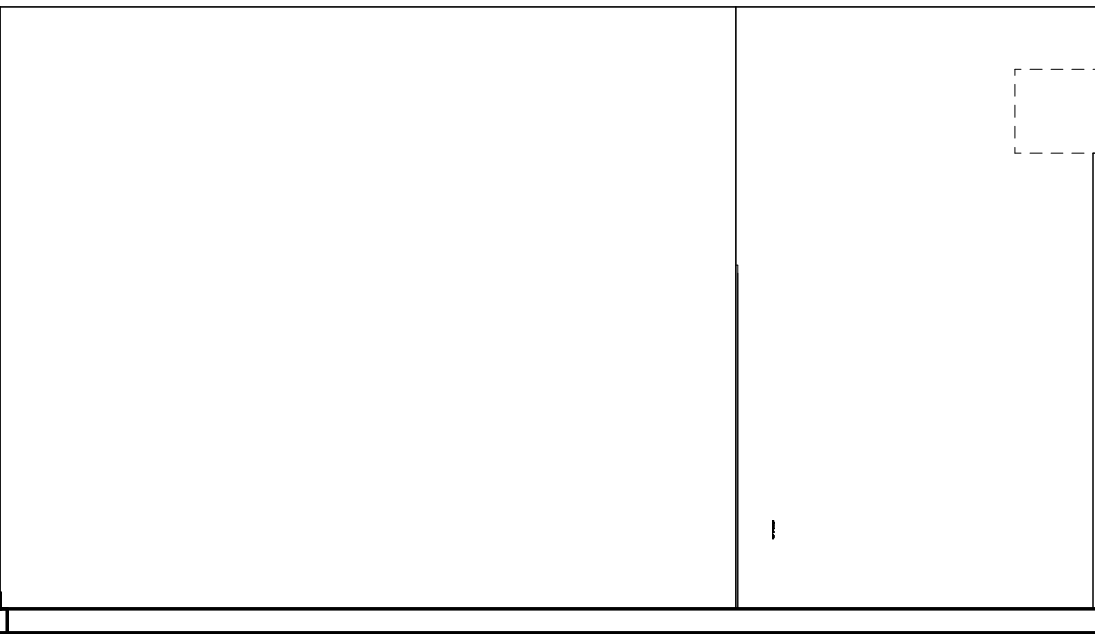
2N 112 N
Scale: 1/4" = 1'-0"



2E 112 E
Scale: 1/4" = 1'-0"



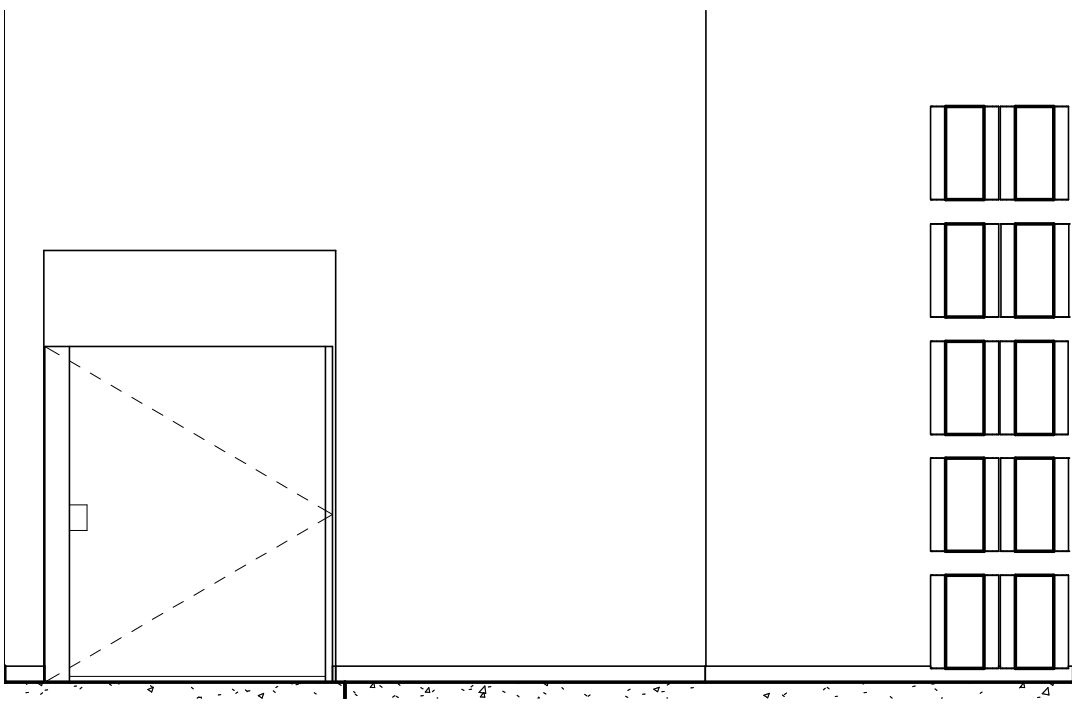
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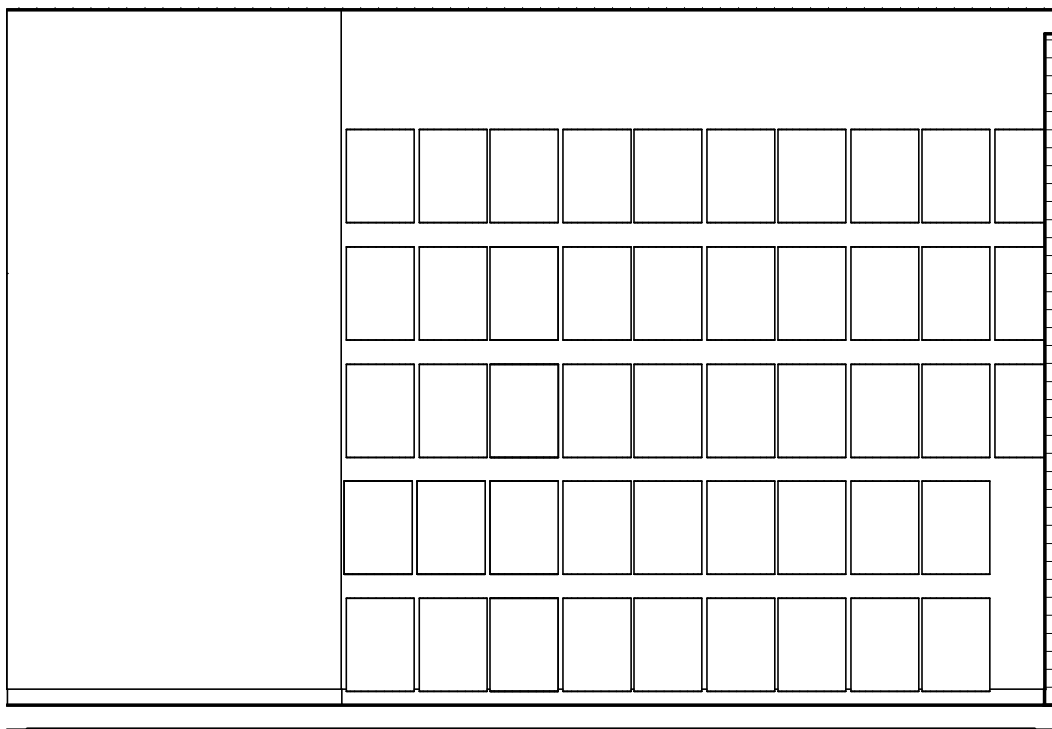
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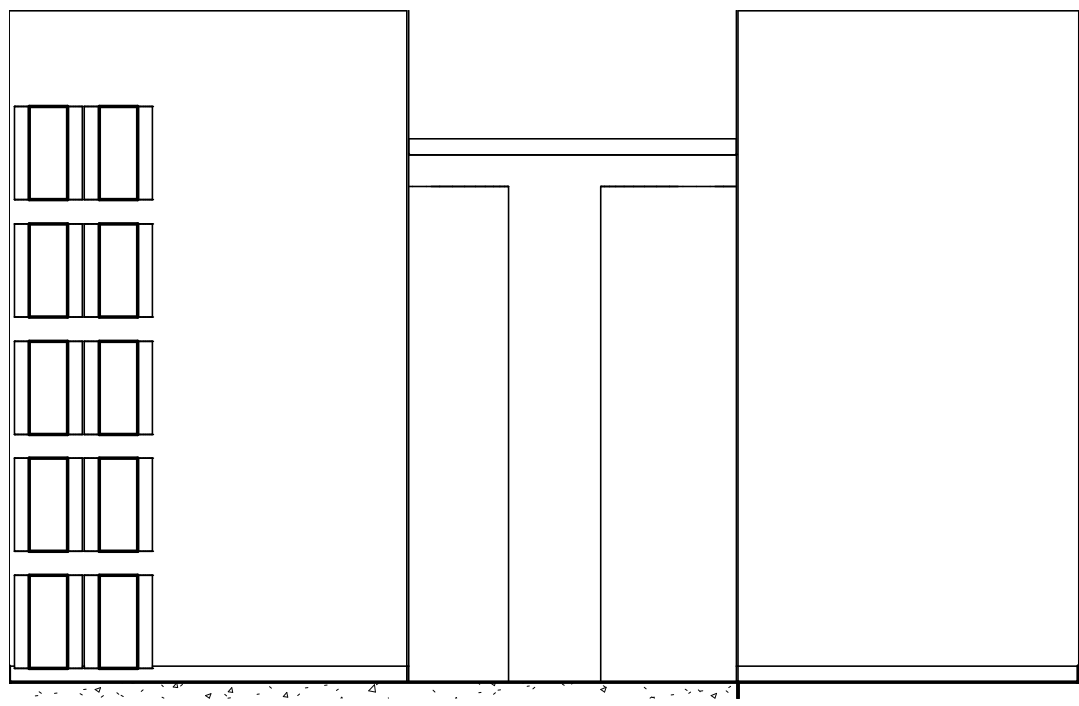
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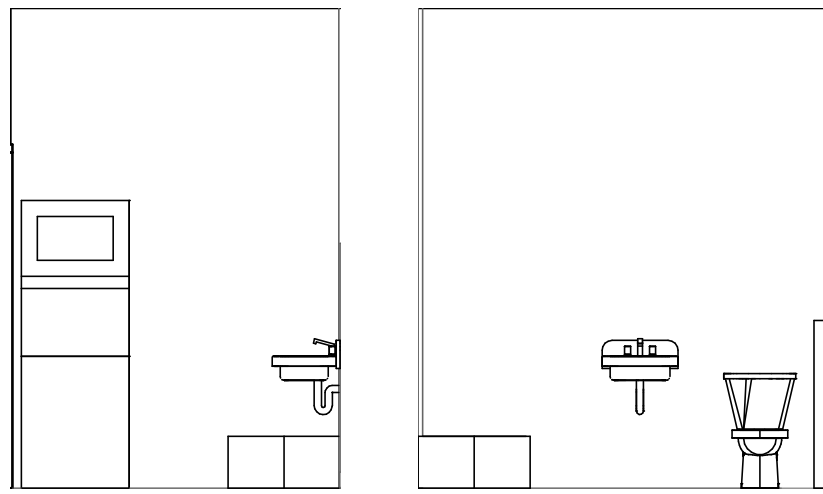
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Scale: 1/4" = 1'-0"



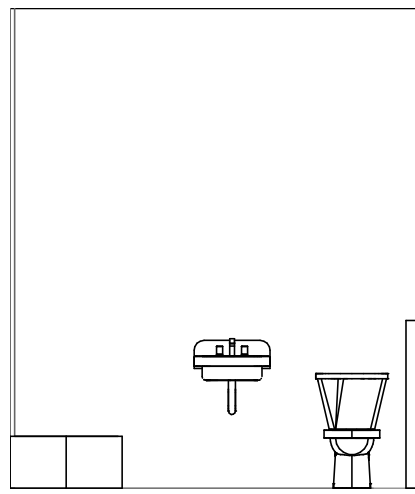
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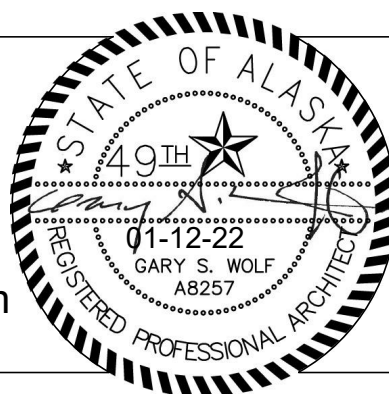
4E 119 E
Scale: 1/4" = 1'-0"



4S 119 S
Scale: 1/4" = 1'-0"

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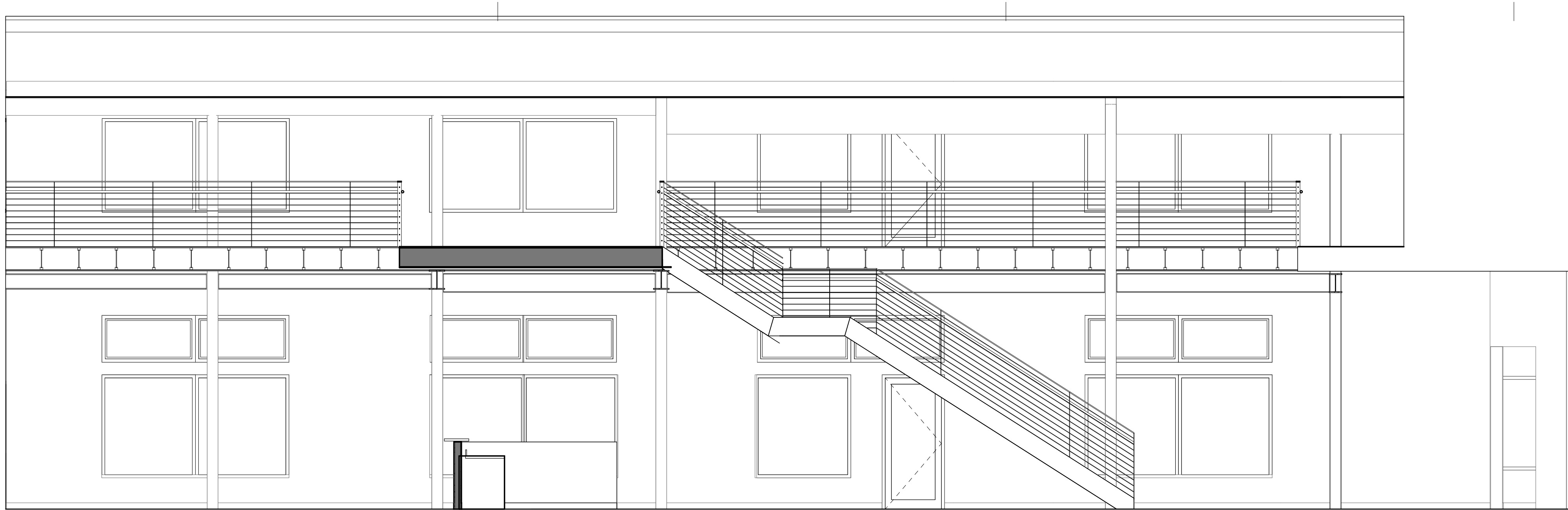


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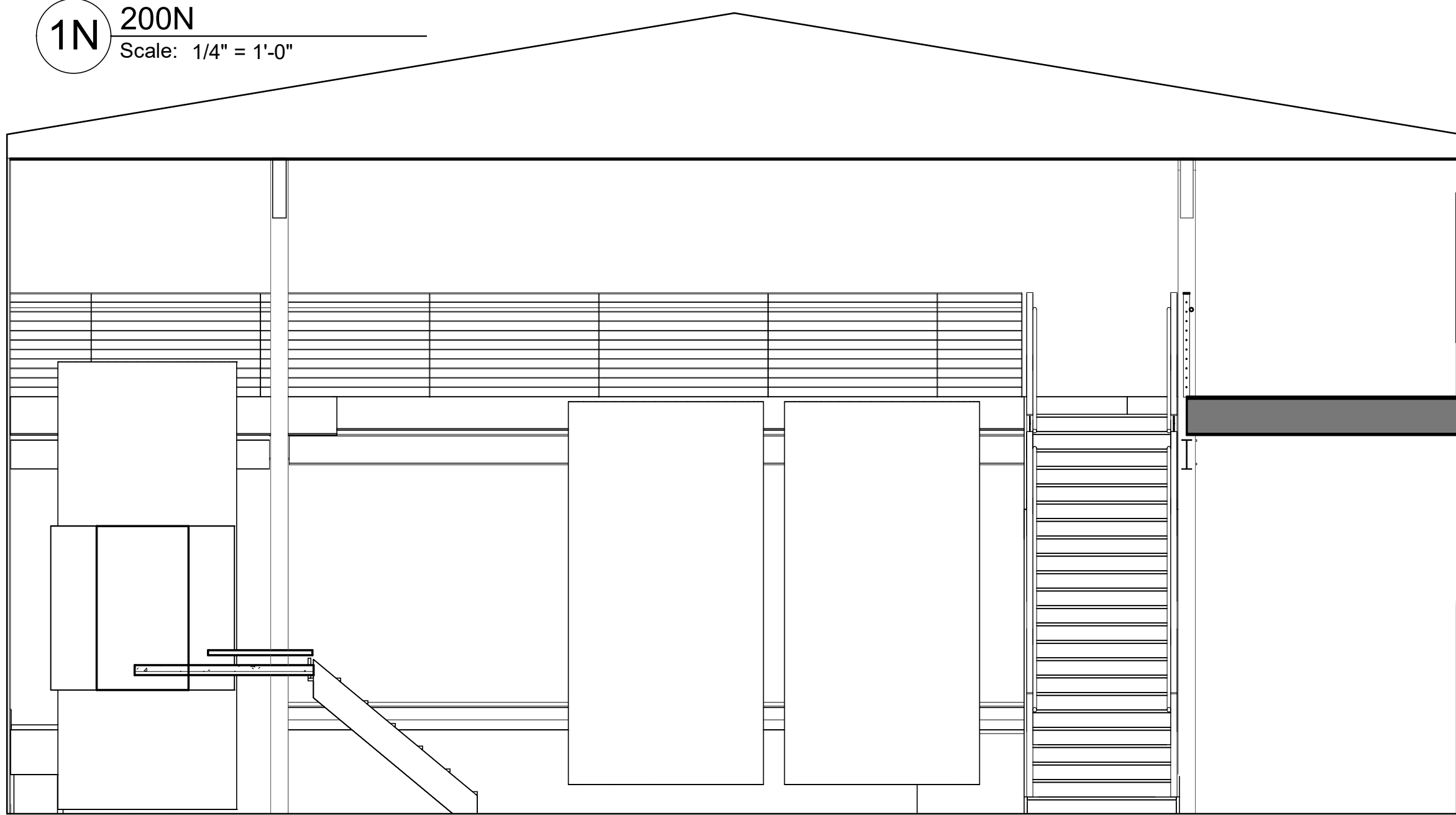
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CHECKED GW
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SHEET CONTENTS
INTERIOR ELEVATIONS

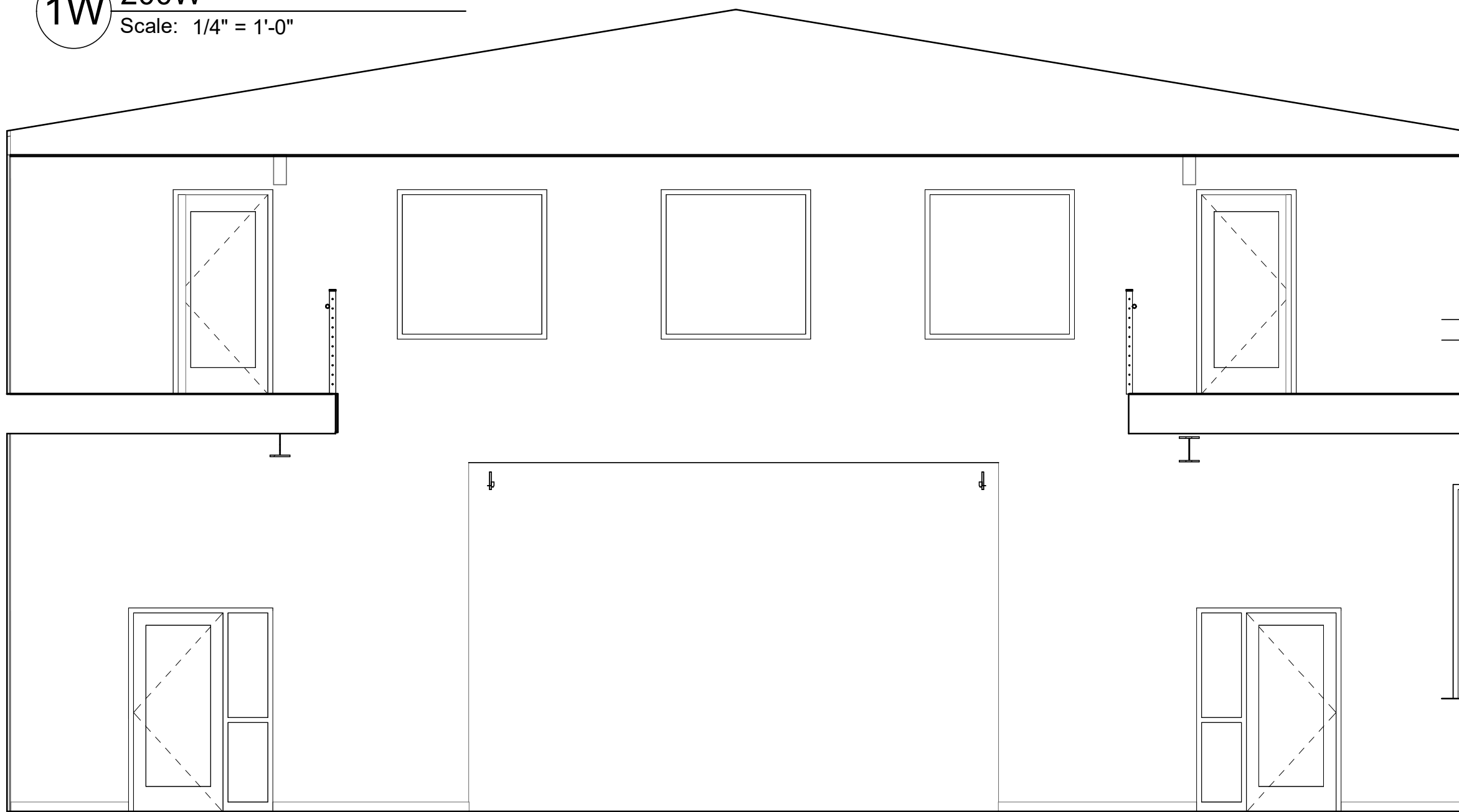
A4.1



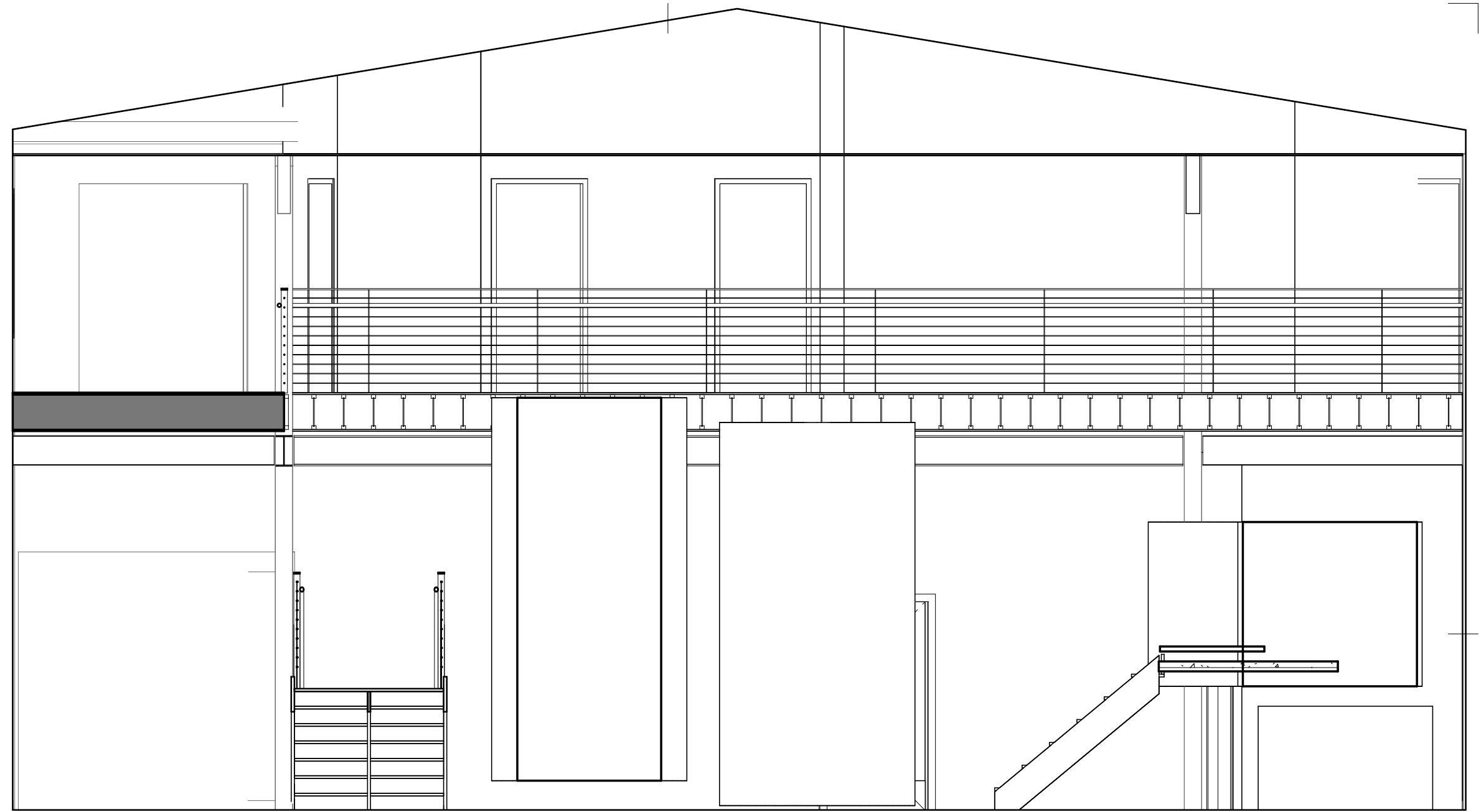
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1W 200W
Scale: 1/4" = 1'-0"

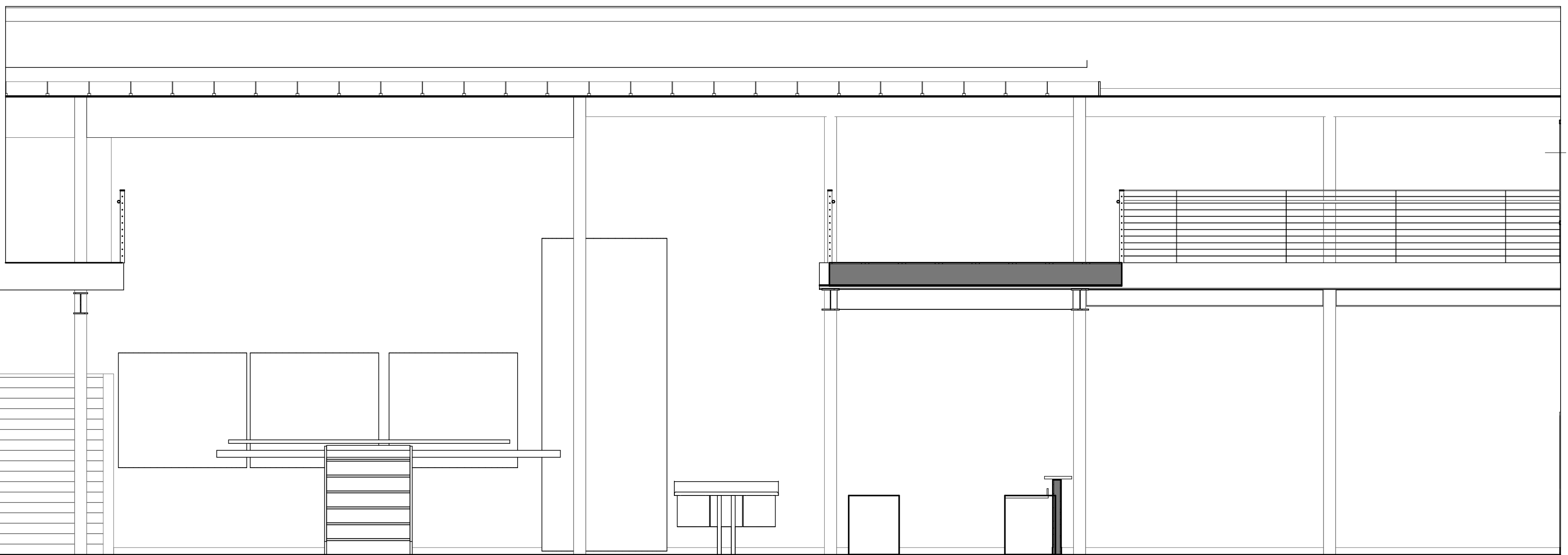


1W2 200W2
Scale: 1/4" = 1'-0"



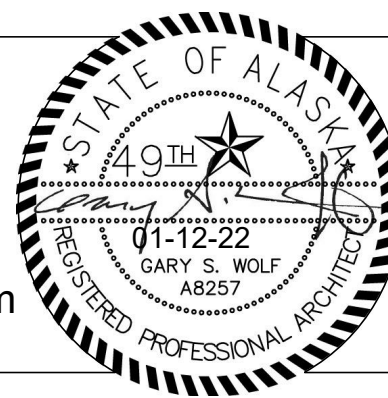
1 200E
Scale: 1/4" = 1'-0"

1S 200S
Scale: 1/4" = 1'-0"



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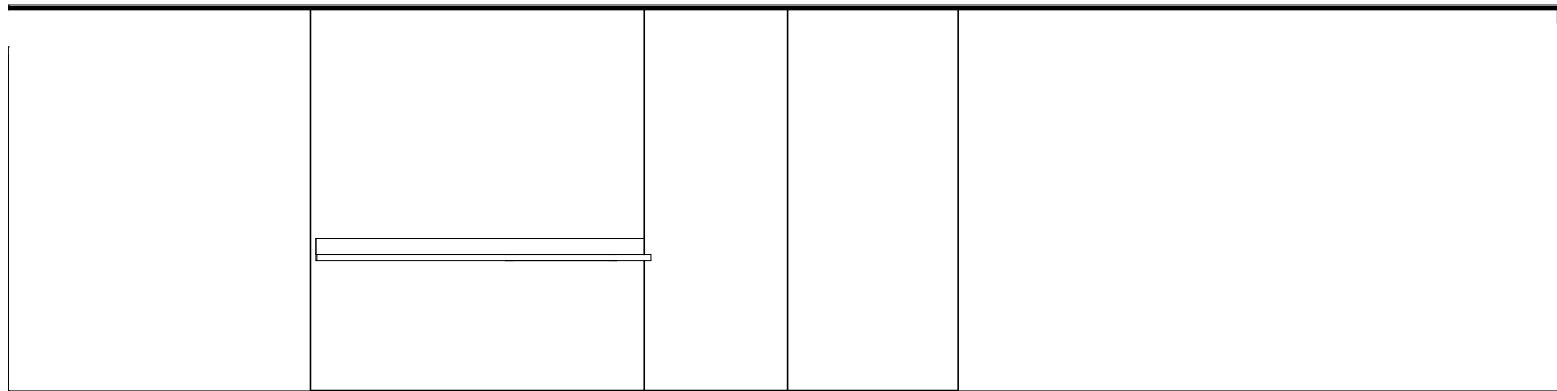


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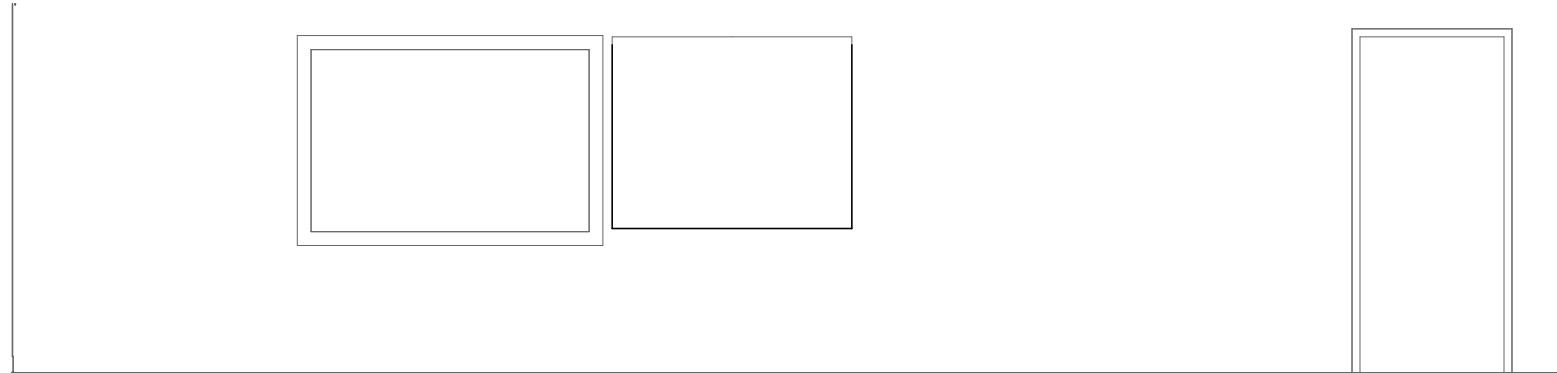
PROJ NO 2113
DRAWN LR
CHECKED GW
DATE 01-12-22
FULL SIZE DRAWINGS: 24" x 36"

SHEET CONTENTS
INTERIOR ELEVATIONS

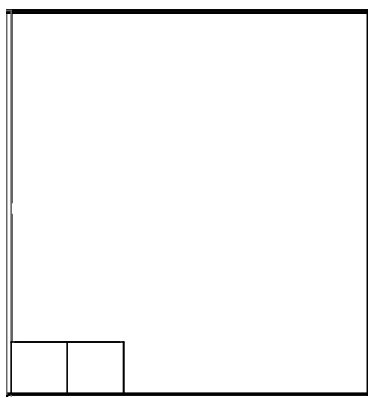
A4.2



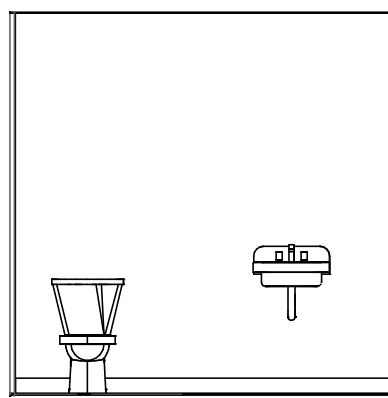
1N 201N
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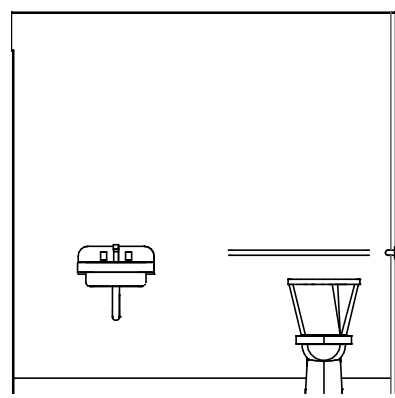
1S 201S
Scale: 1/4" = 1'-0"



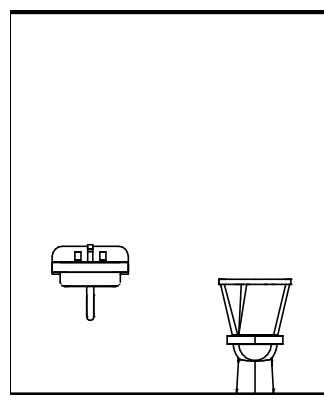
2S 202S
Scale: 1/4" = 1'-0"



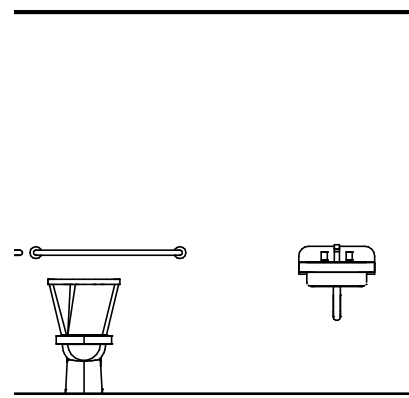
3S 203S
Scale: 1/4" = 1'-0"



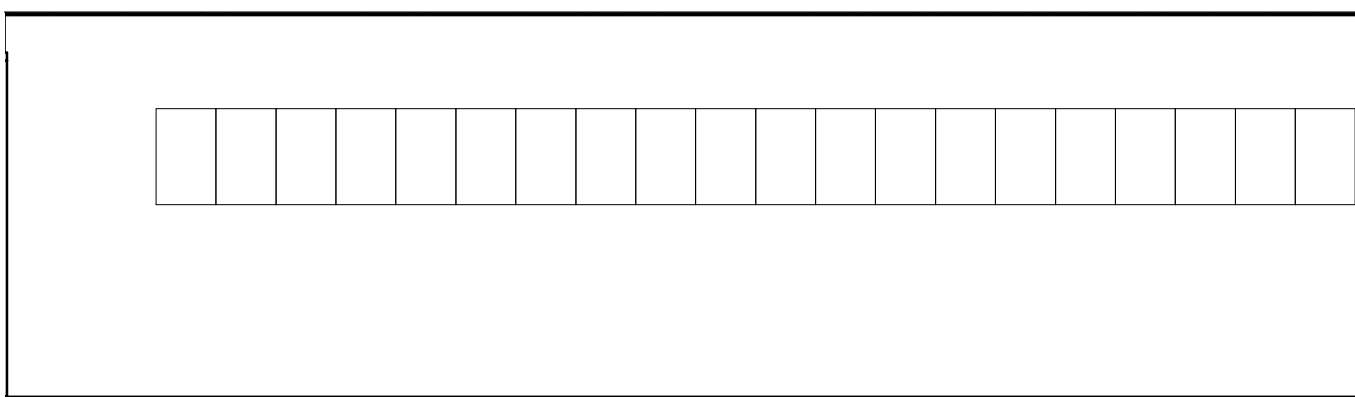
4N 204N
Scale: 1/4" = 1'-0"



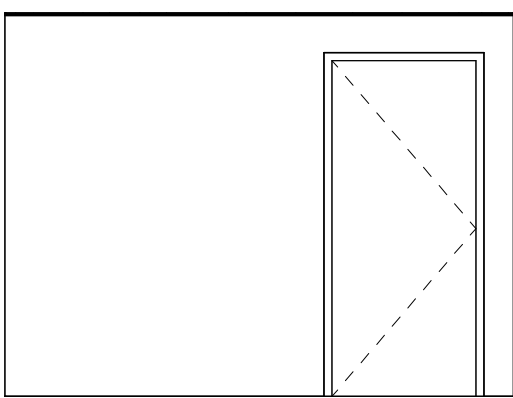
5W 209W
Scale: 1/4" = 1'-0"



6W 210W
Scale: 1/4" = 1'-0"



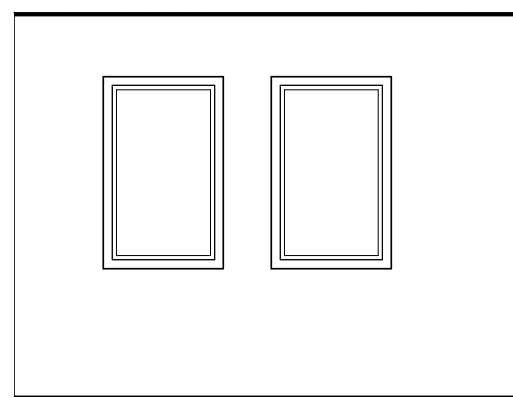
7N 211N
Scale: 1/4" = 1'-0"



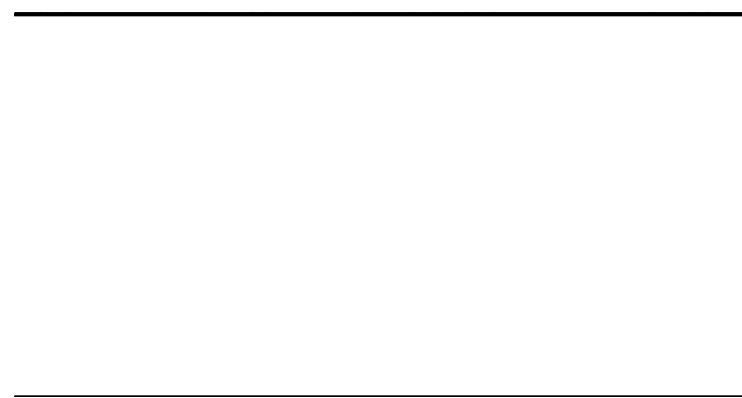
8N 212N
Scale: 1/4" = 1'-0"



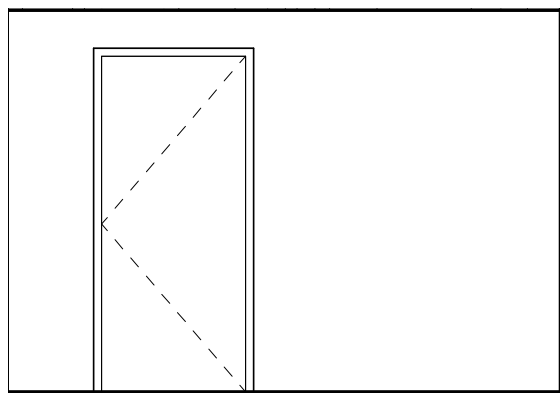
8E 212E
Scale: 1/4" = 1'-0"



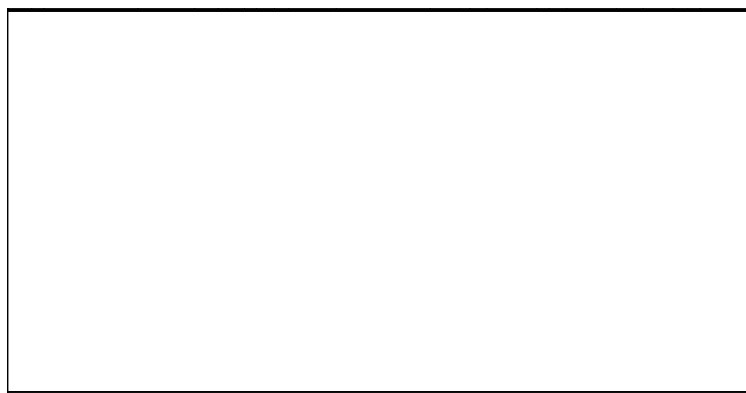
8S 212S
Scale: 1/4" = 1'-0"



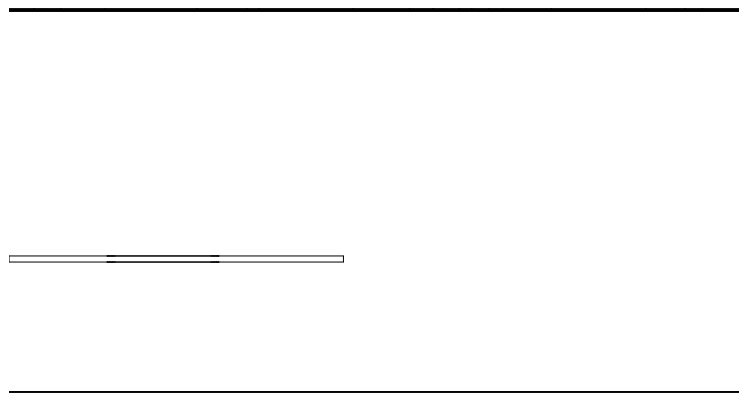
8W 212W
Scale: 1/4" = 1'-0"



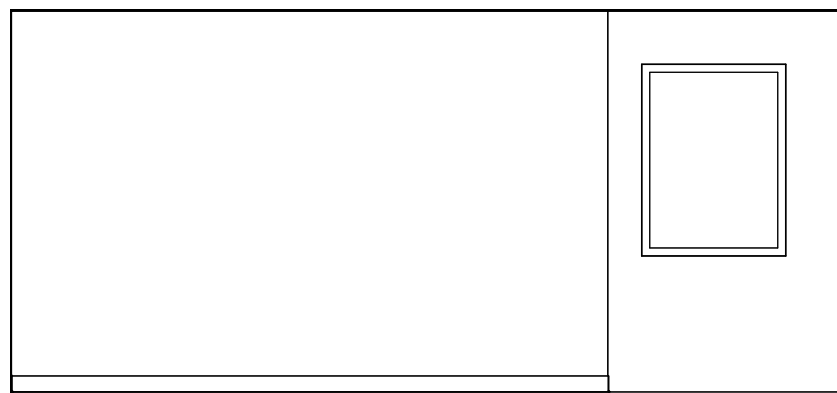
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Scale: 1/4" = 1'-0"



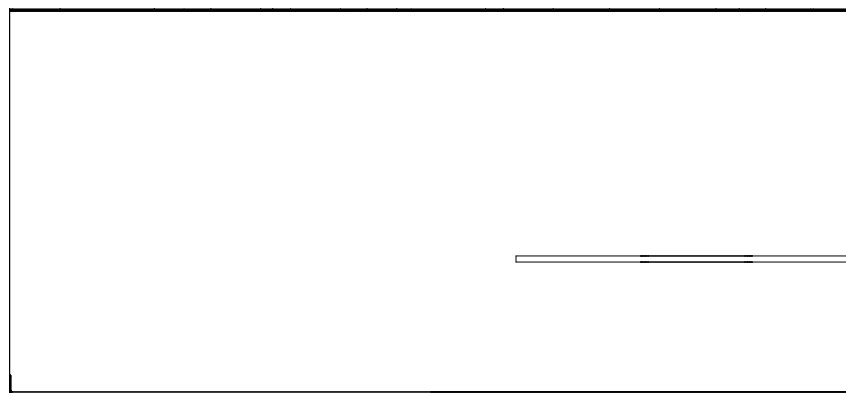
9E 213E
Scale: 1/4" = 1'-0"



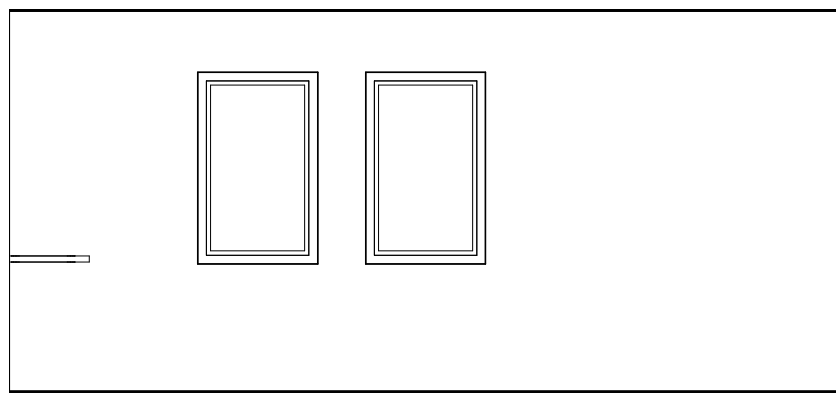
9W 213W
Scale: 1/4" = 1'-0"



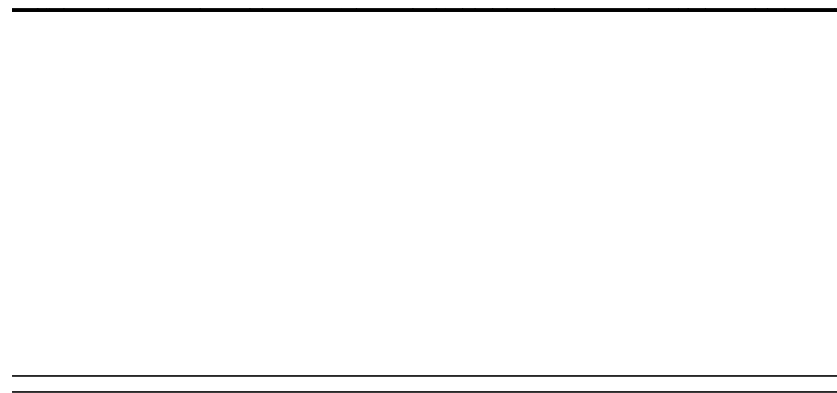
10N 214N
Scale: 1/4" = 1'-0"



10E 214E
Scale: 1/4" = 1'-0"



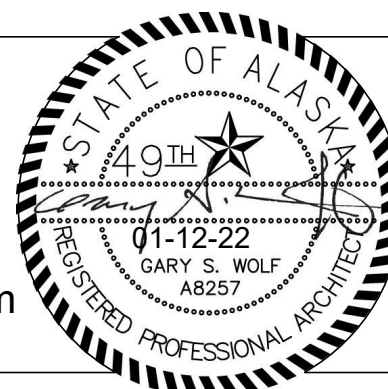
10S 214S
Scale: 1/4" = 1'-0"



10W 214W
Scale: 1/4" = 1'-0"

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BIG LAKE BREWHOUSE
CONSTRUCTION DOCUMENTS
BIG LAKE BREWING COMPANY
5120 S BIG LAKE RD, BIG LAKE, ALASKA 99652

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SHEET CONTENTS
INTERIOR ELEVATIONS

A4.3

MAN DOOR SCHEDULE											
DOOR NO	ROOM NAME TO/FROM	PR	DOOR LEAF A	DOOR LEAF B	DOOR HT	DOOR			FRAME		REMARKS / CODED NOTES
						TYPE	MATERIAL	FINISH	TYPE	MATERIAL	
105B	KITCHEN		3'-0"	0"	7'-0"	D	WD	PT-1	F-1	STL	SWING BOTH DIRECTIONS
108	STAIR		3'-0"	0"	7'-0"	B	WD	PT-1	F-1	STL	
109			3'-0"	0"	7'-0"	A	WD	PT-1	F-1	WD	
113			4'-0"	0"	7'-0"	A	WD	PT-1	F-1	STL	BASIS OF DESIGN FRANK DOOR SLIDING DOOR EFD-SHMS
114			6'-0"	0"	7'-0"						
119	UNISEX TOILET/LAUNDRY/JC		3'-0"	0"	7'-0"	A	WD	PT-1	F-1	WD	
202	JC		3'-0"	0"	7'-0"	A	WD	PT-1	F-1	STL	
203	MENS		3'-0"	0"	7'-0"	A	WD	PT-1	F-1	WD	
204	MEZZANINE		3'-0"	0"	7'-0"	A	WD	PT-1	F-1	STL	
206B	STAIR		3'-0"	0"	7'-0"	B	WD	PT-1	F-1	STL	
207	MEZZANINE	PR	3'-0"	3'-0"	7'-0"	A	WD	PT-1	F-2	STL	
209	WOMENS		3'-0"	0"	7'-0"	A	WD	PT-1	F-1	STL	
210	HALL		3'-0"	0"	7'-0"	A	WD	PT-1	F-1	STL	
212	OFFICE 2		3'-0"	0"	7'-0"	A	WD	PT-1	F-1	WD	
213	BREAK RM		3'-0"	0"	7'-0"	A	WD	PT-1	F-1	WD	
214	LOCKERS		3'-0"	0"	7'-0"	A	WD	PT-1	F-1	WD	
E101	PASSAGE		3'-0"	0"	7'-0"	A	STL	PT	F-1	STL	60 MIN DOOR
EX120	FIRE PUMP		3'-0"	0"	7'-0"	A	STL	PT-1	F-1	IHM	
EX-108	STAIR		3'-0"	0"	7'-0"	A	STL	PT-1	F-1	IHM	
EX-110			3'-0"	0"	7'-0"	A	STL	PT-1	F-1	IHM	
EX-111	DINING		3'-0"	0"	7'-0"	F	AL	AL	F-1	AL	
EX-116	DINING		3'-0"	0"	6'-8"	F	AL	AL	F-3	AL	
EX-118	DINING		3'-0"	0"	6'-8"	F	AL	AL	F-3	AL	
EX-200A	MEZZANINE		3'-0"	0"	6'-8"	F	AL	AL	F-1	AL	
EX-200B	MEZZANINE		3'-0"	0"	6'-8"	F	AL	AL	F-1	AL	
EX-200C	MEZZANINE		3'-0"	0"	6'-8"	F	AL	AL	F-1	AL	

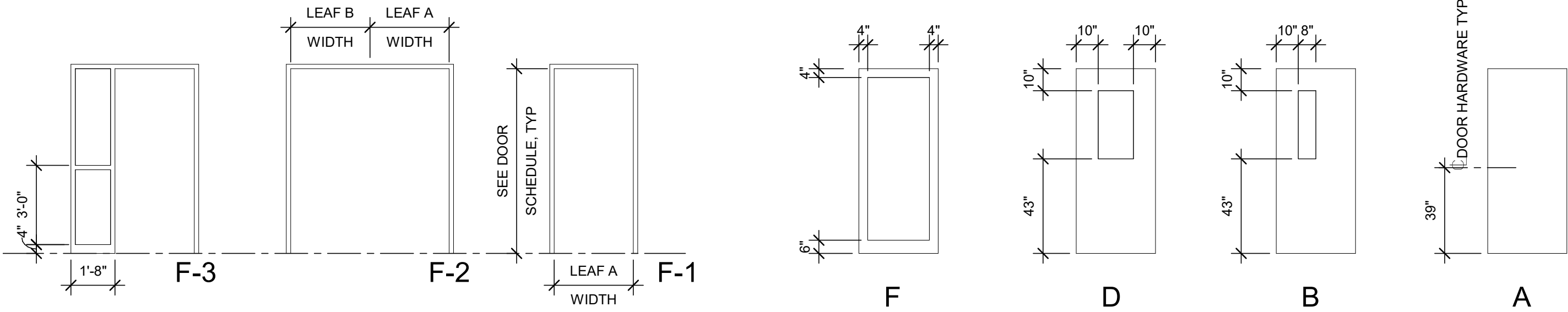
OVERHEAD DOOR SCHEDULE						
DOOR NO	Width	Height	DOOR		REMARKS / CODED NOTES	DOOR NO
				MATERIAL		
OH110B	8'-0"	9'-2"	-		TO MATCH OH112	OH110B
OH112	8'-0"	9'-2"	-		EXISTING TO BE REINSTALLED, VERIFY R.O.	OH112
OH117	16'-0"	9'-0"	AL		SECTIONAL DOOR WITH GLAZING	OH117

GENERAL DOOR & RELITE NOTES

1. ALL DOORS TO BE 1 3/4" THICK, UNLESS NOTED OTHERWISE
4. LABEL COLUMN NUMBERS INDICATES THE RATING IN MINUTES, UNLESS NOTED OTHERWISE
5. GLAZING DIMENSIONS FOR DOOR TYPES ARE TO INSIDE OF FRAME (CLEAR GLAZING AREA). ACTUAL CUTOUT AND TOTAL FRAME WILL BE SLIGHTLY LARGER
6. RELITE GLAZING AND STOP TO OCCUR ON CORRIDOR SIDE OF FRAME, UNLESS NOTED OTHERWISE
7. ALL DOOR HANDLES TO BE LEVER TYPE COMPLYING WITH ADA
8. ALL RELITE AND TRANSOM GLAZING AND LITES IN DOORS TO BE TEMPERED GLASS
9. INTERIOR DOOR FRAMES ARE TO BE ALUMATONE, UNLESS NOTED OTHERWISE. EXTERIOR DOOR FRAMES ARE TO MATCH ALUMINUM STOREFRONT, DARK BRONZE.

DOOR ABBREVIATIONS

AL ALUMINUM
BOF BOTTOM OF FRAME
FF FACTORY FINISH
GL GLASS
H HINGE (JAMB)
HR HOUR
MFR MANUFACTURER
PL PLASTIC LAMINATE
PR PAIR OF DOORS
PT PAINT
S STRIKE (JAMB)
SST STAINLESS STEEL
STL STEEL
STN STAIN & VARNISH
TOF TOP OF FRAME
WD WOOD



FRAME TYPES - DOOR

Scale: 1/4" = 1'-0"

DOOR TYPES

Scale: 1/4" = 1'-0"

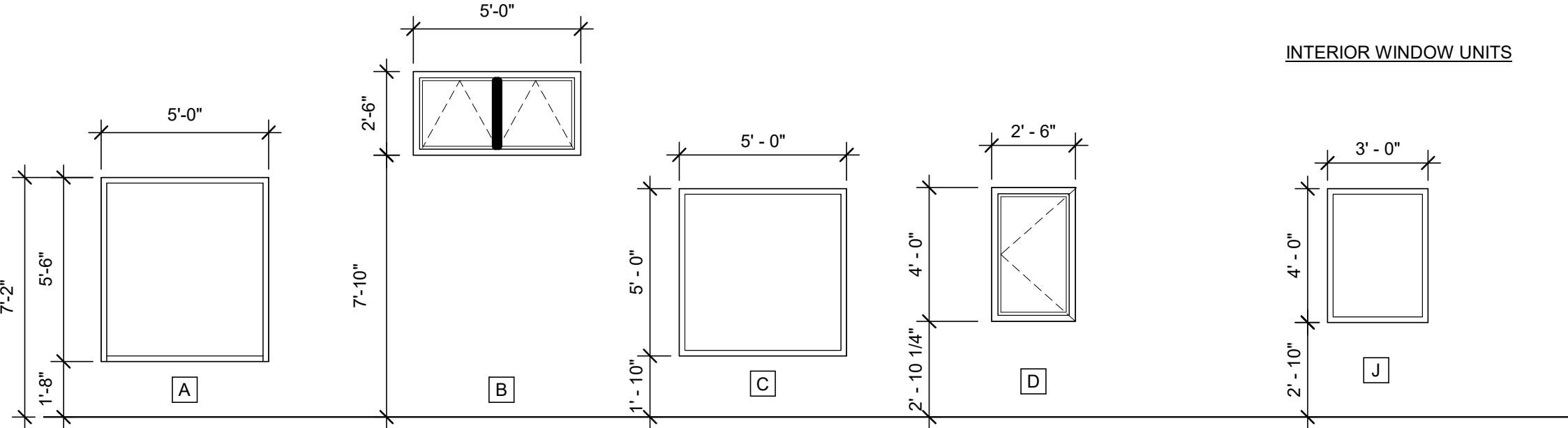
ALUMINUM STOREFRONT NOTES:

1. BASIS OF DESIGN - EFCO, THERMALLY-BROKEN
FINISH - CLEAR (CONFIRM WITH ARCH/OWNER)
2. GLASS TYPE - CARDINAL 366, PPG SOLARBAN 70, OR EQUAL

VINYL WINDOW NOTES:

1. BASIS OF DESIGN - JELDOWEN, PREMIUM, LOW-E 366, ARGON
U-VALUE - 0.27 OR LOWER
SHGC - 0.24 OR LOWER
VT - 0.55 OR HIGHER
FINISH - WHITE (CONFIRM WITH ARCH/OWNER)
2. GLASS TYPE - CARDINAL 366 OR EQUAL

SEE SHEET G1.03 FOR FIRE RATED WALLS. GLAZING IN 1 HR RATED WALLS SHALL BE 20 MIN FIRE RATED.



INTERIOR WINDOW UNITS

8 WINDOW SCHEDULE

Scale: 1/4" = 1'-0"

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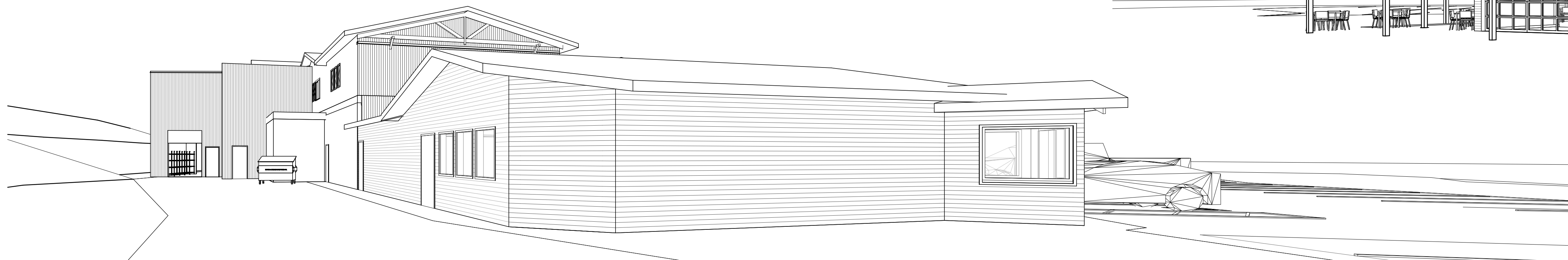
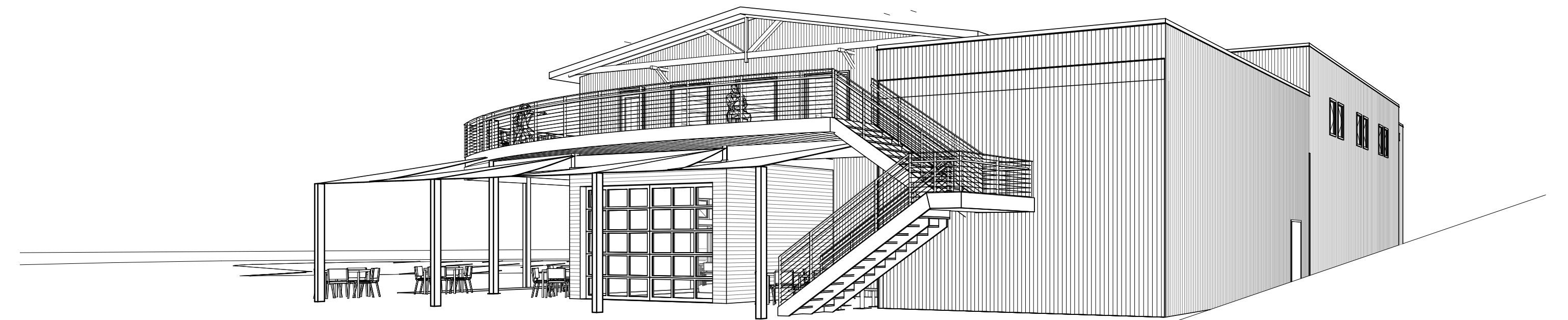
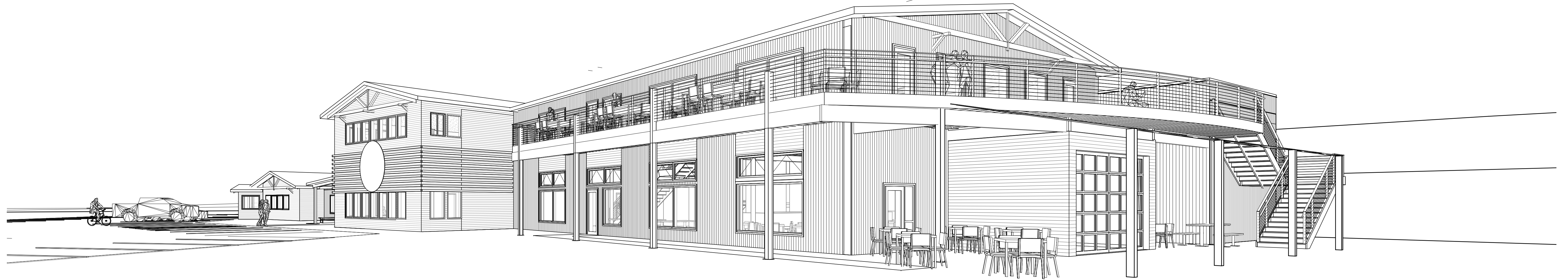


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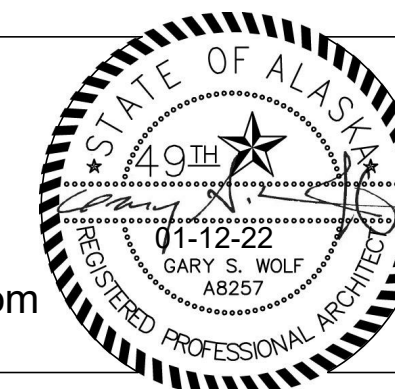
SHEET CONTENTS
WINDOW AND DOOR
SCHEDULE

A6.0



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SHEET CONTENTS
BUILDING
AXONOMETRIC VIEWS

A9.0