



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: permitcenter@matsugov.us

CONDITIONAL USE PERMIT FOR MARIJUANA RELATED FACILITIES – MSB 17.60

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

 x \$1,500 for Marijuana Retail Facility
 \$1,500 for Marijuana Cultivation Facility

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

Required Attachments for a Marijuana Cultivation Facility:

 Wastewater and Waste Material Disposal Plan – 17.60.160 (A)
 Odor Mitigation and Ventilation Plan – 17.60.160 (B)
 Hazardous Chemicals Information – 17.60.160 (C)
 Security plan – 17.60.160 (D)

Required Attachments for Both Retail and Cultivation Facilities:

 Documentation demonstrating full compliance with applicable fire code – 17.60.150 (D) (2)

Subject Property: Township: , Range: , Section: , Meridian:

MSB Tax ID# 2209B02L001A

SUBDIVISION: BRADLEY LK #2 RSB BLOCK(S): 2 , LOT(S): 1

STREET ADDRESS: 10600 E. Max Drive, Palmer, Alaska 99645

FACILITY / BUSINESS NAME: Smoke Out Point, LLC DBA Smoke Out Point

Ownership: A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? ☒ **Yes** ☐ **No** ☐ **N/A**

Name of Property Owner

Scott Wells

Mailing: 4132 S Glenn Hwy, Palmer, AK 99645

Phone: Hm 907-715-7140 Fax

Wk Cell

E-mail siteratiel@yahoo.com

Name of Agent / Contact for application

Anthony Wells (Jana Weltzin, Esq.- Attorney)

Mailing: 2521 E. Mountain Village Drive, Suite B

PMB 248, Wasilla, AK 99654

Phone: Hm 907-982-2192 Fax

Wk Cell

E-mail smopshop907@gmail.com

Site Plan – Attach a detailed, to scale, site plan clearly showing the following information:	Attached
Proposed and existing structure(s) on the site. Indicate which structure(s) will be used for the proposed use. Dimensions and locations of all existing and proposed structures on the site in relationship to all property lines.	Attached
Signage – Existing and Proposed.	Attached
Location and dimensions for all access points to and from the site to public rights-of-way or public access easements.	Attached
Buffering – Fences, vegetation, topography, berms, and any landscaping	Attached
Drainage	Attached
Vehicular and pedestrian circulation patterns.	Attached
Exterior site lighting.	Attached
Location and dimensions of parking areas to be provided	Attached
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	Attached

Map – Attach a detailed, to scale, vicinity map clearly showing the following information:	Attached
Identify all existing land uses within 1,000 feet.	Attached
Scale and north arrow using standard engineering intervals such as 1" = 30', 1" = 50' or similar as required by project size.	Attached

In order to grant a conditional use permit under MSB 17.60, the Planning Commission must find that each of the following requirements have been met. Explain the following in detail:	Attached
Is the conditional use compatible with and will it preserve or not materially detract from the value, character and integrity of the surrounding area?	Yes, Please review narrative
Will the granting of the conditional use permit be harmful to the public health, safety, convenience and welfare?	No
Are sufficient setbacks, lot area, buffers and other safeguards being provided?	Yes
Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use in this section?	Yes
Describe measures taken to prevent any potential negative effect upon other properties in the area due to such factors as noise and odor.	Contained in narrative
Describe measures taken to reduce negative effects upon adjacent properties by: <ul style="list-style-type: none"> Increased property line and right-of-way buffers Planted berms and landscaping Site and building design features which contribute to the character of the surrounding area 	Contained in narrative
Describe how this use is compatible with the character of the surrounding area.	Contained in narrative
Current status of State License application process – 17.60.150 (D) (1)	Submitted to AMCO

17.60.170 Standards for Marijuana Retail Facilities:	Attached
Describe how the subject parcel is appropriate for the proposed conditional use. Include information detailing: <ul style="list-style-type: none"> • The proximity of the proposed use to existing businesses; • The proximity of parcels developed with residential uses; • Whether the roads associated with the proposed use have been, or will be, appropriate for commercial use; and • Proposed hours of operations. 	Attached
Provide information showing minimum parking standards have been met as required by MSB 17.60.170 (B) and (C).	Attached

Floor Plan for Marijuana Retail Facilities – Attach a detailed, to scale, floor plan clearly showing the following information:	Attached
Dimensions of all structures.	Attached
Interior floor plans (specific location of the use or uses to be made of the development).	Attached
Net floor area square footage calculations.	Attached

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax account #(s) 2209B02L001A and, I hereby apply for approval of a conditional use permit to operate a marijuana related facility on the property as described in this application.

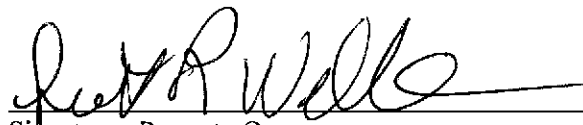
I understand all activity must be conducted in compliance with all applicable standards of MSB 17.60 and with all other applicable borough and state.

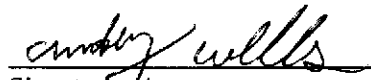
I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.


1-13-2022
 Signature: Property Owner
 Scott Wells
Printed Name
Date


1-13-2022
 Signature: Agent
 Anthony Wells
Printed Name
Date

PERMIT CENTER – FEE RECEIPT FORM

PH

Property Location: 2209 BOZLOOIA

Applicant: SMOKE OUT POWT

	USE PERMITS {100.000.000.341.300}	Fee
<input type="checkbox"/>	8.35 Public Display of Fireworks	\$25.00
<input type="checkbox"/>	8.40.010 Liquor License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
<input type="checkbox"/>	8.41.010 Marijuana License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
<input type="checkbox"/>	8.52 Temporary Noise Permit	\$1000.00
<input type="checkbox"/>	8.55 Special Events Permit 500 – 1000 Attendees	\$500.00 \$1,000.00
<input type="checkbox"/>	8.55 Special Events Permit Site Monitor Fee / Per Day	\$300.00
<input type="checkbox"/>	17.02 Mandatory Land Use Permits- Residential Non-habitable	\$25.00
	Commercial/Industrial	\$150.00
<input type="checkbox"/>	17.04 Nancy Lake Special Land Use District CUP	\$1,500.00
<input type="checkbox"/>	17.06 Electrical Generating & Delivery Facility Application	\$500.00
<input type="checkbox"/>	17.08 Hay Flats Special Land Use District Exception Application	\$1000.00
<input type="checkbox"/>	17.17 Denali State Park Conditional Use Permit	\$1500.00
<input type="checkbox"/>	17.18 Chickaloon Special Land Use District CUP	\$1500.00
<input type="checkbox"/>	17.19 Glacier View Special Land Use District CUP	\$1500.00
<input type="checkbox"/>	17.23 Port MacKenzie Development Permit	\$1000.00
<input type="checkbox"/>	17.25 Talkeetna Conditional Use Permit	\$1500.00
<input type="checkbox"/>	17.25 Talkeetna Conditional Use Permit – Variance	\$1500.00
<input type="checkbox"/>	17.27 Sutton Special Land Use District CUP	\$1500.00
<input type="checkbox"/>	17.29 Flood Damage Prevention Development Permit	\$100.00
<input type="checkbox"/>	17.29 Flood Damage Prevention Development Permit –Variance	\$500.00
<input type="checkbox"/>	17.30.040 Earth Materials Extraction Admin. Permit	\$1000.00
<input type="checkbox"/>	17.30.050 Earth Materials Extraction CUP	\$1500.00
	17.36 Residential Planned Unit Development Application – Concept Plan – up to 50 Lots	\$500.00
	Additional Lots or tracts being created – Per Lot	\$100.00
<input type="checkbox"/>	17.48 Mobile Home Park Permit Application	\$500.00
<input type="checkbox"/>	17.52 Residential Land Use District App (Rezone)	\$1,000.00
<input checked="" type="checkbox"/>	17.52 Conditional Use Permit Application CUP	\$1,500.00
<input type="checkbox"/>	17.55 Shoreline Setback Exception Application	\$300.00
<input type="checkbox"/>	17.60 Conditional Use Permit Application	\$1500.00
<input type="checkbox"/>	17.61 Commercial/Industrial Core Area Conditional Use Permit	\$1500.00

<input type="checkbox"/>	17.62 Coal Bed Methane	\$1500.00
<input type="checkbox"/>	17.63 Conditional Use Permit for Racetracks	\$1500.00
<input type="checkbox"/>	17.65 Variance	\$1500.00
<input type="checkbox"/>	17.67 Tall Structures - Network Improvement Permit	\$100.00
	Nonconforming Use	\$200.00
	Administrative Permit	\$500.00
	Conditional Use Permit	\$1500.00
<input type="checkbox"/>	17.70 Regulation of Alcoholic Beverage Use Permit Application	\$1500.00
<input type="checkbox"/>	17.73 Multi-Family Land Use Permit – add \$25.00 for each additional unit beyond 5 units.	\$500.00
<input type="checkbox"/>	17.75 Single-Family Residential Land Use District CUP	\$500.00
<input type="checkbox"/>	17.76 Large Lot Single-Family Residential Land Use District Conditional Use Permit Application	\$1000.00
<input type="checkbox"/>	17.80 Nonconforming Structures (Amnesty) Pre-Existing Legal Nonconforming (Grandfather)	\$1000.00
<input type="checkbox"/>	17.90 Regulation of Adult Businesses – Conditional Use Permit	\$300.00
<input type="checkbox"/>	28.60 Timber Transport Permit	\$1500.00
		\$300.00

	RIGHT-OF-WAY FEES:	
<input type="checkbox"/>	Driveway	\$50.00
<input type="checkbox"/>	Driveway Deposit {100.226.100}	\$150.00
<input type="checkbox"/>	Construction	\$200.00
<input type="checkbox"/>	Utility (Application Fee = \$100 ~ Distance Fee \$0.25/per lineal foot)	
<input type="checkbox"/>	Encroachment	\$150.00
<input type="checkbox"/>	Construction Bond {100.227.000}	

	PLATTING PRE-APPLICATION CONFERENCE:	
<input type="checkbox"/>	Pre-Application Fee	\$50.00

	FEES:	
<input type="checkbox"/>	Flood Plain Development Survey CD	\$10.00
<input type="checkbox"/>	CD/DVD/DVD-R	\$7.50
<input type="checkbox"/>	Construction Manual/Title 43	\$5.00
<input type="checkbox"/>	Plat Map/Tax Map Copies/Mylar	\$5.00
<input type="checkbox"/>	Color Maps	\$12.00
<input type="checkbox"/>	Xerox Copies (B/W = \$0.25 ~ Color \$1.00/page 11X17 Color \$1.75/page)	
<input type="checkbox"/>	Advertising Fees	
<input type="checkbox"/>	Cultural Resources Books or Maps	
<input type="checkbox"/>	Citation Payment (If sent to collections – use total due from Courtview)	
<input type="checkbox"/>	Thumb Drive 2GB = \$5, 4GB = \$8, 8GB = \$10; 16GB = \$15; 32GB = \$20	

\$ 1500.00 Amount Paid

Date: 11/14/22

Receipt # 9169 4149 By: Ginger

Matanuska Susitna Borough

Payment Date Thursday, July 14, 2022

Deposit Number 45838

Operator lach0415

Real 2022 (Total) \$0.00

MCR (Planning/Platting) \$1,500.00

Misc Rec

Tax Map # 2MISC

Total Paid \$1,500.00

Check \$1,500.00

Change \$0.00

Receipt Number MSB91694149

7/14/2022 1:56:21 PM

Paid By JDW LC / CK 4127

Cashier Id. LACH0415

Matanuska-Susitna Borough
Planning and Land Use Department
Development Services Division
350 East Dahlia Avenue
Palmer, Alaska 99645

Re: Owner Permission Letter for Use and Occupancy of Premises at 10600 E. Max Drive, Palmer, Alaska 99645 for Smoke Out Point, LLC DBA Smoke Out Point

Dear Planning Office,

I, Scott R. Wells, hereby grant permission for Smoke Out Point, LLC DBA Smoke Out Point to lease a portion of my property located at 10600 E. Max Drive, Palmer, Alaska 99645, build and operate a marijuana retail store. I am aware that Smoke Out Point will be operating a marijuana retail store and commercially selling marijuana on this property once the application is approved by the Alcohol & Marijuana Control Board.

I, Anthony Wells, as Manager/Member of Smoke Out Point, LLC, hereby authorize Jana Weltzin, Esq. and her firm JDW, LLC to take all necessary actions to apply for and obtain one (1) conditional use permit for the operation of a retail marijuana store of the property owned by Scott R. Wells and located at 10600 E. Max Drive, Palmer, Alaska 99645.

If you have any questions regarding this correspondence, please feel free to contact us at the contact information listed on the Conditional Use Permit Application.

Sincerely,

A handwritten signature in black ink, appearing to read "Scott R. Wells", written over a horizontal line.

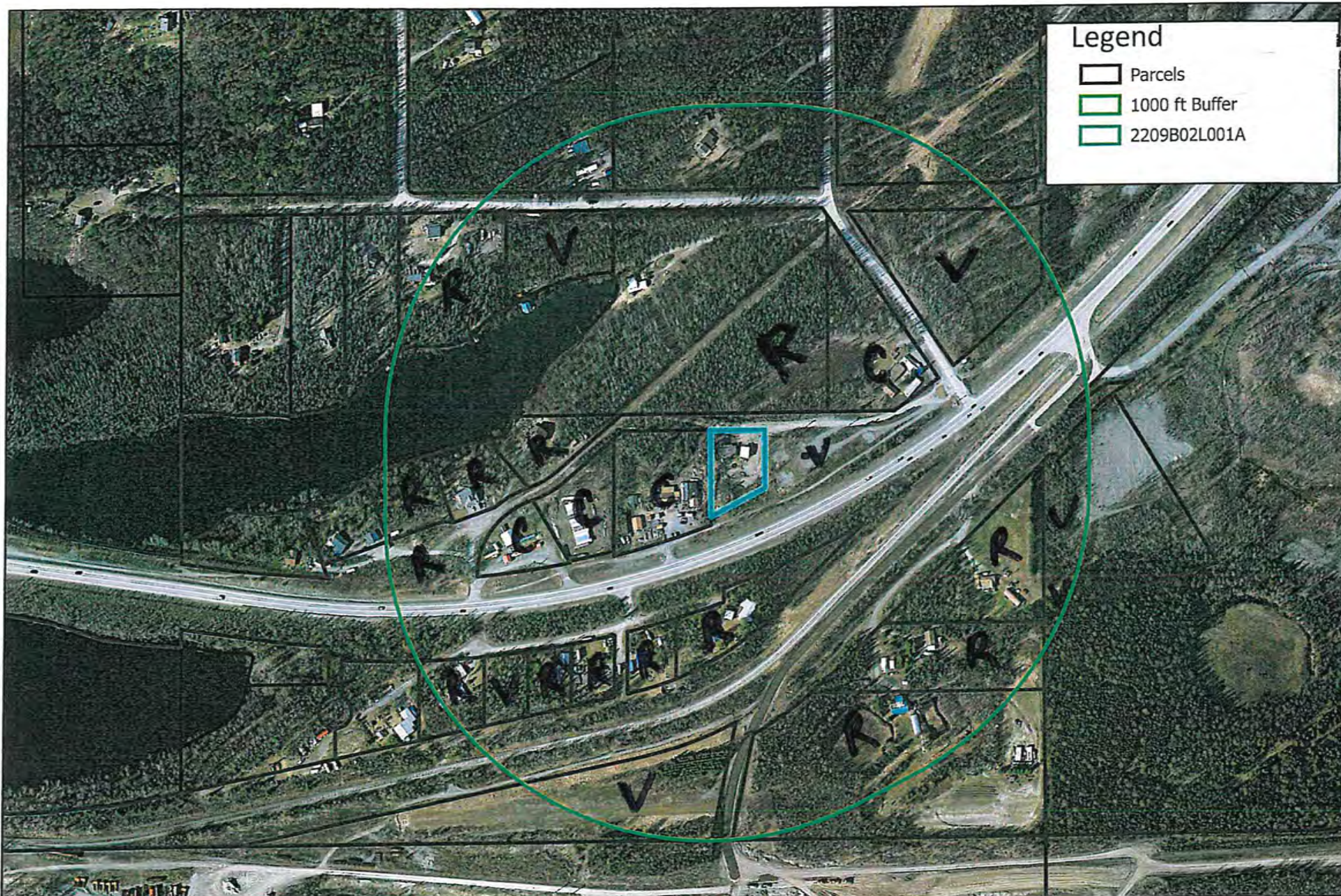
Scott R. Wells

Owner of property

A handwritten signature in black ink, appearing to read "Anthony Wells", written over a horizontal line.

Anthony Wells

Manager/Member of Smoke Out Point, LLC



Legend

Parcels

1000 ft Buffer

2209B02L001A

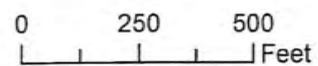
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MSB Development Services Division: 6/14/2021

1000' Buffer Map for
 2209B02L001A

C-Commercial V-Vacant
 R-Residential



From: [Rick Benedict](#)
To: [Brenda Butler](#)
Cc: [Jana Weltzin](#); [Anthony Wells](#); [Randi Baker](#)
Subject: RE: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility - Request for Additional Information
Date: Thursday, April 4, 2024 4:20:00 PM

Hi Brenda,

Thanks for the quick response. Yes, on both accounts. The compact ADA surface will be added as a COA, to be completed by 9/30/24. The hours you described are more reasonable and will also be added as a COA.

When available, get me the updated site plan, and I will add it to my package. I am moving forward with the CUP and adding it to the June 17th public hearing calendar.

Thank you,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Brenda Butler <brenda@jdwccounsel.com>
Sent: Thursday, April 4, 2024 3:25 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Cc: Jana Weltzin <jana@jdwccounsel.com>; Anthony Wells <smopshop907@gmail.com>; Randi Baker <randi@jdwccounsel.com>
Subject: Re: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility - Request for Additional Information

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick,

Looking forward to the hearing, it's been a long road for the licensee. Thank you for pointing out the missing legend, Anthony is going to contact the architect and get the legend added, we'll send it to you as soon as we get it. The ADA parking space will be a compact surface, either asphalt or concrete once the ground thaws, please add this as a condition of approval. Do you have an idea on a timeframe for the condition so Anthony can plan accordingly? As for the hours, would it be more acceptable for the retail store to open from 10am until 10pm Sunday through Thursday and 10am until Midnight Friday and Saturday? This way the retail store is considering the residents during the work week and allowing for additional hours on weekends?

Thank you

On Thu, Apr 4, 2024 at 1:21 PM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Hello Brenda,

I think we have enough complete to get this scheduled for the June 17th PC public hearing. There are a couple of issues on the updated site plan that I'd like to touch on. First, there needs to be a legend on the site plan to denote the features of the subject property.

Second, ADA parking must be a compact surface, gravel is not acceptable. Does your client intend to asphalt or pour concrete for the ADA spaces? This will have to be added as a condition of approval on the permit if not already completed.

Third, the PC may take issue with the proposed operational hours of 8am to midnight, seven days a week. The application seemed to suggest that the hours were not set yet. Because residential uses are nearby, is your client open to considering shorter operational hours?

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Brenda Butler <brenda@jdwcounsel.com>

Sent: Friday, March 29, 2024 1:08 PM

To: Rick Benedict <Rick.Benedict@matsugov.us>

Cc: Jana Weltzin <jana@jdwcounsel.com>; Anthony Wells <smopshop907@gmail.com>; Randi Baker <randi@jdwcounsel.com>

Subject: Re: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility - Request for Additional Information

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Rick,

Attached is the updated Site Plan and As-Built Survey that should address the items on the latest RFAI.

Please let us know if we can deem the CUP complete and get this application in front of the planning commission.

Thank you and Happy Friday!

On Fri, Jan 26, 2024 at 10:22 AM Brenda Butler <brenda@jdwcounsel.com> wrote:

Thank you Rick, we'll get on it.

Happy Friday!

On Fri, Jan 26, 2024 at 10:19 AM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Good Morning Brenda,

I have reviewed the updated application materials submitted on January 9, 2024. Upon review, it has been determined that additional information is required. If you or your client have any questions, please let me know.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

--

***** Please REPLY ALL when responding to this Email*****

Brenda Butler

JDW Counsel
Senior Paralegal, Notary Public
& Accounts Payable/Receivable
901 Photo Avenue, Second Floor
Anchorage, Alaska 99503
Phone: 907-231-3750
Fax: 360-483-3750
brenda@jdwcounsel.com
info@jdwcounsel.com

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Think green, please don't print unnecessarily

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From: [Brenda Butler](#)
To: [Rick Benedict](#)
Cc: [Jana Weltzin](#); [Anthony Wells](#); [Randi Baker](#)
Subject: Re: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility - Request for Additional Information
Date: Tuesday, January 9, 2024 3:55:53 PM
Attachments: [Smoke Out Point, LLC - Change to Fire Marshal plan review .pdf](#)
[CUP Retail Narrative - Updated BB.pdf](#)
[21126.00 Smoke Out Point - Palmer 7-14-2023 Arch+Struct.pdf](#)
[29874 MJ-14 approved 1.5.24.pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Rick,

Thank you for your patience with this particular application.

Please see attached email from the Fire Marshal that a new plan is not needed for the building modification, the approved MJ-14 from AMCO, the updated plan set containing the modified floor plans and revised site plan, and the updated narrative that addresses RFAI 1.b, 2.a, 4 and 5.

Please let us know if you have everything you need to deem this application complete and schedule Smoke Out Point for a Planning Commission meeting.

Have a wonderful day!

On Tue, Oct 24, 2023 at 3:23 PM Brenda Butler <brenda@jdwcounsel.com> wrote:

Hi Rick, we were unaware that anything was submitted, we have been working behind the scenes to address your second RFAI and are getting close to obtaining all the information you required.

Thank you for the communication and we look forward to getting this submitted in the near future.

On Tue, Oct 24, 2023 at 2:59 PM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Good Afternoon Brenda,

I have reviewed an updated site plan that was submitted to the MSB Development Services Division on October 11, 2023. Upon review, it has been determined that additional information is required. In addition, information requested in a previous letter emailed on May 30, 2023, was not supplied and is required. Please find attached a letter detailing the needed information.

If you or your client have any questions, please let me know. I'll be happy to set up a time to discuss this request.

Respectfully,

Rick Benedict – Planner II
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

--

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Brenda Butler

JDW Counsel
Senior Paralegal, Notary Public
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RETAIL MARIJUANA FACILITY CONDITIONAL USE PERMIT NARRATIVE

Smoke Out Point, LLC, DBA Smoke Out Point

A locally owned and operated business

Submitted: _____, 2022

Prepared by:



JDW, LLC
Jana D. Weltzin, Esq.
901 Photo Avenue
Anchorage, AK 99503
jana@jdwcounsel.com
630-913-1113
907-231-3750

On behalf of:
Smoke Out Point, LLC

Introduction:

We are pleased to introduce Anthony Wells, Manager/Member, and 100% owner of Smoke Out Point, LLC DBA Smoke Out Point, located in the beautiful Matanuska-Susitna Borough. Anthony Wells was born in Olympia Washington to Scott and Tammy Wells. When Anthony and his two brothers were children, they moved to Alaska and made it their home. Anthony attended School in Anchorage and Palmer and has lived in Palmer, in the same home since the age of 6. Anthony works with his father doing handyman work in the Matanuska-Susitna Borough and in the Municipality of Anchorage. Anthony has been married to Nikita Wells since 2013 and together the couple has a three-year-old son, who they look forward to raising in the Palmer area. Anthony's hobbies include hunting, fishing, exploring Alaska, and showing his son all the exciting things Alaska has to offer.

Required attachments for a marijuana retail facility conditional use permit narrative:

Is the conditional use compatible with and will it preserve or not materially detract from the value, character, and integrity of the surrounding area?

✓ The proposed use is compatible with adjacent properties and fits succinctly into the area as there is a mix of uses in the area – the area consists of primarily larger lots that house commercial uses and some residential uses. The property faces the Glenn Highway and is situated for commercial use. The entire retail licensed area, including the office space, will be housed in a 40' x 60' building totaling 2,400 sq. feet. The proposed use fits into the harmony of the surrounding uses both in size and design. The facility is located on a 0.86-acre parcel located in the Bradley Lk #2 RSB B/2 Subdivision of the Matanuska-Susitna Borough. The surrounding area of the property is bordered by a mixture of vacant lands, light commercial use, and residential homes. Therefore, the proposed use will not detract from the character, value, and integrity of the surrounding area, however, the applicant is aware of the residential uses nearby, and will take extra care to be responsive to neighbors if any concerns arise regarding the commercial nature of this proposed use. The facility will not produce any undue noise pollution and has an odor control method in place. It is not expected that the retail facility will generate smell, but regardless the retail will have odor controls. Exterior lights will be installed downward facing to ensure mitigation of light pollution. This retail facility will be operated by a knowledgeable licensee who has done extensive research, has many friends in the industry that have provided invaluable advice, and who lives in the Valley, and will ensure that this use does not detract from the value, character, and integrity of the surrounding area. The neighboring uses that face the Glenn Highway include Matanuska Farm Market, Myron Rosenberg Photography Gallery, and Bill's Country Antiques, commercial uses and both immediate neighbors; and directly across the Glenn Highway is an industrial gravel pit.

✓ The applicant will ensure that the proposed use will not emit odor, will not produce excess dust, will have limited noise, and will have sufficient parking and loading in order to cut down on traffic generation in front of the premises and on the street thus fitting in with adjacent property uses. During meetings with the Gateway Community Council, a few community members stated

that there are folks that drive too fast in the area already and asked for Anthony and his team to provide assurances that the retail shop will not increase folks speeding in the area. Anthony committed to exterior signage in the parking area and driveway area that remind patrons to be cautious when exiting and to drive slow in the area. As detailed in the attached site plan, there will be ample parking available with room for turning and maneuvering and will have appropriate accessibility spaces under the Americans with Disabilities Act.

✓ The facility will be equipped with a 24-hour monitoring alarm system, exterior lighting, and video surveillance. All entrances are secured by commercial locking mechanisms and video surveillance to capture individuals within 20 feet. Inside the licensed premises, video surveillance will cover all areas of the facility (except for the bathroom) 24/7 (which is stored for a minimum of 40 days) to monitor and identify all activity. Customers must have their identification checked immediately upon entering the marijuana store. All customers will be observed for signs of impairment to ensure that Smoke Out Point does not sell marijuana and marijuana products to a person that is already intoxicated.

✓ In the event a non-employee/agent of the company needs to go into a restricted access area, the company visitor policy will be adhered to. A visitor will need to show their valid photo identification, and obtain a visitor badge, to be worn and clearly always displayed while visiting the restricted access areas. All visitors must be pre-approved by the Licensee or management (with the exception of AMCO agents, and law enforcement) - there should be no un-scheduled and unexpected visitors. To maintain the security of the facility and all marijuana products, access to the facility will always be monitored and restricted. Access will only be granted to employees and licensees, AMCO agents, law enforcement, and the limited exception of scheduled pre-approved visitors. Additionally, Smoke Out Point's exterior signage will indicate that any members of the public are not allowed unescorted access and will be clearly displayed on the door. Distinct and apparent cameras will be placed throughout and around the facility to encourage people to not attempt access.

Will the granting of the conditional use permit be harmful to public health, safety, convenience, and welfare?

✓ No. Smoke Out Point's retail establishment has a security system and plan, diversion control policies, and loitering check plan for the retail facility.

✓ The facility is a commercial retail facility and will only allow access to those who are at least 21 years of age or older. No persons will be allowed access to any marijuana or marijuana products at any time, unless under direct supervision of a Smoke Out Point licensee or employee, as all marijuana and marijuana product must be stored in the restricted access area as per AMCO regulations. There is no onsite consumption allowed at this retail establishment – and no customers will be allowed to consume in their vehicles in the parking lot. A Smoke Out Point employee shall be doing regular parking lot and perimeter checks throughout the day, every hour or so, to ensure

no persons are loitering and to ensure no customers are consuming products on the property and/or in their vehicles.

✓ All marijuana and marijuana products will be displayed in locked display cabinets for customers to view. The area behind the cabinets will be a restricted access area and signage will be displayed accordingly. Employees will open the cabinet from within the restricted access area and place the product into exit packaging at the cash register before handing it to the customer. Once a customer's transaction is complete, they will be instructed by an employee to exit the store as shown in the premises diagram.

✓ In order to ensure Smoke Out Point will only allow access to persons over the age of 21, the retail establishment will check the ID of every person attempting to enter the retail store. Anyone under the age of 21 or who does not produce a valid form of photo ID issued by a federal or state agency authorized to issue ID cards will be asked to leave the premises. Any employee checking ID's will have a valid marijuana handler permit and be trained to recognize altered/forged photo ID's.

Additional protections to ensure the prevention of any negative impact on the public health, safety, convenience, and welfare:

✓ The facility will be equipped with a 24-hour monitoring alarm system, bright prominent exterior lighting, and video surveillance. All entrances are secured by commercial locking mechanisms and video surveillance to capture individuals within 20 feet. Inside the licensed premises, video surveillance will cover all areas of the facility (with the exception of the bathroom) 24/7 (which is stored for a minimum of 40 days) to monitor and identify all activity. All visitors must be preapproved by the licensee or a manager (with the exception of AMCO agents, and law enforcement). To maintain the security of the facility and all marijuana products, access to the facility will always be monitored and restricted. Access will only be granted to employees and licensees, AMCO agents, law enforcement and the limited exception of scheduled pre-approved visitors and those customers over the age of 21. Distinct and apparent cameras will be placed throughout and around the facility to encourage people to not attempt unauthorized access.

✓ On-site video surveillance will continuously monitor all areas of the premises where marijuana is present, including areas where marijuana packaged, sold, and stored. Employees will perform mandatory inventory counts each week, check counts against METRC records, and document the reports as official business records. Smoke Out Point will not tolerate any theft and diversion, and all employees will complete mandatory training in recognizing such activity. Smoke Out Point's licensee and management understand that diversion can happen in two ways - inversion and diversion - and is equally profitable diverting product out of the legal system as it is diverting product from the illegal system into the legal market. In the event that an employee is caught stealing marijuana, OR infusing the facility with non-regulated black-market product, Smoke Out Point will notify local law enforcement immediately, comply with all directives, and provide all necessary information and records for the investigation. The Licensee will take the

necessary steps to ensure that illegal conduct by an employee does not compromise the facility's license and legitimate business operations. Once a theft is reported, the Licensee or a manager will update the product records in the tracking system, as needed, to maintain an accurate and comprehensive accounting for all marijuana products and inventory. The Licensee and manager will comply with all inquiries and investigations lodged by AMCO as a result. Documentation related to marijuana theft will be maintained as a business record for five (5) years and made available to AMCO upon request. Video recordings will be stored for forty (40) days. Cameras will provide a full view of the entryway, retail sales area, point of sale system and cash registers, safes, money counting areas, and marijuana/marijuana product storage areas. Security monitors and video recording equipment will be located onsite.

✓ Qualified candidates will be hired on a probationary period during which time they will receive training and evaluation specific to their position. Training will include marijuana industry trends; customer care; food handling; safety precautions and procedures; legal issues; and state and federal regulations. Training will be refreshed as needed, as well as when new regulations or products are introduced. Employees will be required to demonstrate their knowledge of these concepts before their training will be considered complete. Informative packets will be provided to employees and supplemented/updated as needed. These packets will cover; Marijuana cannabinoids; strain ratios; marijuana benefits and risks; local community concerns to address, general Alaska marijuana law; employment regulations; store policies; security and safety procedures; measures for the prevention of diversion, inversion and theft; recognizing forged, altered, or invalid identification, as well as signs of intoxication; in-depth information about job duties and responsibilities; response procedures for robberies, earthquakes, and other emergencies; statutes regarding confidentiality. Employees will receive semi-annual performance evaluations to ensure that they have retained their training information, and the store remains compliant. As proper safety and security procedures are of the utmost importance to Anthony, the most up-to-date reading materials will always be available to employees. Prior to beginning work, employees will be expected to understand: (1) Alaska laws, regulations, and codes governing the marijuana industry and marijuana establishments; (2) all of the permitting requirements to act as a marijuana handler (including obtaining a Marijuana Handler card from a state approved course provider prior to commencing employment) and to work in a marijuana establishment; (3) Smoke Out Point standards, operational protocol, and best practices with regard to retail and sale of marijuana; (4) general safety procedures and security protocol; (5) how to think defensively if threatening situations occur, and how to recognize the signs of impairment, drug abuse, and instability; (6) in-depth information about our particular strains and marijuana related products; (7) in-depth information on the requirements of each room, task, and system; (8) the general federal, state, and local employment regulations by which Smoke Out Point, is governed; and (9) retail-specific education. To ensure full coverage for each position, all employees will be cross trained on the requirements of each job.

✓ Smoke Out Point will have a "No Loitering" sign clearly posted on the exterior of their facility. If an employee suspects that a person is loitering outside the licensed premises, they will

be given a verbal warning that law enforcement will be notified and asked to leave the premises. Trained employees will maintain regular periodic checks around the property to deter any unauthorized entrance or loitering around the facility. Bright lighting (downward facing to avoid causing light pollution) on the exterior of the facility will assist in deterring loitering, vandalism, and unauthorized access to the premises. Bright, prominent lighting will be installed all around the exterior of the building to facilitate high-quality video surveillance. Lighting will be frequently checked by an employee to ensure that all fixtures are fully operational. An employee will also check surveillance footage to ensure that lighting is adequate to prevent dark spots and capture the best facial image of every person who approaches the facility. If there are any issues with the quality of the surveillance capture, the lighting will be calibrated and/or additional lighting will be installed. All outdoor lighting and light poles will be shielded to protect against inclement weather and vandalism. The shielding will also prevent light pollution on the surrounding properties by directing light downwards.

✓ The facility's architectural design incorporates downward lighting that will project light onto the building and downward. The alarm system will monitor for intrusions with motion detectors on the facility windows, entrance and exits, including emergency exits on the west side of the licensed facility, restricted access area which includes secured storage, the upstairs offices and storage areas during closed hours. Live security footage will also be accessible to Anthony and a manager via their cellular phones, so they may keep an eye on the facility even when they are away. Any unauthorized or attempted intrusion will prompt an automatic, electronic alert to the security company who will then contact local law enforcement and ownership. All alarm systems and devices will be tested every six (6) months.

Are there sufficient setbacks, lot area, buffers, and other safeguards being provided?

✓ As described above, Smoke Out Point is located within a 0.86-acre parcel. This application and the layout of Smoke Out Point meet the required setbacks, buffers, and lot area. The entire retail operation is enclosed in a commercial-grade building. One small existing building on the parcel has been demolished and the larger buildings demolition is in progress. Smoke Out Point had to remove a small portion of the Southeast corner of the building to meet setback requirements. The removal of the corner was completed on October 26th, 2023.

✓ There will be plenty of onsite parking developed on the site for this use.

✓ The facility has incorporated measures to reduce the negative effects it may have on the surrounding properties including but not limited to natural landscaping screening, and an inconspicuous Tan/Beige, modern-commercial architectural design to enhance the appearance of the facility on E. Max Drive. Smoke Out Point has cleared the section where the new retail store will be located and has incorporated landscaped grassy areas in the front and side areas of the new retail store.

✓ The facility will not produce any noise pollution and has an odor control method in place.

A robust security plan and no loitering policy will be implemented and thoroughly communicated to all employees. Additional safeguards include the following:

✓ The lighting fixtures will be positioned at an inaccessible height with sturdy housings to deter vandalism and common obstructions. The bulbs will be extremely bright to maximize visibility and deter crime. The exterior lighting will be checked daily by the licensee, manager on duty, or a designated employee to ensure that each light in the system is operational and that each mount is positioned for optimum recording clarity and to deter unauthorized presence on the premises. The building's architectural design incorporates downward lighting into the canopies that will project light onto the building in a downward direction to prevent light from encroaching on neighboring properties or right of ways.

✓ A third-party security company will install the alarm system and monitor the electronic notifications in the event the alarm is triggered 24/7. The installation company will periodically come and check and maintain the equipment.

Does the conditional use fulfill all other requirements of MSB Chapter 17.60 pertaining to the conditional use of this section?

✓ Yes.

Describe measures being taken to prevent potential negative effects upon other properties in the area due to such factors as noise and odor.

✓ The proposed use will have limited noise compared to adjacent properties. Smoke Out Point does not anticipate any noise to come from the retail facility, and if any noise is to be produced it will be comparable to surrounding land uses. The roads that serve the facility and surrounding uses do not appear to be used currently to their maximum capacity, therefore, any increase in traffic flow on the roads serving the area will be sufficient to serve the area with this new proposed retail use.

✓ Anthony will abide by a strict no odor policy per MSB 17.60.150(A)(1) that will ensure no odor is detectable by the public from outside the facilities. This use is a retail establishment and should not have any issues with odor seeping out from the retail to the outside air. However, in an abundance of caution, odor control methods will be utilized and will consist of a number of methods meant to eliminate odors by utilizing methods including sealed containers and air sanitizers throughout the building and when transporting marijuana to/from the premises. All marijuana at the retail facility will be either pre-packaged in smell-proof packaging for sale, or in deli-style enclosed jars that are only opened to take the product out for sale to a customer and are repackaged prior to exiting the facility, or in enclosed jars in small amounts for customers to smell.

Describe how use is compatible with the character of the surrounding area.

✓ The facility is compatible with the character of the surrounding area as it borders on a sufficient parcel of land, parcels that have yet to be developed, other existing businesses, off of E. Max Drive, and residential homes in the heavily wooded area nearby. There are also some vacant

land parcels in the vicinity that have yet to be developed. The character of the surrounding parcels and uses are a good fit for a retail facility.

Current status of State License Application Process.

✓ The Application was submitted to AMCO on August 12, 2021. It was approved with delegation by the Marijuana Control Board at the April 2022 control board meeting in Anchorage.

Misc. Items and Information.

Please see attached parking layout diagram, which complies with MSB 17.60.170(B)&(C).

Proposed hours of operation for the retail store shall be 8 am to 12 am Monday-Sunday, however, that is the max hours of operation that the store will be open, and the store will likely have reduced hours on certain days, depending on customer demand.

The number of employees on-site for the retail will be between 2-3, depending on the customer flow and shifts.

Smoke Out Point has been reviewed and approved by the State Fire Marshal – see the certificate of approval and updated communication regarding the removal of the Southeast corner of the proposed retail marijuana store.

AMCO has approved the removal of the Southeast corner of the proposed retail marijuana store - see attached MJ-14.

The logo for the store is understated and simple shows an Alaskan mountain range with the big dipper over the peaks of the mountains and the name of the store “Smoke Out Point” under the imagery. Smoke Out Point will have one free-standing Metal, aluminum and fiberglass 5'2"W x 7'7"L sign as indicated on the Site Plan and may, in the future have up to two signs on the exterior of the facility. The sign will be back-lit during operating hours and off during closed hours.



Thank you for your dedication to the Community and for your thoughtful consideration of this conditional land use application.



Jana D. Weltzin
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March 16, 2023

Matanuska Susitna Borough
Planning Department
Sent Via Email

Re: Response to request for Additional information – Smoke Out Point, LLC.

Peggy Horton, MSB Planner II:

Thank you for your correspondence dated June 21, 2022, we appreciate your patience. Please find the following attachments and/or statements to address your request for additional information:

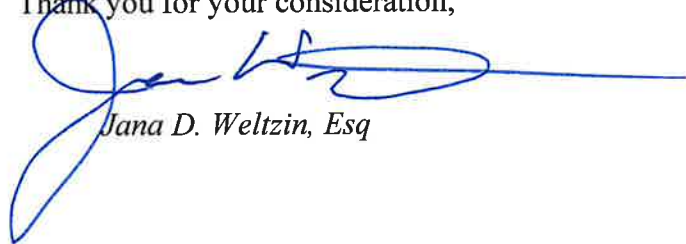
1. The owner does not know of any previous commercial use of the property.
2. A temporary commercial driveway permit has been obtained; a copy of the conditional letter has been submitted, However, regarding the conditional approval letter, we have communications from MEA that clearly indicates that the power pole is on MSB property and Anthony Wells does not have the authority to arrange the move of said power pole, that request would have to come directly from the Borough (see attached JDW Email and C29230 Max Drive email communication from MSB).
3. E. Max Drive is a public road that is not maintained by the borough. Anthony and his father have received permission from the MSB to maintain the road to the standard that the road is. Anthony fills potholes, performs snow removal during the winter months and intends to continue to do so. Upgrades to the road will be limited to; culvert installation during driveway upgrade which is outlined in the driveway permit application.
4. The site plan has been updated and submitted.
5. Floor plan has been submitted.
6. Page 3, last paragraph, second sentence has been updated to clarify the sentence “No persons will be allowed access to any marijuana or marijuana products at any time.” as per AMCO regulations, marijuana and marijuana products must be in a restricted access area and NOT accessible to the public without being under direct supervision of a Smoke Out Point licensee/employee to ensure that there is no diversion of marijuana or marijuana product from the retail store.
7. Page 5, first paragraph has been updated, this was an error and there is no growing of marijuana on the premises.
8. Page 6, second paragraph alarm system verbiage has been updated for clarity.



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9. Page 6, fifth paragraph has been updated to further describe landscaping, design, and measures the applicant is taking to reduce negative effects upon adjacent property etc.
10. Same paragraph has been updated for clarity regarding E. Max Drive not having negative effects that impacts this property.
11. Light poles will not be part of this project. Reference to light poles has been removed from the narrative.
12. Page 7, under "Describe how use is compatible..." misidentified the main highway and has been corrected.
13. Page 8, fourth paragraph. A copy of the Logo has been submitted, sign dimensions and location on exterior of the building has been added to the narrative, the stand-alone signpost has been added to the site plan, lighting is not planned for any of the signs.
14. Smoke Out Point does not plan for outdoor business functions outside of the retail store other than loitering checks, trash checks and odor checks.

Thank you for your consideration,



Jana D. Weltzin, Esq



Brenda Butler <brenda@jdwcounsel.com>

Smoke Out Point, LLC - Change to plan review question

Squires, Carie A (DPS) <carie.squires@alaska.gov>
To: Brenda Butler <brenda@jdwcounsel.com>

Mon, Jan 8, 2024 at 10:09 AM

Good Morning Brenda,

Thank you for providing the updated building layout for the Smoke Out Point building. In review of the updated plans a new plan review from our office is not required.

Carie Squires

Plan Review Bureau

Division of Fire & Life Safety

Carie.Squires@alaska.gov

907-269-2004

[Home - PRB - Fire - Alaska Department of Public Safety](#)

<https://dps.alaska.gov/Fire/PRB/Home>

From: Brenda Butler <brenda@jdwcounsel.com>
Sent: Friday, January 5, 2024 10:30 AM
To: Squires, Carie A (DPS) <carie.squires@alaska.gov>
Subject: Smoke Out Point, LLC - Change to plan review question

You don't often get email from brenda@jdwcounsel.com. [Learn why this is important](#)

CAUTION: This email originated from outside the State of Alaska mail system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

[Quoted text hidden]

State of Alaska
Office of the State Fire Marshal
Plan Review

This is to certify that the plans for this building were reviewed by the *State Fire Marshal* on October 05, 2021 for conformance with AS 18.70.010 -- 100; 13 AAC 50.027.

This certificate shall be posted in a conspicuous place on the premises named Smoke Out Point (10600 E. Max Dr.) and shall remain posted until construction is completed.

NOTICE: Any changes or modifications to the approved plans **must** be resubmitted for review by the *State Fire Marshal*.

Plan Review #: **2021Anch1557**

By: 

Authority: AS 18.70.080

Form: 12-741

(6/01)

Full Plan Review

Greg Medina
Plans Examiner



THE STATE
of **ALASKA**
GOVERNOR MICHAEL J. DUNLEAVY

**Department of Commerce, Community,
and Economic Development**

ALCOHOL & MARIJUANA CONTROL OFFICE

550 West Seventh Avenue, Suite 1600
Anchorage, AK 99501
Main: 907.269.0350

April 21, 2022

Smoke Out Point, LLC
DBA: Smoke Out Point
Via: smopshop907@gmail.com

Re: Smoke Out Point #29874

Dear Smoke Out Point, LLC:

At the April 13-14, 2022 meeting of the Marijuana Control Board in Anchorage, Alaska, the board voted to approve your new Retail Marijuana Store application with delegation to the director. Delegation means that the board has authorized me to issue the license once all outstanding approvals are received.

Attached are post-approval instructions and the pre-inspection checklist, which provide information on your next steps. Please note that the pre-inspection checklist is informational. You will be provided with an individualized checklist at the appropriate time.

Please contact marijuana.licensing@alaska.gov with any questions.

Sincerely,

A handwritten signature in blue ink that reads "Carrie Craig".

Carrie Craig
Records and Licensing Supervisor

cc: License File
Matanuska-Susitna Borough

Department of Commerce, Community, and Economic Development
ALCOHOL & MARIJUANA CONTROL OFFICE

[State of Alaska](#) / [Commerce](#) / [Marijuana](#) / [License Search](#) / License #29874

LICENSE NUMBER 29874

[Return to Search Results](#)

License Number: 29874

License Status: Delegated

License Type: Retail Marijuana Store

Doing Business As: Smoke Out Point

Business License Number: 2131856

Issue Date:

Effective Date:

Expiration Date:

Email Address: smopshop907@gmail.com

Physical Address: 10600 E. Max Drive
Palmer, AK 99645
UNITED STATES

Licensees: Smoke Out Point, LLC [10163459](#)

Entity Officials: Anthony Wells

Onsite Consumption Endorsement

Status:

Approval Date:

Issue Date:

Effective Date:



POST-APPROVAL INSTRUCTIONS FOR MARIJUANA RETAIL STORES

The following steps are to be taken after your application for a marijuana retail store license has been approved by the board. You may not operate your business until the following requirements have been met.

1. When all other approvals (Local Government, Fire Marshal, DEC, etc.) have been met, you will be contacted by this office to notify you that your license status has been changed to "active-pending inspection" in our database. This doesn't mean you can open your doors or start operating your business. The status change is a necessary step so that you may be credentialed into METRC.
2. You, the licensee, must have your marijuana handler permit. All licensees, affiliates, agents, and employees (see 3 AAC 306.700(a)) must have their handler permit at the time of inspection.
3. You, the licensee, must take a METRC training class and pass the test.
<https://www.metro.com/alaska>
4. Once you have passed the METRC test, place a request to the METRC Support Team to be credentialed into METRC.
5. Set up your facility in METRC and order labels. The labels should take 4-5 days to arrive.
6. When you have access to METRC, contact AMCO investigators at AMCO.enforcement@alaska.gov to schedule your initial "empty shelf" inspection. Don't schedule an initial inspection unless you are within two weeks from being 100% ready to operate your business. Review the pre-inspection checklist and be sure that you will have completed all items by the time of your inspection. Do not bring any marijuana into the facility before your initial inspection. AMCO staff will place your account in METRC on an administrative hold until the inspection. Depending on your location, it may be two weeks before an inspection can be performed due to state travel restrictions.
7. On the day of your inspection, the investigator will bring your license. If your facility matches what you've submitted to the board and all requirements are in place, you will receive your license, the administrative hold will be removed from METRC, and an "effective date" will be added in our database.
8. After the hold in METRC is removed, you may begin ordering and transporting marijuana and marijuana products from licensed cultivation and product manufacturing facilities. AMCO investigators will visit again to take a look at your store with marijuana and marijuana products in place.
9. Congratulations, you are now operating a marijuana retail store license in the State of Alaska!



Alaska Marijuana Control Board

Form MJ-21: Pre-Inspection Checklist

Why is this form needed?

This pre-inspection checklist form is for your reference to ensure that your marijuana facility is in compliance with all of the following security and basic operating requirements prior to your inspection. **Please complete all checklist items before requesting your inspection.** If you have any questions regarding this checklist, please contact AMCO enforcement at amco.enforcement@alaska.gov.

Compliance with these checklist items and all statutes and regulations is mandatory before your license will be issued.

Doing Business As:		Date:	
License Type:		City:	
Licensee:		License Number:	

Section 1 – All Marijuana Establishments

	COMPLETED
Surveillance System: A video surveillance and camera recording system shall be installed, maintained, and operating with a camera resolution that allows for clear and certain identification of any person and activity in the area at all times.	
a.) Required video cameras must be placed in a way that produces a clear view adequate to identify any individual inside the licensed premises or within 20 feet of each entrance to the licensed premises. Both the interior and exterior to the facility must be recorded.	
b.) The video system must cover each restricted access area (to include each entrance to a restricted area). Any area where marijuana is grown, cured, manufactured, or where marijuana waste is destroyed must have a camera placement in the room facing the entry door, and in adequate fixed positions, at a height that will provide a clear, unobstructed view of the regular activity without a sight blockage from lighting hoods, fixtures, or other equipment, in order to allow for clear and certain ID of any person or activity at all times.	
c.) Surveillance recording equipment and video surveillance records must be housed in a locked and secure area or in a lock box, cabinet, closet or other secure area that is accessible only to the licensee or authorized employee, and to law enforcement personnel including a peace officer or agent of the board. A marijuana establishment may use an offsite monitoring service and offsite storage of video surveillance records if security requirements at the offsite facility are at least as strict as the onsite security requirements.	
d.) Recordings must be preserved for a minimum of 40 days, in a format that can be easily accessed for viewing. All recorded images must accurately display the date and time, and must be archived in a format that does not permit the alteration of the recorded image, so that the images can be readily authenticated. After 40 days, a marijuana establishment may erase video recordings, unless the licensee knows or should know of any pending criminal, civil, or administrative investigation for which the video recording may contain relevant information.	

**Form MJ-21: Pre-Inspection Checklist**

	COMPLETED
Alarm System: A security alarm system is required on all exterior doors and windows. Motion detectors in every room with non-opening windows are required.	
Locks: Commercial grade, non-residential door locks on all exterior entry points to the licensed premises.	
Lighting: Exterior lighting must facilitate surveillance.	
Marijuana Handler Permit: All licensees and employees must have a valid permit.	
Facility Identification Cards: Each licensee, employee, or agent shall display an identification badge issued by the establishment at all times when on the licensed premises. Marijuana handler cards DO NOT satisfy this requirement.	
Restricted Access Areas: A marijuana establishment shall restrict access to any part of the licensed premises where marijuana or marijuana product is grown, processed, tested, stored, or stocked.	
a.) Each entrance to a restricted access area must be marked by a sign that says “Restricted access area. Visitors must be escorted.” The sign must use this exact phrase, no variations will be accepted.	
b.) Ensure that any marijuana at the licensed premises cannot be observed by the public from outside. The premises must not emit an odor that is detectable by the public from outside the premises, except as allowed by a local government conditional use permit process.	
Certified Scales: A marijuana establishment shall use certified scales in compliance with AS 45.75.080, the Alaska Weights and Measures Act. A marijuana establishment shall maintain registration and inspection reports of certified scales; and upon request by the board or the director, provide a copy of the registration and inspection reports of the certified scales to the board or the director for review.	

Section 2 – Credentialed into Inventory Tracking System

	COMPLETED
A marijuana establishment shall use a marijuana inventory tracking system capable of sharing information with the system the board implements to ensure all marijuana cultivated and sold in the state, and each marijuana product processed and sold in the state, is identified and tracked from the time the marijuana is a seed or cutting to a completed sale of marijuana or a marijuana product, or disposal of the harvest batch of marijuana or production lot of marijuana product.	

Section 3 – Cultivation Facilities Only

	COMPLETED
A marijuana cultivation facility shall conduct any marijuana growing operation within a fully enclosed secure indoor facility or greenhouse with rigid walls, a roof, and doors. Where not prohibited by local government, outdoor production may take place in non-rigid greenhouses, other structures, or an expanse of open or cleared ground fully enclosed by a physical barrier. To obscure public view of the premises, outdoor production must be enclosed by a sight obscuring wall or fence at least six feet high.	
Plants/Seeds: At the time of your initial inspection you must be in compliance with the following guidelines.	
a.) Plants over 8 inches- Tracked by plant tag <ul style="list-style-type: none">12 mother plants (non-flowering plants of any size) taggedAny number of immature plants no taller than 18 inchesAll tagged correctly and in-line with training from METRC. Tags attached on first fastener around the “trunk” and above first branch after plant is able to support the tag.	



Form MJ-21: Pre-Inspection Checklist

b.) Plants under 8 inches- Tracked by batch <ul style="list-style-type: none">• Strain-specific batches with up to 50 plants• Unlimited number of batches• Batches should be in rows and columns for ease of verifying numbers	
c.) Seeds – Tracked by package tag <ul style="list-style-type: none">• Strain-specific packages by count or by weight• Unlimited number of packages	

Section 4 – Signature & Acknowledgement

Licensee must initial and sign:

Initials

I understand that if I do not pass my preliminary inspection, a \$500 fee for a second or subsequent inspection may be assessed under 3 AAC 306.100(h). The fee applies to an inspection requested after a marijuana establishment fails a preliminary inspection and is not issued a license. The director may waive the fee upon submission of a written request. The \$500 fee is required before the 2nd Inspection is scheduled.

☐

I understand the information on the pre-inspection checklist and have received information on the above subjects, and I am aware I must become familiar with and abide by the laws covering the licensing and operation of my business as prescribed in AS 17.38 and 3 AAC 306. I understand I am responsible to operate my business in compliance with all Alaska laws and regulations.

☐

I hereby certify that I am the person herein named and subscribing to this application and that I have read the complete application, and I know the full content thereof. I declare that all of the information contained herein, and evidence or other documents submitted are true and correct. I understand that any falsification or misrepresentation of any item or response in this application, or any attachment, or documents to support this application, is sufficient grounds for denying or revoking a license/permit. I further understand that it is a Class A misdemeanor under Alaska Statute 11.56.210 to falsify an application and commit the crime of unsworn falsification.

☐

Signature of licensee

Date

Printed name of licensee



Alaska Marijuana Control Board

Form MJ-14: Licensed Premises Diagram Change**Why is this form needed?**

This licensed premises diagram change form is required for all marijuana establishment licensees seeking to alter the functional floor plan or reduce or expand the area of the establishment's existing licensed premises.

The required \$250 change fee may be made by check, cashier's check, or money order.

This form must be completed and submitted to AMCO's Anchorage office prior to altering the existing floor plan, and along with an initiated application for an Onsite Consumption Endorsement if applicable. The licensed premises may not be altered unless and until the application has been approved by the board.

Section 1 – Establishment Information

Enter information for the business seeking to be licensed, as identified on the license application.

Licensee:	Smoke Out Point, LLC	MJ License #:	29874		
License Type:	Retail Marijuana Store				
Doing Business As:	Smoke Out Point				
Premises Address:	10600 E Max Drive				
City:	Palmer	State:	Alaska	ZIP:	99645

Section 2 – Required Information

For your security, do not include locations of security cameras, motion detectors, panic buttons, and other security devices.

The following details must be included:

- ☐ License number and DBA
- ☐ Legend or key
- ☐ Color coding
- ☐ Dimensions
- ☐ Labels
- ☐ True north arrow
- ☐ Surveillance room
- ☐ Licensed premises boundary
- ☐ Restricted access areas
- ☐ Storage areas
- ☐ Entrances, exits, and windows
- ☐ Walls, partitions, and counters
- ☐ Any other areas that must be labeled for specific license types
- ☐ Serving area**
- ☐ Employee monitoring area**
- ☐ Ventilation exhaust points, if applicable**

Items marked with a double asterisks (**) are only required for those retail marijuana establishments that are submitting the MJ-14 form in conjunction with an onsite consumption endorsement application.

**Form MJ-14: Licensed Premises Diagram Change****Section 3 – Summary of Changes**

Provide a summary of the changes for which you are requesting approval. For Cultivation licenses: describe the size of the space(s) the marijuana cultivation facility intends to be under cultivation, including dimensions and overall square footage. Provide your calculations below:

Smoke Out Point would like to make the following changes:

- Update premises licensed premises to account for the removal of a 3' section of the building to meet MSB set back requirements
- Move the access points of the retail sales counter restricted access area
- Move 6 month business record storage and video surveillance and recording equipment storage from Office #2 to Office #1
- Remove the utility closet and the janitor closet from the restricted access area
- Restrict the employee breakroom
- Restrict the second floor

Section 4 – Declarations

Read each statement below, and then sign your initials in the corresponding box to the right [if applicable]:

Initials

If a local building permit is required, I have attached a copy of it to this form.

AD W

The proposed changes conform to all applicable public health, fire, and safety laws.

AD W

I have included a title, lease or other documentation showing sole right of possession to the additional area(s) if the additional area(s) are not already part of my approved licensed premises.

AD W

I hereby certify that I am the person herein named and subscribing to this application and that I have read the complete application, and I know the full content thereof. I declare that all of the information contained herein, and evidence or other documents submitted are true and correct. I understand that any falsification or misrepresentation of any item or response in this application, or any attachment, or documents to support this application, is sufficient grounds for denying or revoking a license/permit. I further understand that it is a Class A misdemeanor under Alaska Statute 11.56.210 to falsify an application and commit the crime of unsworn falsification.

AD W

Anthony Wells

Printed Name of licensee

DocuSigned by:

4037CF44C27446D

Signature of licensee



Alaska Marijuana Control Board

Form MJ-14: Licensed Premises Diagram Change

Section 5 – Approvals

Local Government Review is required to be completed before submission to the Alcohol and Marijuana Control Office.

Local Government Review (to be completed by an appropriate local government official):

Yes No Pending

The proposed changes shown on this form conform to all local restrictions and laws.

☐ ☐ ☒

A local building permit is required for the proposed changes.

☐ ☒ Pending Application

A conditional use permit from the MSB has not been obtained.

12/12/23

Signature of local government official

Building Permit # N/A

Date

Rick Benedict

current Planner

Printed name of local government official

Title

Section 6 – AMCO Review

AMCO Review:

Approved Disapproved

Signature of AMCO Enforcement Supervisor

Signature of Director

Approved



James Hoelscher 1/4/2024

Joan M. Wilson

1/5/24

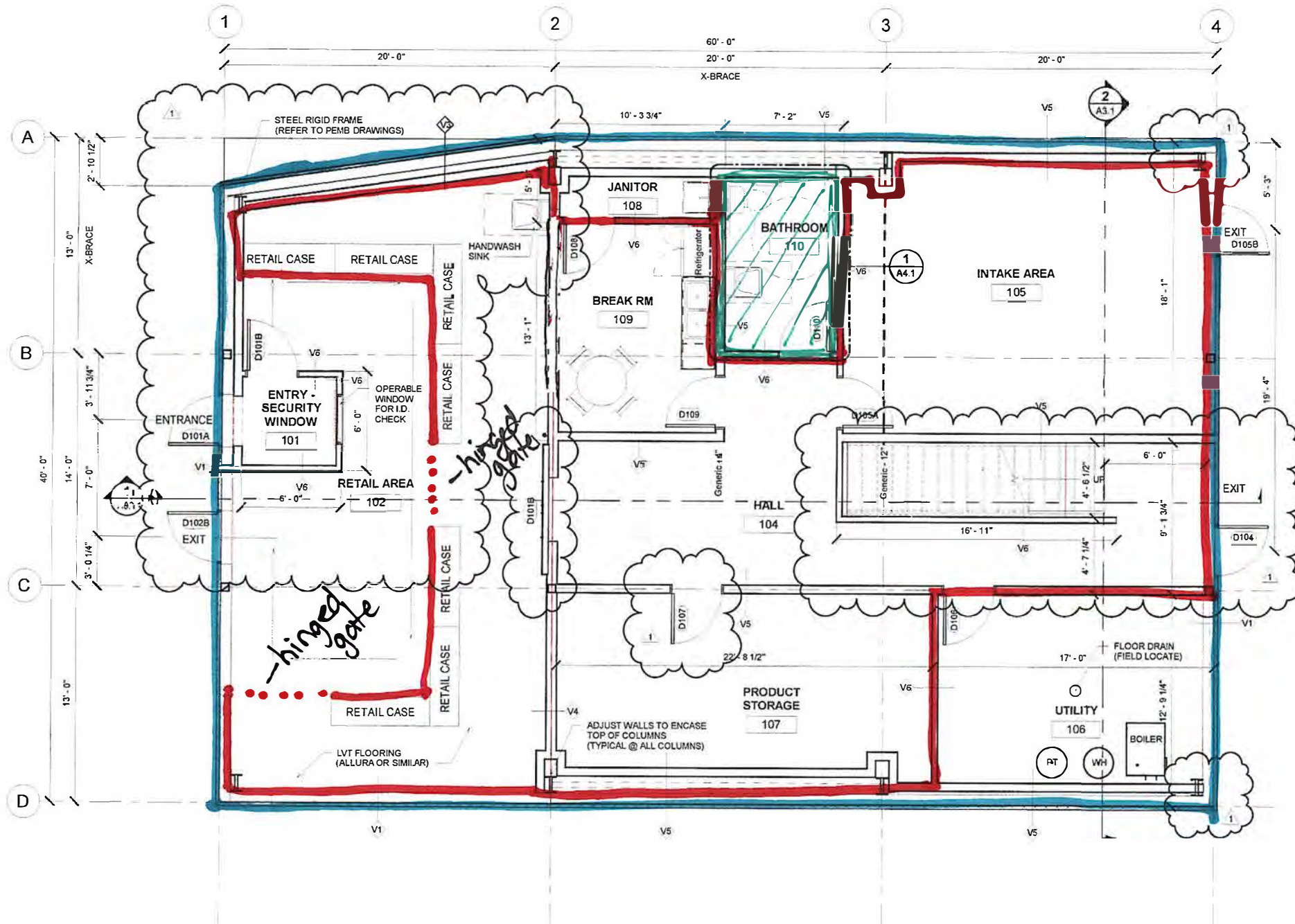
Printed name of AMCO Enforcement Supervisor

Printed name of Director

Date

AMCO Comments:

Approved effective issuance of conditional use permit



1 FIRST FLOOR
A1.1 SCALE: 1/4" = 1'-0"

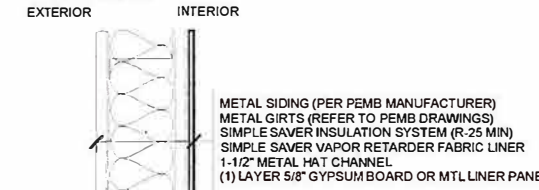
- Proposed
- - Licensed premises
 - - Restricted Access Area
 - - Un-Restricted Restroom

Diagrams 1, 2 & 5.

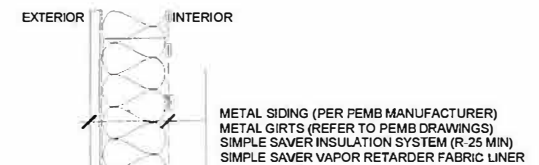
2

VERTICAL ASSEMBLIES :

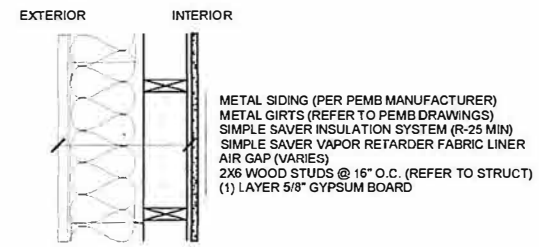
1. PROVIDE WALL DEFLECTION TRACKS WHERE NON-LOAD BEARING WALLS MEET STRUCTURE ABOVE.
2. REFER TO STRUCTURAL SHEAR WALL SCHEDULE FOR SHEATHING REQUIREMENTS



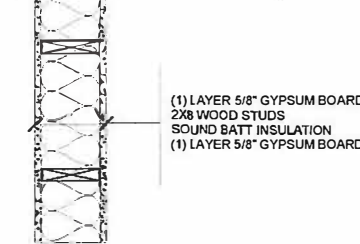
V1 - EXTERIOR WALL



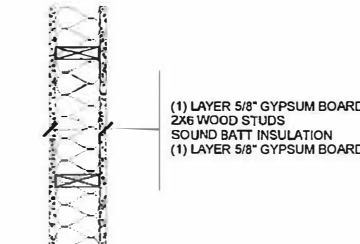
V2 - EXTERIOR WALL



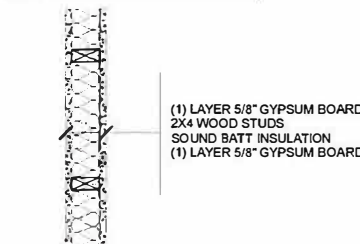
V3 - EXTERIOR WALL



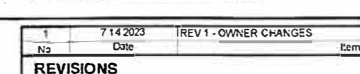
V4 - INTERIOR WALL



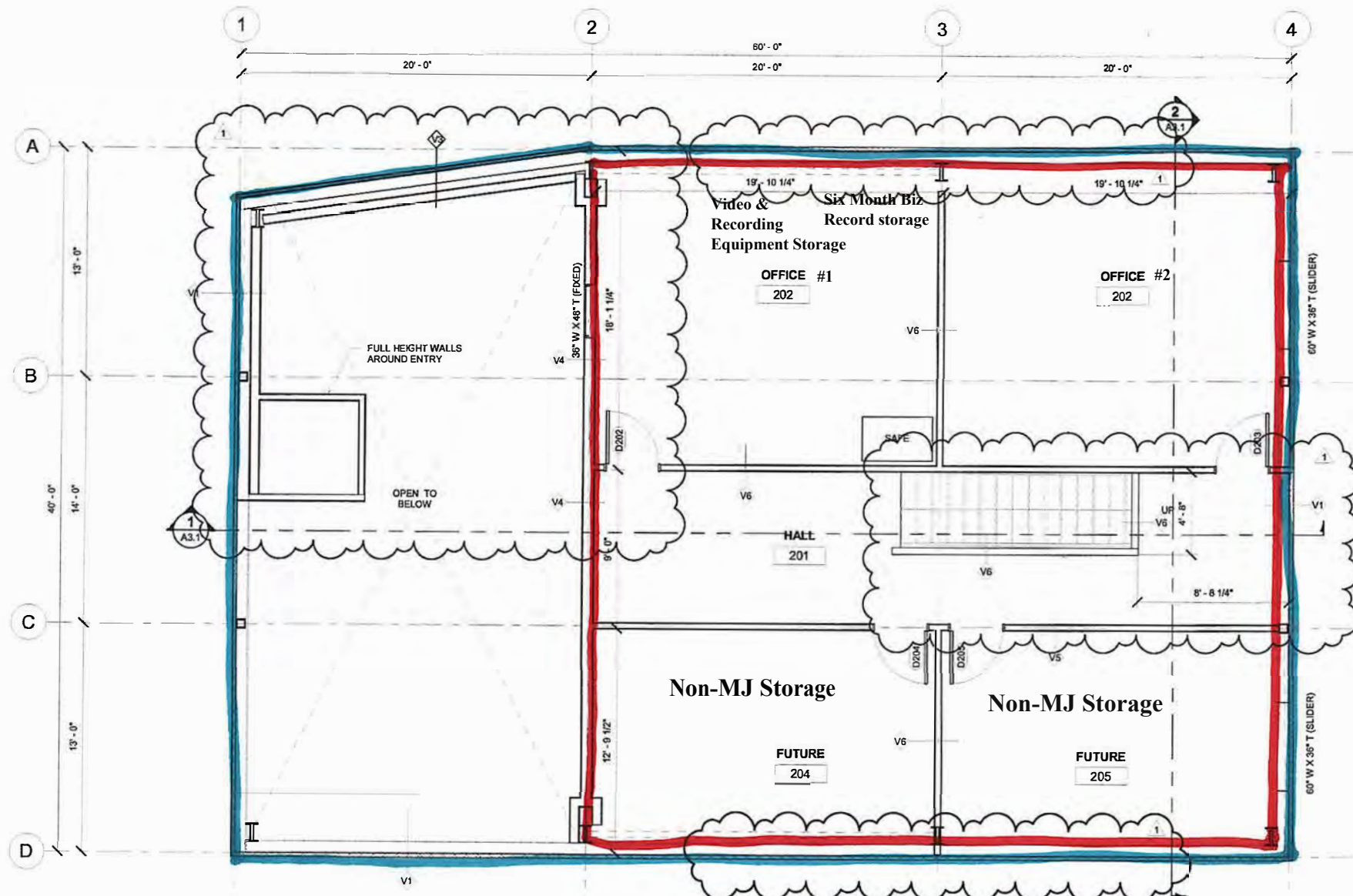
V5 - INTERIOR WALL



V6 - INTERIOR WALL



1	7.14.2023	REV 1 - OWNER CHANGES	
No	Date	Item	
REVISIONS			



1 SECOND FLOOR
A1.2 SCALE: 1/4" = 1'-0"

Diagrams 1.1, 2.1 & 5.1

▢ - proposed Licensed premises

▢ - Restricted Access Area

VERTICAL ASSEMBLIES:

1. PROVIDE WALL DEFLECTION TRACKS WHERE NON-LOAD BEARING WALLS MEET STRUCTURE ABOVE.
2. REFER TO STRUCTURAL SHEAR WALL SCHEDULE FOR SHEATHING REQUIREMENTS

EXTERIOR INTERIOR

METAL SIDING (PER PEMB MANUFACTURER)
METAL GIRTS (REFER TO PEMB DRAWINGS)
SIMPLE SAVER INSULATION SYSTEM (R-25 MIN)
SIMPLE SAVER VAPOR RETARDER FABRIC LINER
1-1/2" METAL HAT CHANNEL
(1) LAYER 5/8" GYPSUM BOARD OR MTL LINER PANEL

V1 - EXTERIOR WALL

EXTERIOR INTERIOR

METAL SIDING (PER PEMB MANUFACTURER)
METAL GIRTS (REFER TO PEMB DRAWINGS)
SIMPLE SAVER INSULATION SYSTEM (R-25 MIN)
SIMPLE SAVER VAPOR RETARDER FABRIC LINER

V2 - EXTERIOR WALL

EXTERIOR INTERIOR

METAL SIDING (PER PEMB MANUFACTURER)
METAL GIRTS (REFER TO PEMB DRAWINGS)
SIMPLE SAVER INSULATION SYSTEM (R-25 MIN)
SIMPLE SAVER VAPOR RETARDER FABRIC LINER
AIR GAP (VARIES)
2X6 WOOD STUDS @ 16" O.C. (REFER TO STRUCT)
(1) LAYER 5/8" GYPSUM BOARD

V3 - EXTERIOR WALL

(1) LAYER 5/8" GYPSUM BOARD
2X6 WOOD STUDS
SOUND BATT INSULATION
(1) LAYER 5/8" GYPSUM BOARD

V4 - INTERIOR WALL

(1) LAYER 5/8" GYPSUM BOARD
2X6 WOOD STUDS
SOUND BATT INSULATION
(1) LAYER 5/8" GYPSUM BOARD

V5 - INTERIOR WALL

(1) LAYER 5/8" GYPSUM BOARD
2X6 WOOD STUDS
SOUND BATT INSULATION
(1) LAYER 5/8" GYPSUM BOARD

V6 - INTERIOR WALL

(1) LAYER 5/8" GYPSUM BOARD
2X6 WOOD STUDS
SOUND BATT INSULATION
(1) LAYER 5/8" GYPSUM BOARD

1 7.14.2023 REV 1 - OWNER CHANGES
No Date Item

07 Architecture, LLC
PO BOX 875570, WASILLA, ALASKA 99687
PH: 907.373.9903 C.O.A. #101114



PROJECT: SMOKE OUT POINT
License # 29874
10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE: SECOND FLOOR PLAN
CONSTRUCTION DRAWINGS

DESIGN MFW
DRAWN MFW
CHECKED MFW
DATE 8.27.2021

PROJECT No. 21126.00
SHEET NUMBER

A1.2

From: [Michelle Olsen](#)
To: ["smopshop907@gmail.com"](mailto:smopshop907@gmail.com)
Cc: [Tim Alley](#); [Peggy Horton](#); [Andy Dean](#)
Subject: Temporary Driveway Approval
Date: Thursday, February 23, 2023 4:25:08 PM
Attachments: [Temporary Driveway Permit.pdf](#)

Hi Scott,

The driveway access has been temporarily approved to allow the conditional use permit to go forward. The construction permit for work in the Max Drive right-of-way will carry some requirements for some additional work on the driveway. Since the roadwork cannot be completed this time of year this temporary approval allows you to go forward with your other permitting and business requirements before the change of seasons allows for groundwork.

Please let me know if you have any questions.

Respectfully,

Michelle Olsen, CFM
Permit Technician
Matanuska-Susitna Borough
907-861-7822



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue, Palmer, Alaska 99645
(907) 861-7822 Fax (907) 861-8158
E-mail: PermitCenter@matsugov.us

Driveway Permit Application

Permit Fee \$200 (\$150 Refundable if completed within 3 years)

PERMIT NO: [29385](#)

Application Date:			Notified Date:		
2/23/2023					
Property Owner (Name):			Applicant/Agent (Name):		
Scott Wells			Tim Alley		
Mailing Address:			Mailing Address:		
10600 E Max Dr					
City:	State:	Zip:	City:	State:	Zip:
Palmer	AK	99645			
Phone:			Phone:		
907-982-4272					
Email (optional):			E-mail (optional):		
smopshop907@gmail.com			talley@tbcak.com		
Site Address:			Driveway Location Will Be Marked With:		
10600 Max Drive			Existing		
Property Tax ID #:			Expected Completion Date:	Driveway Surface Type:	
2209B02L001A				Gravel	
Applying for Access Onto:			Distances:		
Max Dr			Left:	Width:	Right:
Only Corrugated Metal Pipe Culvert is Allowed			Path or sidewalk dimension (if applicable):		
Culvert Length:		Diameter:			
Intended Use:					
<input type="checkbox"/> Single Family <input type="checkbox"/> Mutli-Family # of units _____					
<input checked="" type="checkbox"/> Commercial - Type: <u>Marijuana Retail</u> Est. "peak hours" trips per day: _____					
Comments:					
Change of use requires new application					

This authorization is temporary only. It is for the temporary use of Max Drive for Commercial Marijuana Retail access. If the conditional use permit application expires or is determined to be inactive this authorization shall expire automatically. Any permanent final approvals shall replace this initial temporary permit authorization.

Approved by:

Andy Dean

Digitally signed by Andy Dean
Date: 2023.02.23 15:44:58
-09'00'



Matanuska-Susitna Borough
Planning and Land Use Department
Development Services Division

350 East Dahlia Ave Palmer, AK 99645
Phone (907) 861-7822 / Fax (907) 861-8158
www.matsugov.us

TEMPORARY DRIVEWAY PERMIT

PERMIT # D29385
TAX PARCEL ID # 2209B02L001A

February 23, 2023

The Matanuska-Susitna Borough has performed the Final Inspection of your driveway. The driveway has been adequately constructed to Borough standards and to the conditions outlined by the initial driveway inspector. Your Approved Driveway Permit Number is listed above.

NOTE: This authorization is temporary only. It is for the temporary use of Max Drive for Commercial Marijuana Retail access. If the conditional use permit is not approved or expires then this permit shall be revoked.

Please keep this letter.

Property owner to maintain driveway approach in accordance with the provisions and standards of the permit. Culverts need to be cleaned annually to maintain drainage.

Any changes in land use or modifications of the driveway may require additional permitting. If you have any questions or concerns about your driveway or this permit, you may contact the Permit Center at 907-861-7822.

Sincerely,

Michelle Olsen, CFM
Permit Technician



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue, Palmer, Alaska 99645
(907) 861-7822 Fax (907) 861-8158
E-mail: PermitCenter@matsugov.us

Driveway Permit Application

Permit Fee \$200 (\$150 Refundable if completed within 3 years)

PERMIT NO: 29385

Application Date:			Notified Date:		
2/23/2023			2/23/2023		
Property Owner (Name):			Applicant/Agent (Name):		
Scott Wells			Tim Alley		
Mailing Address:			Mailing Address:		
10600 E Max Dr					
City:	State:	Zip:	City:	State:	Zip:
Palmer	AK	99645			
Phone:			Phone:		
907-982-4272					
Email (optional):			E-mail (optional):		
smopshop907@gmail.com			talley@tbcak.com		
Site Address:			Driveway Location Will Be Marked With:		
10600 Max Drive			Existing		
Property Tax ID #:			Expected Completion Date:	Driveway Surface Type:	
2209B02L001A				Gravel	
Applying for Access Onto:			Distances:		
Max Dr			Left:	Width:	Right:
Only Corrugated Metal Pipe Culvert is Allowed			Path or sidewalk dimension (if applicable):		
Culvert Length:	Diameter:				
Intended Use:					
<input type="checkbox"/> Single Family <input type="checkbox"/> Mutli-Family # of units _____					
<input checked="" type="checkbox"/> Commercial - Type: <u>Marijuana Retail</u> Est. "peak hours" trips per day: _____					
Comments:					
Change of use requires new application					

Temporary approval for CUP and Glenn Hwy project.

CMP-7-6-3-23085

PLN - DVS - Permits - DVS - 2209B02L001A -
Driveway - D29385 - Bradley Lk #2 RSB B/2 L/1

High Volume Driveway Application Checklist

Permit Number: 29385

Street Name: Max Dr

This applies to driveways uses which generate more than ten vehicle trips during the peak hour.

Submittal Item		Standard	
11.12.040(A)(2)			
(a) Street being accessed			Max Dr
Functional classification			Residential
Posted speed limit			20
Surface type			Aggregate
(b) Driveway dimensions			12 LFT lanes 24 LFT total
Landing slope	11.12.050(A)(3)	-2%	2%
Landing length	11.12.050(A)(4)	10 – 30 feet	20 FT
Landing angle	11.12.050(A)(5)	>= 60 degrees	93 degrees
Fill or cut slope grades	11.12.050(A)(6)	2:1 max or designed by engineer	2:1
Corner clearance	11.12.050(A)(11)	>= 60 feet	> 60 FT
Edge clearance	11.12.050(A)(12)	>= 20 feet, or curve return radius if larger	25 FT return radius
Width	11.12.070(A)(3)(a)&(b)	24 – 35 feet	24 FT
Curve return radii	11.12.070(A)(3)(c)&(d)	>= 20 feet	25 FT
Driveway spacing	11.12.070(A)(8)	300 feet 600 feet 300 feet	na
(c) Pathway or sidewalk dimensions			NA
Curb cuts	11.12.050(A)(14)		
ADA requirements	11.12.050(A)(15)		
Relocate in front of stop bar	11.12.070(B)(3)		

High Volume Driveway Application Checklist

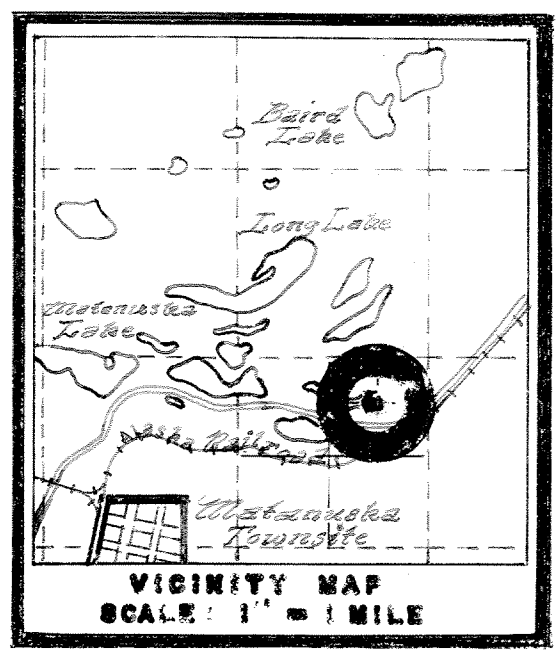
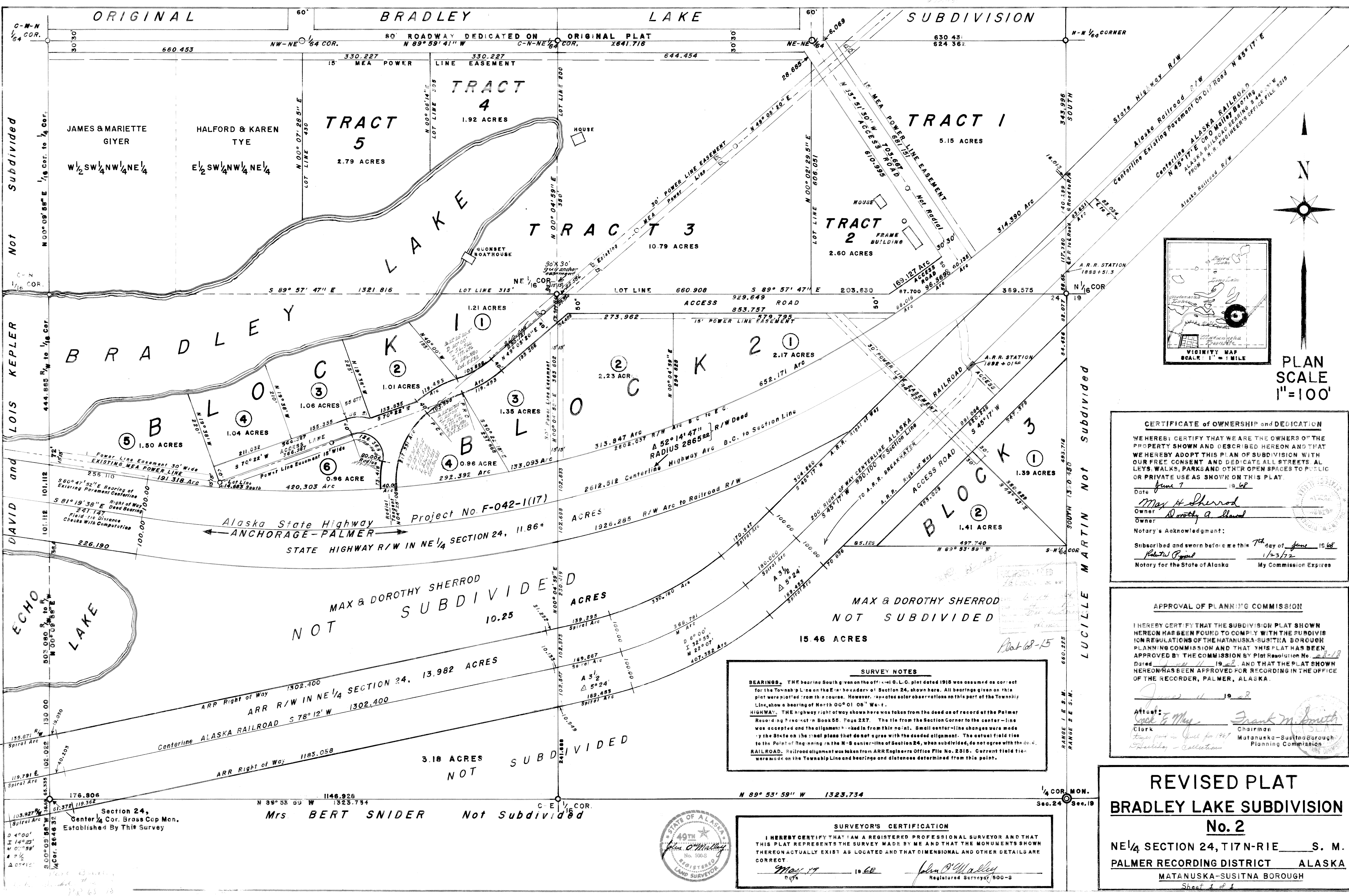
(d) Culvert			NA
Type	11.12.050(A)(7)	CMP, 16 gauge	NA
Diameter	11.12.050(A)(7) 11.12.070(A)(2)	18 inch	NA
Stream crossing?	11.12.050(A)(7)(b)		NA
Length	11.12.050(A)(8)(a)		NA
Slope	11.12.050(A)(8)(b)	>=0.5%	NA
Set back	11.12.050(A)(8)(c)	0 – 6 feet from ditch line	NA
End sections	11.12.070(A)(2)		NA
(e) Expected completion date			
(f) Driveway surface type			Aggregate
Paved apron?	11.12.070(A)(6)	>=20 feet	NA
(g) Proposed land use			Commercial
(h) Estimated traffic			
Peak hour			22
Average daily			
Trip generation rate used	11.12.040(A)(2)(h)(i)-(iii)		INSTITUTE OF TRANSPORTATION ENGINEERS COMMON TRIP GENERATION RATES
11.12.040(A)(3) >10 vph			
(a) Design vehicle	11.12.020		Car
(b) Driveway sight triangles	11.12.050(A)(9)	varies	~ 100 ft Right hand > 500 ft Left hand
(c) Driveway plan & profile	11.12.070(A)(1)		Attatched
Stop sign & stop bar	11.12.070(B)(3)	Required for driveways that access parcels that generate more than 50 vehicle trips in the peak hour	Sign Provided without Stop bar

High Volume Driveway Application Checklist

11.12.040(A)(4) >50 vph			NA
Turn lane warrants	11.12.070(B)(4)&(5)		
11.12.040(A)(5) >100 vph			NA
Traffic Impact Analysis	11.12.080		
Sight distance			
Accident history			
Bus stops			
Road width			
Functional area			
Other traffic and safety factors			
Traffic Impact Mitigation	11.12.090		

Cartegraph Road Information

Road Info						
Road Number:	004138	Road Name:	Max Drive	RSA #:	16	SOUTH COLONY RSA
Surface Type:	3" Gravel Avg	Certified:	0	Map #:	WA16	
TRS:	S17N01E24	TRS Left:		TRS Right:		
ROW Width:	50	Length:	0.201128787878788	Classification:	Residential	UNS Unsurfaced
Route Back:	Colleen Street	Route Ahead:	End	Travel Direction:	Southwest	
Custodian:	Unapproved Construction	RSA Superintendent:	Will Barickman	Contractor:	Norse Alaska	
Status:	Active					
		Certified Value of 1 denotes Certified.				
Road Number:	004138	Road Name:	Max Drive	RSA #:	16	SOUTH COLONY RSA
Surface Type:	3" Gravel Avg	Certified:	0	Map #:	WA16	
TRS:	S17N01E24	TRS Left:		TRS Right:		
ROW Width:	40	Length:	0.225369318181818	Classification:	Residential	UNS Unsurfaced
Route Back:	Colleen Street	Route Ahead:	End	Travel Direction:	Southwest	
Custodian:	Unapproved Construction	RSA Superintendent:	Will Barickman	Contractor:	Norse Alaska	
Status:	Active					
Road Number:	001829	Road Name:	Maxwell Drive	RSA #:	20	GRTR WILLOW RSA
Surface Type:	3" Gravel Avg	Certified:	1	Map #:	WI15	
TRS:	S19N04W19	TRS Left:		TRS Right:		
ROW Width:	58	Length:	0.2	Classification:	Residential	Gravel
Route Back:	Sides Drive	Route Ahead:	End	Travel Direction:	South	
Custodian:	Mat-Su Borough	RSA Superintendent:	Mike Lachelt	Contractor:	D & S Road Service	
Status:	Active					



PLAN SCALE
1"=100'

CERTIFICATE of OWNERSHIP and DEDICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON AND THAT WE HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH OUR FREE CONSENT AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS SHOWN ON THIS PLAN.

Date June 7, 1968

Owner Max H. Sherrod

Owner Dorothy A. Sherrod

Notary's Acknowledgment:

Subscribed and sworn before me this 7th day of June, 1968

Notary for the State of Alaska My Commission Expires 1/23/72

APPROVAL OF PLANNING COMMISSION

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION AND THAT THIS PLAT HAS BEEN APPROVED BY THE COMMISSION BY PLAT RESOLUTION No. 2-18 Dated June 11, 1968, AND THAT THE PLAT SHOWN HEREON HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER, PALMER, ALASKA.

Attest: June 11, 1968

Clerk Frank M. Smith
Chairman
Matanuska-Susitna Borough
Planning Commission

REVISED PLAT
BRADLEY LAKE SUBDIVISION
No. 2
NE 1/4 SECTION 24, T17N-R1E S. M.
PALMER RECORDING DISTRICT ALASKA
MATANUSKA-SUSITNA BOROUGH
Sheet 1 of 1

SURVEY NOTES

BEARINGS. THE bearings South given on the official G.L.C. plat dated 1915 was assumed as correct for the Township Line on the East boundary of Section 24, shown here. All bearings given on this plat were plotted from this course. However, repeated solar observations on this part of the Township Line, show a bearing of North 00° 01' 06" West.

HIGHWAY. THE highway right of way shown here was taken from the deed as of record at the Palmer Recording District in Book 55, Page 227. The tie from the Section Corner to the center-line was accepted and the alignment marked in from this point. Small center-line changes were made by the State on the steel plate that do not agree with the deeded alignment. The actual field tie to the Point of Beginning on the N-S center-line of Section 24, when subdivided, do not agree with the deeded alignment. Railroad alignment was taken from ARREngineers Office File No. 2516. Current field ties were made on the Township Line and bearings and distances determined from this point.

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR AND THAT THIS PLAT REPRESENTS THE SURVEY MADE BY ME AND THAT THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AS LOCATED AND THAT DIMENSIONAL AND OTHER DETAILS ARE CORRECT.

May 17, 1968
John O'Malley
Registered Surveyor 500-3



Matanuska-Susitna Borough



Legend

ParcelViewer

Road Mileposts



Roads

— Highway

— Minor Road

- - Private Road

Alaska Railroad



Mat-Su Borough Boundary



Address Numbers



Parcels



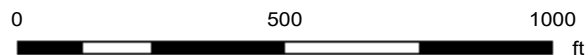
Section Lines



1 : 9028



THIS MAP IS NOT TO BE USED FOR NAVIGATION



WGS_1984_Web_Mercator_Auxiliary_Sphere

Date: 05/09/24

This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7858.

Notes

Access Plan and Traffic Flow (General Public)

FACT SHEET

Glenn Highway MP 34-42 Projects

Glenn Highway MP 34-42 Reconstruction, Project Number 0A15024/Z581040000

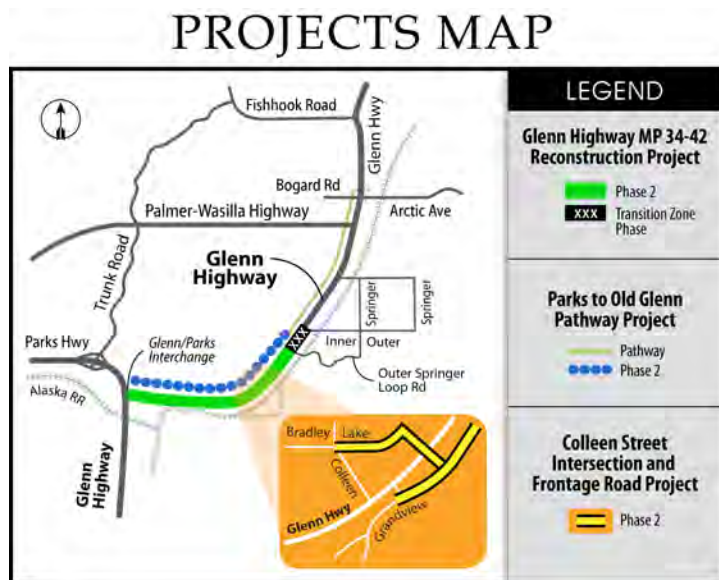
Parks Highway to Old Glenn Highway Pathway, Project Number 0A15032/CFHWY00029

Colleen Street Intersection and Frontage Road, Project Number 0A15033/CFHWY00006

Description

The purposes of the Glenn Highway Milepost (MP) 34-42 projects are to accommodate increasing traffic and reduce safety risks. These projects will add lanes, widen shoulders, add turn lanes and frontage roads, and add a separated pathway. The final roadway will be a four-lane divided highway from the Parks Highway to West Arctic Avenue.

The Colleen Street Intersection and Frontage Road project is included in the final phase which includes a traffic signal on the Glenn Highway to connect South Colleen Street and East Bradley Lake Avenue on the west side and East Grandview Road on the east side to the Glenn Highway.



Phase 1 COMPLETE

The Phase 1, South Inner Springer Loop to West Arctic Avenue, is complete. We hope the public is enjoying the new pathway from Bogard to Outer Springer.

Phase 2 CONSTRUCTION BEGINS SOON

The Phase 2 project bid in April and construction contract award to Granite Construction is anticipated in May 2023 with work to begin in summer 2023. Construction is scheduled to be complete by September 2025.

For more information during construction

Use DOT&PF's **Alaska Project Exchange** tools to learn more about all of DOT&PF's active construction projects statewide!



- Want to know how construction will impact road traffic? Visit 511.alaska.gov
- Want to dig into the details about projects across the state? Visit dot.alaska.gov/construction
- If you have questions or comments about the project, please contact:

Ericka Moore, P.E., Construction Manager, DOT&PF

Phone: (907) 269-0450; Email: ericka.moore@alaska.gov

For individuals requiring TTY communications, please contact [Alaska Relay](https://alaskarelay.org) at 7-1-1 or 1-800-770-8973.

Project website: www.brooks-alaska.com/glennhighway

Updated 5/18/2023



GLENN HIGHWAY PHASE 2 DESIGN DATED 4/2/2023 1 OF 4



**Glenn Highway MP 34-42
Reconstruction**

Parks Highway to Old Glenn Highway
ADOT&PF Project 58104/ Federal Project NH-0A1-5(24)



GLENN HIGHWAY PHASE 2 DESIGN DATED 4/2/2023 2 OF 4



**Glenn Highway MP 34-42
Reconstruction**
Parks Highway to Old Glenn Highway
ADOT&PF Project S8104/ Federal Project NH-0A1-5(24)



GLENN HIGHWAY PHASE 2 DESIGN DATED 4/2/2023 3 OF 4



**Glenn Highway MP 34-42
Reconstruction**
Parks Highway to Old Glenn Highway
ADOT&PF Project 58104/ Federal Project NH-0A1-5(24)



GLENN HIGHWAY PHASE 2 DESIGN DATED 4/2/2023 4 OF 4



**Glenn Highway MP 34-42
Reconstruction**
Parks Highway to Old Glenn Highway
ADOT&PF Project 58104/ Federal Project NH-0A1-5(24)



MATANUSKA-SUSITNA BOROUGH

Planning Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

www.matsugov.us

GENERAL CONSTRUCTION PERMIT C29230

Improved Access Roadway

Max Drive

This permit is issued this _____ day of _____ 2023 to:

Smoke Out Point
1000 E. Max Drive
Palmer, AK 99645

Phone #: **907-982-4272**

Email: smopshop907@gmail.com

The Matanuska-Susitna Borough grants the authorization necessary to work in the following described Public Right of Way or easement area: Within the right of way of Max Drive as described on the plat for Bradley Lake #2 RSB Block 2 Lot 1 Subdivision within Sections 24, Township 17 North, Range 01 East, Seward Meridian, Alaska. This construction is for improved access to parcel #**2209B02L001A**.

BEFORE BEGINNING CONSTRUCTION ACTIVITIES, PERMITTEE MUST:

- A. Have a Registered Professional Land Surveyor verify that public rights-of-way exist. Survey and mark the exterior boundary lines of the public rights-of-way and reference all property corners, monuments, and witness markers within or bordering the public rights-of-way. Registered Professional Land Surveyor must provide a letter to Borough Development Services Division stating the above has been completed and attach documentation verifying public rights-of-way exist. Also, give a copy of field notes and drawings showing reference ties to property corners and monuments. **Engineered design plan set provided.**
- B. Notify adjacent property owners before construction and two weeks before beginning any work at the location.
- C. The Permittee is responsible for obtaining any required permits from Federal, State, or local agencies for the proposed construction. For this permit to remain valid, you must follow all other applicable laws, rules, and regulations.

The construction authorized is described as and limited to the following:

Construct the extension of a typical 24' wide access road to minimum Matanuska-Susitna Borough Roadway Standards and within portions of the above-described public easements as shown on the plan set provided and dated 12-8-2022. This construction permit is for improved access to parcel #2209B02L001A**.**

This construction permit shall expire on **October 31, 2023**.

Providing Outstanding Borough Services to the Matanuska-Susitna Community.



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SPECIAL CONDITIONS:

1. The Borough will not spend any public money on maintenance or capital improvements. This road may not serve to meet the minimum construction standards for any subdivision purposes and not be maintained by the Borough for work done under this permit.
2. Trees belong to property owners. Arrangements made with adjacent property owners during your notification process for the disposal of trees are acceptable.
3. Roads or driveways within public rights-of-way or public easements are for general use and cannot be gated or blocked without the authorization of the Borough.
4. At a minimum, the clearing required shall include seven feet from the edge of any established roadway surface for safety and snow storage.
5. The Permittee agrees to accept all responsibility and bear the expense of re-establishing any property corner, monument, or witness marker damaged or destroyed due to the construction activities.
6. Utility facilities cannot be constructed or located within this public way without a Borough-approved Utility Facility Design. This permit authorization will authorize no clearing for installing Utilities under this permit.
7. This permit does not allow for any stream crossings. The permit will need amendment through approved review, the design approved, and the permit amendment signed by the Permittee before a stream crossing can be authorized. Other permit conditions may be required depending on the type of crossing. Please call (907)861-7803 for more information if a stream crossing is needed.
8. The permit will be shown at the preconstruction conference as part of F01.3 Preconstruction Conference item (d) on Page 38 if the roadway is for subdivision purposes. No work should commence before a Notice to Proceed (NTP) is granted by the Platting Division and after signing an approved Subdivision Construction Plan by the Department of Public Works. See Section F. Development Implementation and the 2022 Subdivision Construction Manual for additional requirements.

Providing Outstanding Borough Services to the Matanuska-Susitna Community.



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DURING CONSTRUCTION ACTIVITIES, THE PERMITTEE MUST:

9. Fall and skid all trees 4 inches in diameter and larger before beginning grubbing and road construction.
10. No strip mining for gravel will be allowed within the public easements.
11. The Permittee shall remove all construction debris, large limbs, tree tops, uprooted stumps, disturbed organic material, and large rocks agitated within clearing limits from rights-of-way before the expiration date. Brush to be stacked for burning outside of section line easements. Obtain any necessary burn permits from the State of Alaska Division of Forestry.
12. Center the construction of the access as close as possible to the center of the public easements. Clear and grub up to 20 feet on each side of the center of the Right of Way for road construction, ditching, and to induce maximum sunlight onto the road prism. The Permittee must perform a minimum of seven feet of clearing from the edge of the roadway's surface. Construct ditches at the foot of the road fore-slope to a maximum depth of 2.5 feet, measured from the finished grade of the driving surface, for drainage and snow storage purposes.
13. All cuts and fills shall be constructed and located to a maximum of 2 feet horizontal to 1-foot vertical slopes within the public easement or right of way. A minimum of 5 feet of undisturbed ground must be between the top of a cut slope or the toe of a fill slope and the exterior boundary of the public right-of-way or public easement. The Permittee is responsible for obtaining additional right-of-way and slope easements to contain all improvements. Cut and fill slope areas may be cleared to the edge of the outer five feet of the easements to help establish the grade once easements are approved and obtained or if within existing easements. All cuts and fill slopes shall be within the easements or slope easements by a minimum of five feet to help establish a buffer for possible long-term slope erosion. Before working outside existing easements, an amendment to this permit must be reviewed, approved, and signed for this or any additional work.
14. All hydrology engineering is the responsibility of the Permittee. Install appropriate-sized culverts or swales to maintain natural drainage patterns. The authorized construction may not alter the natural drainage patterns.

AFTER CONSTRUCTION REQUIREMENTS, THE PERMITTEE MUST:

15. The Permittee shall file a written notice of completion with the Development Services Division within ten days after the construction is complete requesting a

Providing Outstanding Borough Services to the Matanuska-Susitna Community.



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final inspection. Call the Permit Center at (907)-861-7822, Option 2, or email the Permit Center at Permit.Center@matsugov.us for the final inspection and review. Upon completion, have the Registered Professional Land Surveyor stamp & certify **in writing** to the Borough Development Services Division or by sending the attached letter to the email address Andy.Dean@matsugov.us that all construction is within the public right-of-way. Also, the surveyor must state that all property corners, monuments, and witness markers, within or bordering the public right-of-way are undisturbed or reset.

16. A one-year mandatory warranty period on all improvements begins at the time of permit closure. Any Bond obtained for this work will remain in effect until the end of the warranty period. Please maintain the improvements and restore any deficiencies in quality or the requirements of this permit during this period.

In consideration for this permit, the Permittee shall indemnify, defend, and hold and save the Borough, its elected officers, agents, and employees, harmless from all claims, demands, suits, or liability of any nature, kind, or character, including costs, expenses, and attorney's fees. The Permittee shall be responsible under this clause for all legal actions or claims of any nature resulting from injuries, death, economic loss, damages, violation of statutes, ordinances, constitutions or other laws, rules or regulations, contractual claims, or any other kind of loss, tangible or intangible, sustained by any person, or property arising from Permittee's construction, alteration or maintenance and the existence of the above-described construction or for any damages whatsoever arising out of the granting of this permit.

The Borough reserves the right to revoke this permit upon 48 hours of written notice to the Permittee. The Permittee agrees upon said notice of revocation to immediately stop all construction activity within the easement, street, or public right of way. Should the Permittee refuse or fail to comply with said written notice, the Borough may, without further notice to the Permittee, make all repairs to the area. The Permittee agrees to reimburse the Borough for all costs incidental to the repair thereof.

The Permittee certifies that he has read and accepted the above conditions by evidence of the below signature, and the Borough authorizes said construction subject to the above conditions.

PERMITTEE

MATANUSKA-SUSITNA BOROUGH

Smoke Out Point Representative
Anthony Wells

Andy Dean – ROW Coordinator

Providing Outstanding Borough Services to the Matanuska-Susitna Community.



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: PermitCenter@matsugov.us

Matanuska-Susitna Borough
Permit Center
SEP 7 0 2022
Received

APPLICATION FOR CONSTRUCTION/CLOSURE WITHIN PUBLIC EASEMENTS & RIGHTS-OF-WAY

Application Fee \$200 each

Permit No. _____

Applicant: Anthony Wells, Smoke Out Point

Applicant: Tim Alley, PE, TBC, Civil Engineer

Address: 10600 E. Max Drive

Palmer, AK 99645

Date: 10/5/2022

Phone: (907) 982-4272

Email: smopshop907@gmail.com
talley@tbcak.com

1. Give the legal description and tax account no. of property owned by applicant adjacent to construction:
Bradley Lake #2 RSB B/2 L/1 Block 2 Lot 1A, Tax Account No. 52209B02L001A
2. Describe the location where construction will occur, (legal description, public easement, or road name):
E. Max Dr. ROW from S. Colleen St to Bradley Lake #2 RSB B/2 L/1 Block 2 Lot 1A for commercial access to lot.
3. Proposed length and width of construction (Include map or sketch showing construction limits and cross section & plan drawings, if available. Drawings may be required in cases of steep terrain):
Construction access within ROW will be constructed 24' wide 615' long with hammer head turnaround. See attached drawing.
4. Proposed start up date: 10/10/2022 Expected completion date: 10/31/2022
5. This construction is necessary for the following reason(s):
Commercial access to proposed marijuana retail facility.
6. Proposed method for disposal of vegetation and grubbed material:
Road improvements follow existing alignment and should not require much clearing/grubbing. Downed trees will be stacked at the ROW for adjacent homeowners as required. All other grubbing and clearing debris will be hauled off and disposed.
7. List types of construction equipment that will be used for this project:
Excavator, Dozer, Dump Trucks, Grader
8. Identify any special conditions and problems that may be encountered during construction (i.e. Swampy ground, water bodies, steep slopes, forested areas):
Steep slopes existing along the ROW making it difficult to widen the existing gravel road within the existing ROW and alignment. Substantial fill will be needed for the hammerhead turnaround.

No work is authorized, including clearing of vegetation, within public easements & rights-of-way until a PERMIT is issued by the Borough and accepted by the applicant. The applicant certifies with their signature below, that they have read the conditions on the reverse side and completed this form accurately to the best of their knowledge.

Applicant's Signature

CMP-7-6-3-22837

PLN - DVS - Permits - DVS - 2209B02L001A -
Construction - C29230 - Bradley Lk #2 RSB

July 12, 2019

STANDARD CONDITIONS

Prior to Construction:

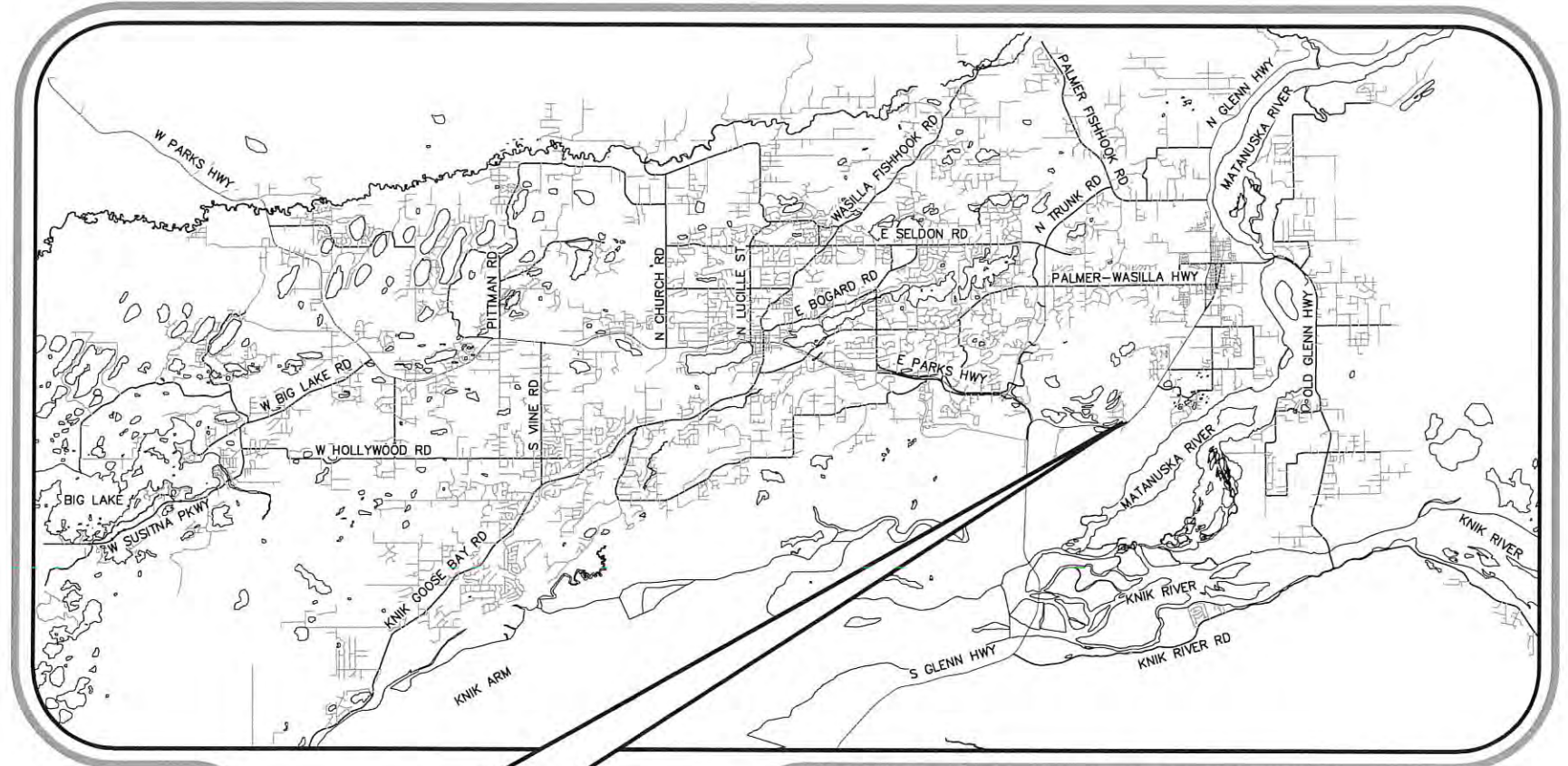
- A. Registered Professional Land Surveyor to verify, survey and mark exterior limits prior to construction and reference and preserve any survey corners and monuments in construction area. Upon completion, Surveyor to certify in writing to the Borough that all construction is in right-of-way and all survey corners are undisturbed or reset.
- B. Notify adjacent property owners by certified mail two weeks prior to construction.
- C. Complete a pre-construction meeting on site with Borough Right-Of-Way Agent after condition "A" is complete and prior to beginning any vegetation clearing.

Other Conditions:

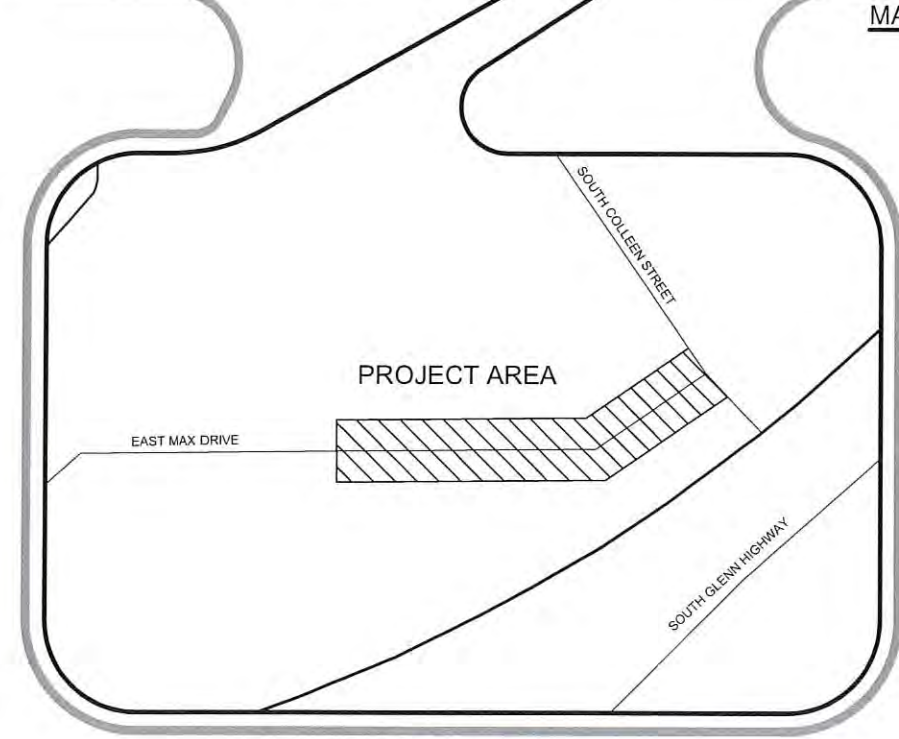
- 1. No public money will be spent on maintenance or capital improvements.
- 2. Roads within public right-of-ways or public easements are for public use and cannot be gated or blocked.
- 3. Trees belong to adjacent property owners. Trees left in the right-of-way shall be cut into 4' lengths. Other arrangements made between the Permittee and the property owners are acceptable.
- 4. Disturb and clear only that area necessary for permitted use.
- 5. In site specific locations where public rights-of-way widths are 100 feet or greater the Borough may authorize slit trenching to be in the (southern) (western) 20' of right-of-way.
- 6. All construction debris, including brush, limbs, tree tops, uprooted stumps, organic material and large rocks must be removed from narrow rights-of-way. Construction debris may not be placed onto adjacent properties without written authorization.
- 7. It is the applicant's responsibility to obtain any required permits from local, state, or federal agencies for the proposed construction.
- 8. Permits are subject to additional conditions, as deemed necessary by the Borough, to address special circumstances and construction limitations.
- 9. A Damage Bond and/or Liability Insurance may be required for the proposed construction activity.

DRAWING LOCATION
W:\WasilletFiles\Max Drive\ACAD\TITLE SHEET.dwg

DESIGNED BY	DATE	SCALE	PLOT DATE
CHUCKED BY	12/8/2022	N/A	
QUOTED BY			
UNITED BY			



MAT-SU BOROUGH CORE AREA
VICINITY MAP



EAST MAX DRIVE
VICINITY MAP
(NTS)

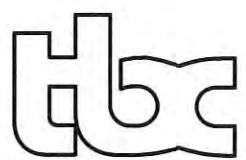
SHEET INDEX	
SHEET NO.	SUBJECT
C1	COVER SHEET
C2	GENERAL NOTES, ABBREVIATIONS, TYPICAL SECTION, ESTIMATING FACTORS
C3	LEGEND
C4-C5	ROADWAY PLAN & PROFILE

EAST MAX DRIVE

PALMER, AK

ROADWAY IMPROVEMENTS

Matanuska-Susitna Borough
Permit Center
DEC 08 2022
Received



The Boutet Company, Inc.
601 E. 57th Place #102
Anchorage, AK. 99518
Ph. 907-522-6776
License No. AECC957

DATE: 12/08/2022

FILE: W:\ASILLAF\ES MAX DRIVE\ACAD\EST MAX DRIVE - DESIGN-BND 12082022.DWG

CW
DRAFTED
HH
CHECKED
TA
DESIGNED

LAYOUT

06/16/2022

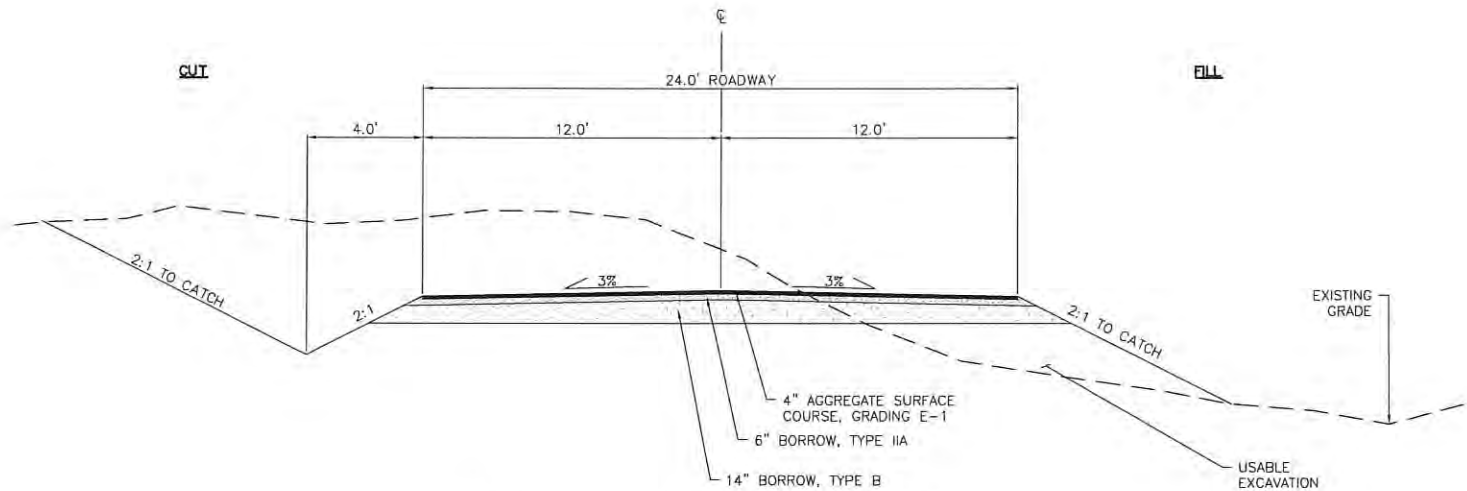
DATE

GENERAL NOTES:

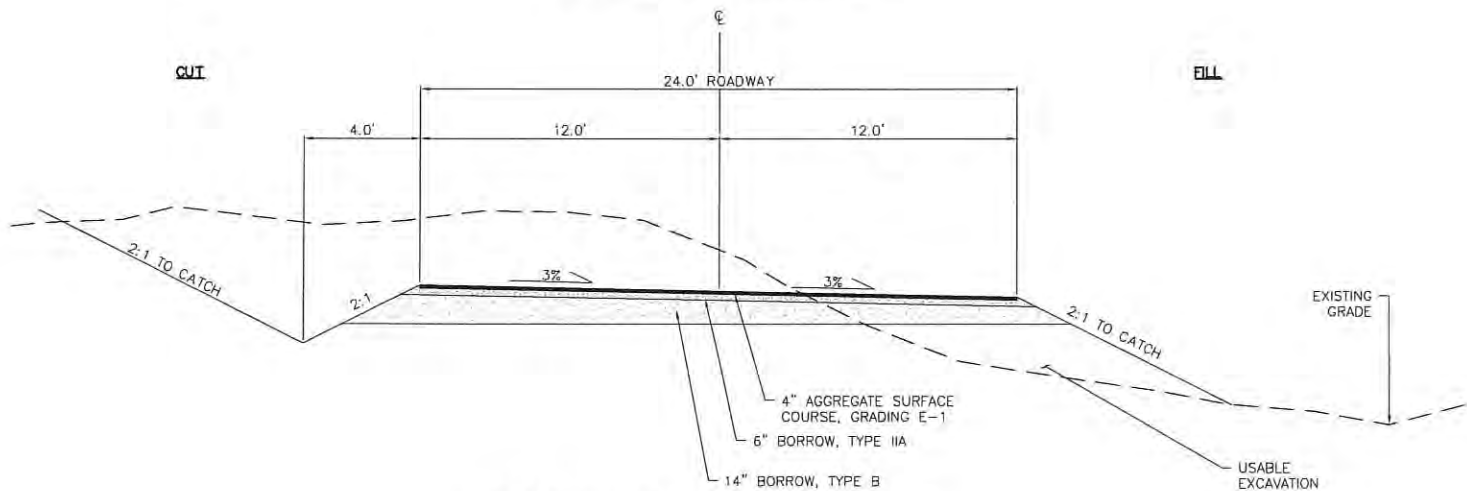
1. ALL CONSTRUCTION SHALL BE INSTALLED AS SPECIFIED IN 2017 ALASKA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
2. THE CONTRACTOR SHALL RESTORE ALL DISTURBED PROPERTY, INCLUDING DRAINAGE SWALES, DISTURBED BY CONTRACT ACTIVITIES TO PRE-CONSTRUCTION CONDITION.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AS NECESSARY TO COMPLY WITH FEDERAL, STATE, AND MUNICIPAL LAWS THAT PROHIBIT UNPERMITTED DISCHARGE OF POLLUTANTS, INCLUDING SEDIMENTS, THAT ARE A RESULT OF EROSION AND OTHER CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL CONDUCT ALL WORK SO SEDIMENT IS NOT TRANSPORTED ONTO THE ROADWAY OR ADJACENT PROPERTY. AT A MIN, THE CONTRACTOR SHALL SWEEP UP ANY SEDIMENT TRACKED ONTO PAVED SURFACES IN PUBLIC ROW DURING ALL WORK HOURS TO MINIMIZE THE WASH-OFF OF SEDIMENT INTO THE STORM DRAINS OR WATERWAYS.
4. FINISH GRADE (FG) REPRESENTS THE ELEVATION OF THE FINISHED SURFACE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST SUBGRADE OR TOPSOIL TO ALLOW FOR FINISHED SURFACE MATERIAL DIMENSIONS. IF DETAIL IS PROVIDED FOR SPECIAL AREA, DETAIL SHALL DENOTE FINISH GRADES.

ABBREVIATIONS

ADEC	ALASKA DEPARTMENT OF ENVIRONMENTAL CONSERVATION	MAX	MAXIMUM
AL-MON	ALUMINUM MONUMENT	MDD	MAXIMUM DRY DENSITY
AWWA	AMERICAN WATER WORKS ASSOCIATION	MJ	MECHANICAL JOINT
AWG	AMERICAN WIRE GAUGE	MIN	MINIMUM
AWWU	ANCHORAGE WATER & WASTEWATER	#	NUMBER
APPROX	APPROXIMATE	NPT	NATIONAL PIPE THREAD
BGS	BELOW GROUND SURFACE	NSF	NATIONAL SANITATION FOUNDATION
BOP	BEGINNING OF PROJECT	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
BLDG	BUILDING	OC	ON CENTER
CL	CENTERLINE	O&M	OPERATIONS AND MAINTENANCE
CMP	CORRUGATED METAL PIPE	ORIG	ORIGINAL
CONST	CONSTRUCT	PFD	PALMER FIRE DEPARTMENT
COP	CITY OF PALMER	PVC	POLYVINYL CHLORIDE
COPSS	CITY OF PALMER STANDARD SPECIFICATIONS	PSI	POUNDS PER SQUARE INCH
DIA/Ø	DIAMETER	PL/ℓ	PROPERTY LINE
DIP	DUCTILE IRON PIPE	RT	RIGHT
ELEV	ELEVATION	ROW	RIGHT-OF-WAY
EOP	END OF PROJECT	SSMH	SANITARY SEWER MANHOLE
EX	EXISTING	SCH	SCHEDULE
FT	FOOT	SP	SINGLE PUMPER
F&I	FURNISH AND INSTALL	SF	SQUARE FEET/FOOT
FG	FINISHED GRADE	SS	STAINLESS STEEL
FH	FIRE HYDRANT	STD	STANDARD/STANDARDS
GALVS	GALVANIZED STEEL	STA	STATION
GV	GATE VALVE	TBM	TEMPORARY BENCHMARK
HDPE	HIGH DENSITY POLYETHYLENE PIPE	TC	TOP OF CONCRETE
HMWPE	HIGH MOLECULAR WEIGHT POLYETHYLENE	TH	TEST HOLE
H	HORIZONTAL	TOP	TOP OF PIPE
IN	INCH/INCHES	VB	VALVE BOX
INV	INVERT	V	VERTICAL
IPS	IRON PIPE SIZE	W/	WITH
L-POLE	LIGHT POLE	YPC	YELLOW PLASTIC CAP
LF	LINEAR FOOT/FEET		
LT	LEFT		



EAST MAX DRIVE AND THE TURN AROUND
TYPICAL SECTION #1
10+35 - 15+50 EAST MAX DRIVE
20+00 - 20+58 TURNAROUND



EAST MAX DRIVE AND THE TURN AROUND
TYPICAL SECTION #2
15+50 - 16+98 EAST MAX DRIVE

ESTIMATING FACTORS	
ITEM DESCRIPTION	ESTIMATING FACTOR
BORROW, TYPE IIA/II	144 LB/CF
AGGREGATE SURFACE COURSE GRADING E-1	148 LB/CF



Know what's below.
Call before you dig.

VERIFY SCALE		THIS BAR REPRESENTS ONE INCH ON ORIGINAL DRAWING.		IF BAR IS NOT ONE INCH, ADJUST DRAWING SCALE ACCORDINGLY.		FULL SIZE SCALE	
DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE
BASE			TELEPHONE				
TOPOGRAPHY			ELECTRIC				
PROFILE			CABLE TV				
SANITARY SEWER			TRAFFIC SIGNAL				
STORM SEWER			DESIGN				
WATER			QUANTITIES				
GAS			MIN. FINAL CHECK				
PLAN CHECK				REVISIONS			



The Boullet Company, Inc.
601 E. 57th Place #102
Anchorage, AK. 99518
Ph. 907-522-6776
License No. AECC957

95% REVIEW

CONSULTANT

SEAL

EAST MAX DRIVE
PALMER, ALASKA

CIVIL SITE & UTILITY IMPROVEMENTS

GENERAL NOTES, ABBREVIATIONS, TYPICAL SECTION, AND ESTIMATING FACTORS

HORIZ SCALE: N/A
VERT SCALE: N/A

DATE: 12/08/2022

SHEET C2 OF C5

ROADWAY

	EXISTING	PROPOSED
EDGE OF PAVEMENT		
LIMIT OF CUT SLOPE & FILL SLOPE		
GRAVEL EDGE		
DRIVEWAY APPROACH		
SIDEWALK AND PATH/TRAIL		
CONCRETE CURB & GUTTER		
CONCRETE CURB CUT		
PARALLEL CURB RAMP PERPENDICULAR CURB RAMP		
UNIDIRECTIONAL CURB RAMP & MID-BLOCK CURB RAMP		
DETECTABLE WARNING TILE		
BRIDGE		
TUNNEL		
GUARDRAIL		
END & PARALLEL END SECTIONS		
ROADWAY OBLITERATION		
FENCE		
STONE FENCE		
NOISE BARRIER		
RETAINING WALL		
HEADWALL & WINGWALL		
BOTTOM OF DITCH		
SPECIAL DITCH		
FLAT BOTTOM DITCH		
BERM		
RIPRAP		
BOULDER OR BOULDERS		
PRIVATE SIGN, MAILBOX		
POST, BOLLARD		

UTILITIES

	EXISTING	PROPOSED
STORM DRAIN		
STORM DRAIN MANHOLE, CLEANOUT		
CURB INLET CATCH BASIN FIELD INLET CATCH BASIN		
PIPE CULVERT WITH END SECTION		
SANITARY SEWER		
SANITARY SEWER MANHOLE, CLEANOUT		
SEPTIC VENT, SEWER SERVICE CONNECTION		
WATER		
FIRE HYDRANT, VALVE OR RISER		
WELL, WATER SERVICE CONNECTION		
NATURAL GAS		
OIL OR GASOLINE PIPELINE		
TANKS (ABOVE GROUND, UNDERGROUND)		
ELECTRIC		
UTILITY POLE, POLE WITH LUMINAIRE		
GUY POLE, GUY WIRE ANCHOR		
TRANSMISSION TOWER (WOOD, STEEL)		
ELECTRIC PEDESTAL, TRANSFORMER		
ELECTRIC MANHOLE, METER		
ELECTRIC OUTLET, LANDSCAPE LIGHT		
TELEPHONE		
TELEPHONE MANHOLE, PEDESTAL		
FIBER OPTIC		
FIBER OPTIC MANHOLE		
CABLE TV		
CABLE TV PEDESTAL, SATELLITE DISH		
UNDERGROUND DUCT, UTILIDOR (ELECTRIC, TELEPHONE, FIBER OPTIC)		
VENT		

TRAFFIC

	EXISTING	PROPOSED
LOAD CENTER		
TRAFFIC & BEACON CONTROLLER		
TYPE 1A, II, III, IV JUNCTION BOX		
FIBER OPTIC VAULT		
ELECTROLIER		
HIGHTOWER		
SIGNAL POLE WITH MASTARM		
PEDESTRIAN PUSH BUTTON & SIGNAL		
VEHICULAR SIGNAL		
VEHICULAR SIGNAL LEFT & RIGHT		
OPTICAL, CAMERA, RADAR, AND GPS DETECTOR		
LOOP DETECTOR		
COMMUNICATION ANTENNA		
MASTARM BEACON		
RURAL & SCHOOL ZONE BEACON		
LOOP DETECTOR CONDUIT		
SIGNAL CONDUIT		
LIGHTING CONDUIT		
SIGNAL & LIGHTING CONDUIT		
CONDUIT BORING		
CONDUIT SIZE IN INCHES		
INTERCONNECT		
SIGN POST		

PAVEMENT MARKINGS

	EXISTING	PROPOSED
PROJECT CENTERLINE		
8" & 4" WHITE SOLID STRIPE		
4" WHITE SKIP STRIPE		
8" WHITE LANE GUIDE SKIP		
8" & 4" YELLOW SOLID STRIPE		
4" YELLOW SKIP STRIPE		

RIGHT-OF-WAY

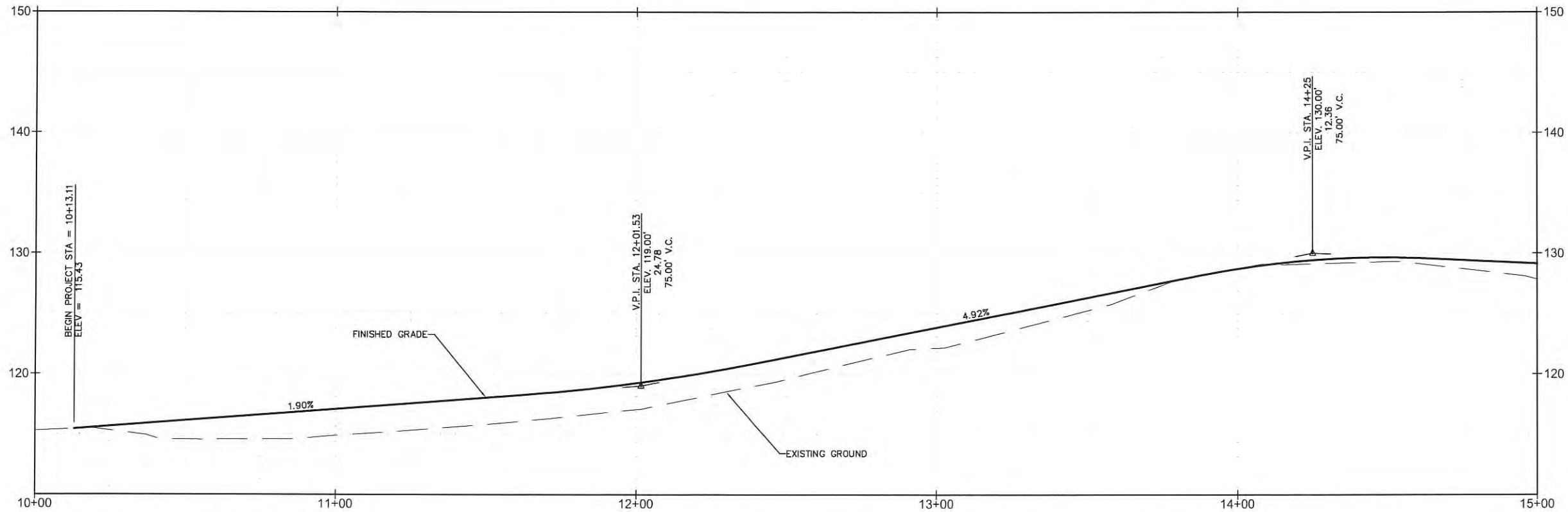
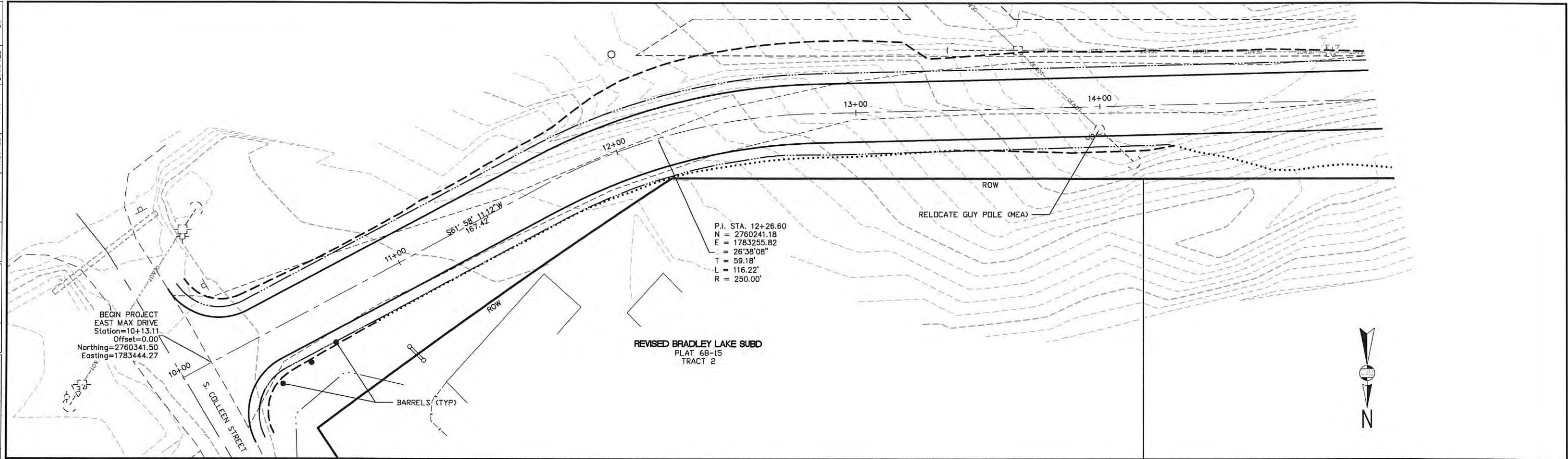
	RECOVERED	SET THIS PROJECT
FEDERAL GOV'T SURVEY MONUMENT		
GOV'T CONTROL STATION		
PRIMARY MONUMENT (BRASS/AL CAP)		
MISC SECONDARY CORNER		
PRIMARY CENTERLINE MONUMENT		
SECONDARY CENTERLINE MONUMENT		
RANDOM CONTROL MONUMENT		
PRIMARY GPS CONTROL POINT		
HORIZONTAL CONTROL POINT		
SECONDARY CONTROL POINT		
VERTICAL BENCHMARK		
TEMPORARY BENCHMARK		
TOWNSHIP AND RANGE LINES		
SECTION LINE		
1/4 SECTION LINE		
1/16 SECTION LINE		
CORPORATE or CITY LIMITS		
EXISTING RIGHT-OF-WAY		
RIGHT-OF-WAY OR EASEMENT REQUIRED		
PROJECT RIGHT-OF-WAY LINE		
EXISTING RIGHT-OF-WAY EASEMENT		
EXISTING PROPERTY LINE		
CONTROLLED ACCESS LINE		
EXISTING UTILITY EASEMENT		
PROPOSED UTILITY EASEMENT		
EXISTING CENTERLINE		
RAILROAD CENTERLINE		
TEMPORARY CONSTRUCTION EASEMENT		
TEMPORARY CONSTRUCTION PERMIT		

TOPOGRAPHY

	EXISTING	PROPOSED
LAKE OR POND, WETLANDS		
TREE (CONIFER/DECIDUOUS) TREELINE (EDGE OF VEGETATION)		
PLANTER		
BUILDING OR FOUNDATION		
CONTOUR, MAJOR OR MINOR		
DRAINAGE FLOW		
CREEK (CENTERLINE)		
RIVER (EDGE OF WATER)		

FILE W:\ASSTL\FILES\MAX DRIVE\ACAD\EST MAX DRIVE - DESIGN-BND 12082022.DWG

DATE 06/16/2022 LAYOUT DESIGNED TA CHECKED HH DRAFTED CW



VERIFY SCALE		THIS BAR REPRESENTS ONE INCH ON ORIGINAL DRAWING.				IF BAR IS NOT ONE INCH, ADJUST DRAWING SCALE ACCORDINGLY.				FULL SIZE SCALE	
DATA	DRAWN BY	CHECKED BY	DATA	DRAWN BY	CHECKED BY	REV	DATE	DESCRIPTION	BY	HORIZ SCALE:	VERT SCALE:
BASE			TELEPHONE								
TOPOGRAPHY			ELECTRIC								
PROFILE			CABLE TV								
SANITARY SEWER			TRAFFIC SIGNAL								
STORM SEWER			DESIGN								
WATER			QUANTITIES								
GAS			MUN. FINAL CHECK								
PLAN CHECK					REVISIONS						

hbx
The Boulet Company, Inc.
601 E. 57th Place #102
Anchorage, AK, 99518
Ph. 907-522-6776
License No. AECC957

95% REVIEW

CONSULTANT

SEAL

EAST MAX DRIVE
PALMER, ALASKA

CIVIL SITE & UTILITY IMPROVEMENTS

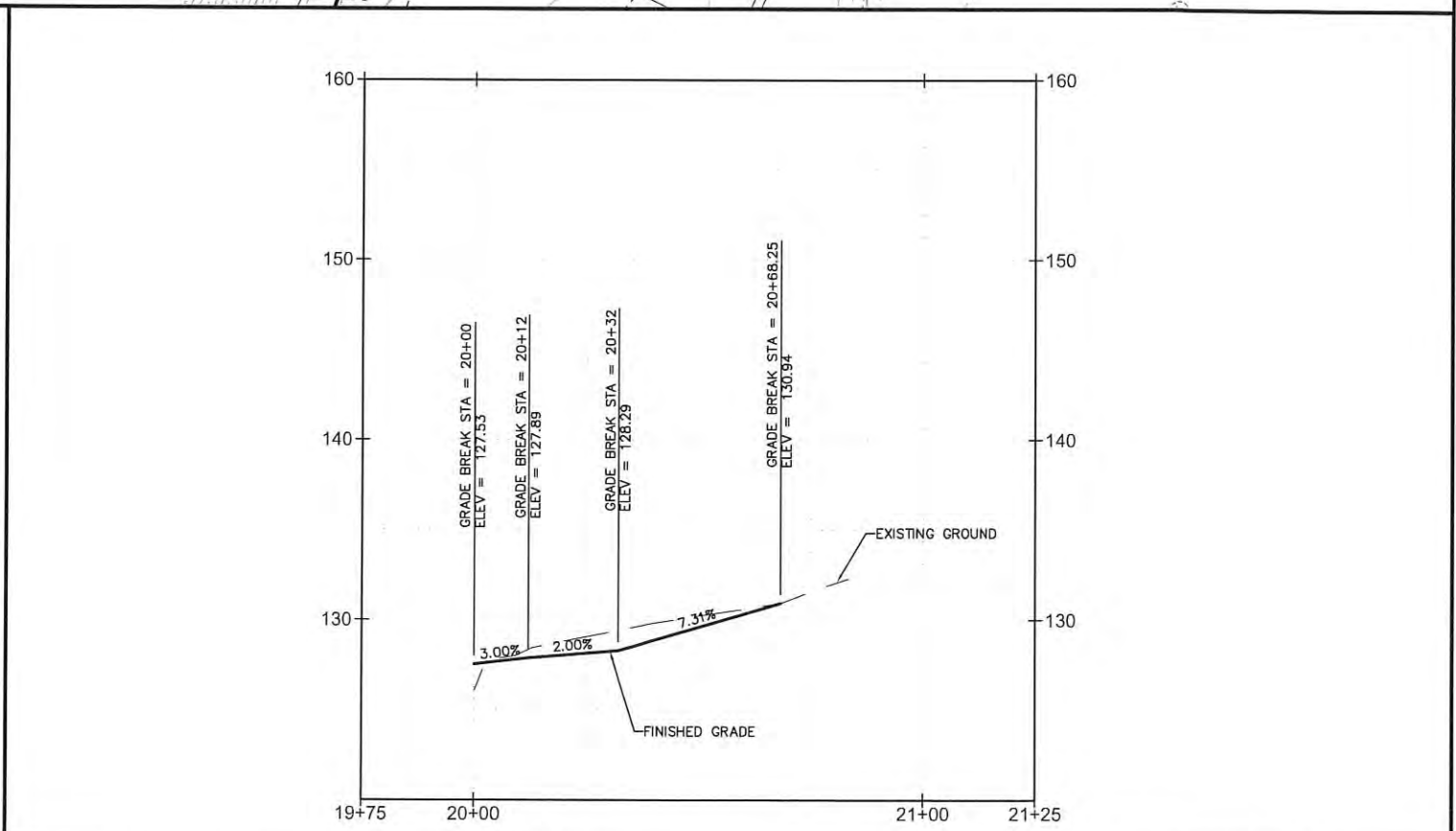
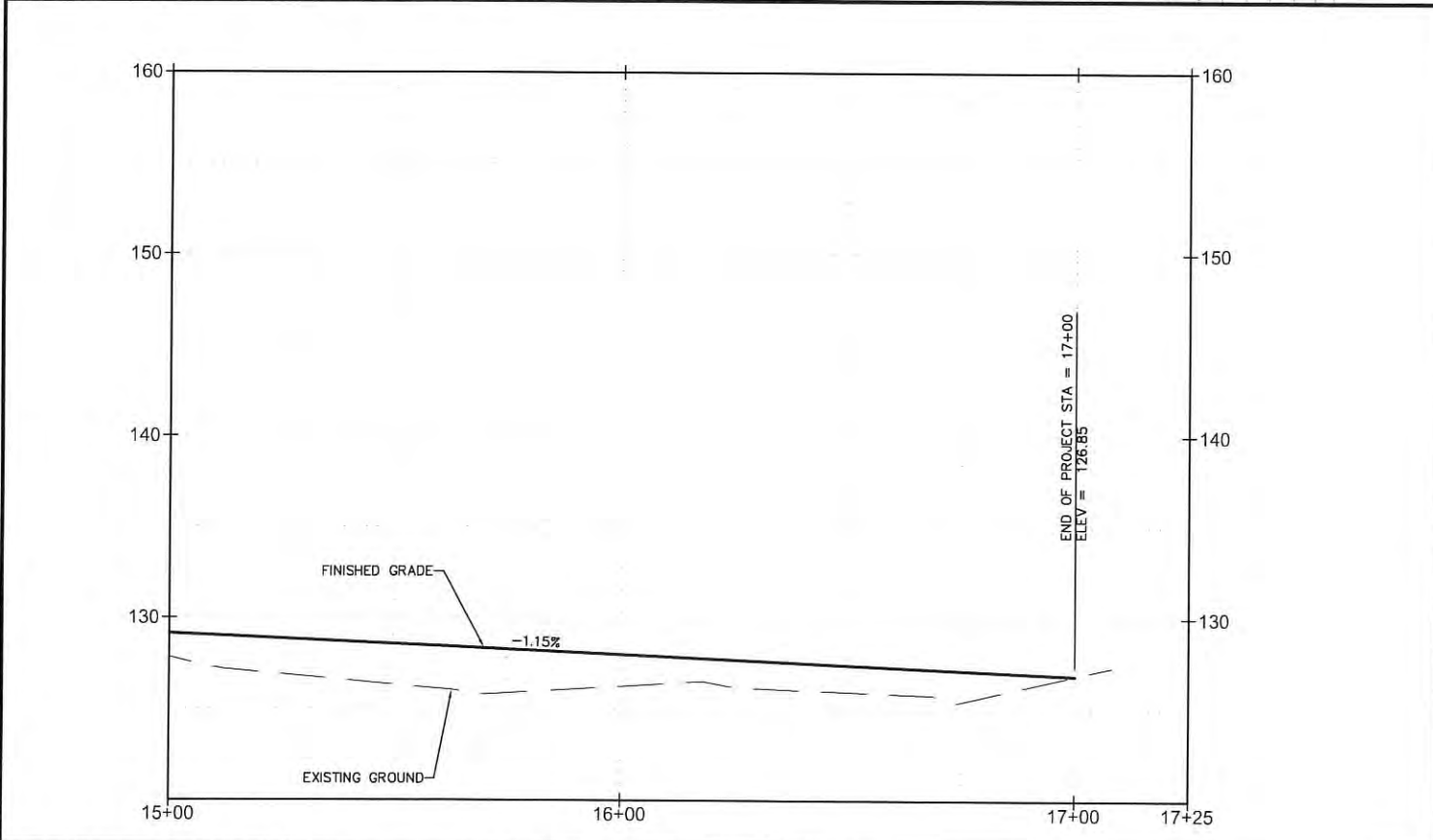
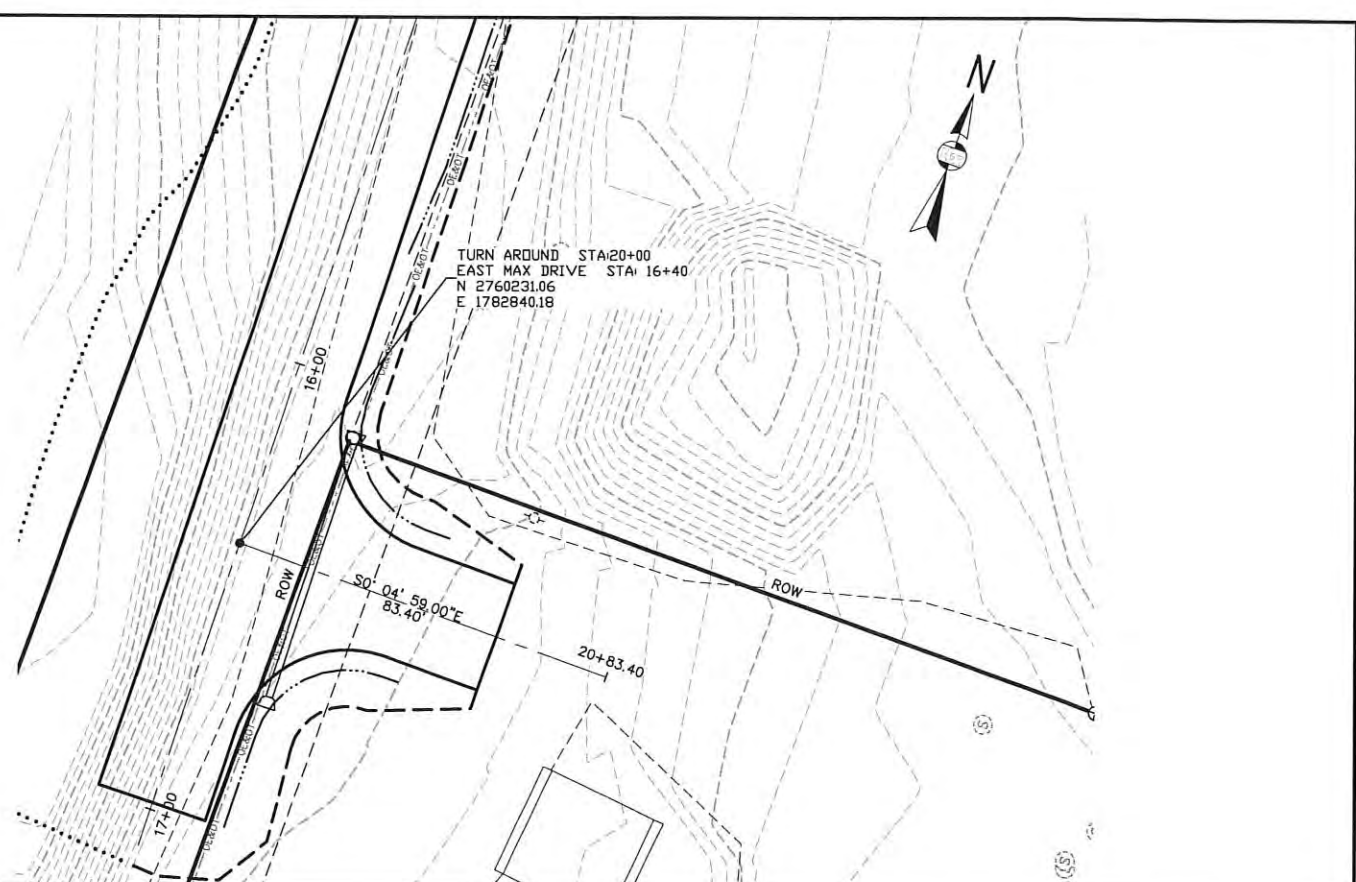
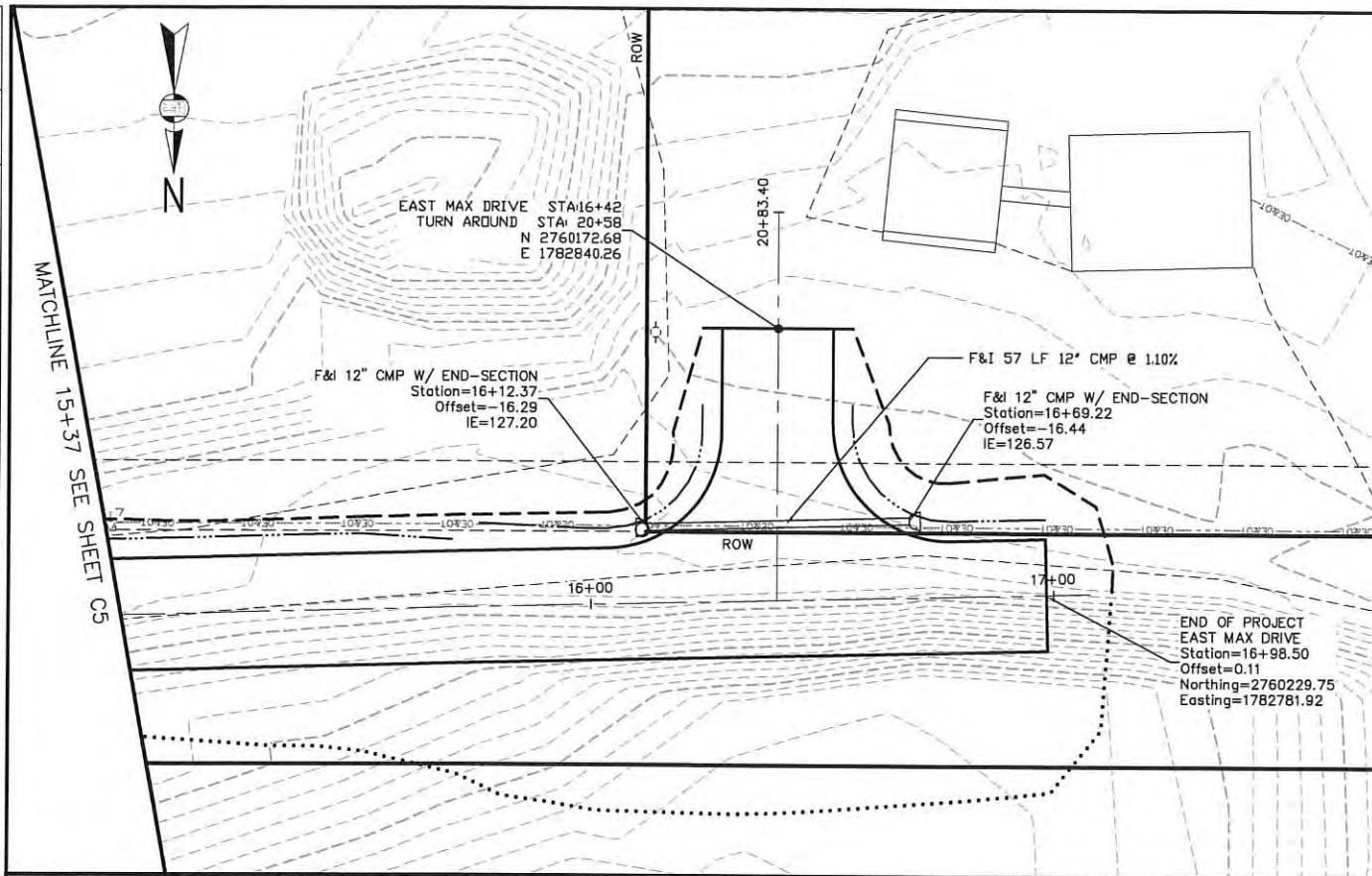
ROADWAY PLAN AND PROFILE

HORIZ SCALE: 1"=20'
VERT SCALE: 1"=4'

DATE: 12/08/2022

SHEET **C4** OF **C5**

FILE: W:\ASL\FILES\MAX DRIVE\ACAD\EST MAX DRIVE - DESIGN-BND 12082022.DWG
DATE: 06/16/2022
LAYOUT
DESIGNED
TA
CHECKED
HH
DRAFTED
CW



VERIFY SCALE		THIS BAR REPRESENTS ONE INCH ON ORIGINAL DRAWING.		IF BAR IS NOT ONE INCH, ADJUST DRAWING SCALE ACCORDINGLY.		FULL SIZE SCALE	
DATA		DRAWN BY		CHECKED BY		REV	
BASE							
TOPOGRAPHY							
PROFILE							
SANITARY SEWER							
STORM SEWER							
WATER							
GAS							
PLAN CHECK						REVISIONS	

tlc
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License No. AECC957

95% REVIEW
SEAL

CONSULTANT

EAST MAX DRIVE
PALMER, ALASKA
CIVIL SITE & UTILITY IMPROVEMENTS
ROADWAY PLAN AND PROFILE
HORZ SCALE: 1"=20'
VERT SCALE: 1"=4'
DATE: 12/08/2022
SHEET **C5** OF **C5**

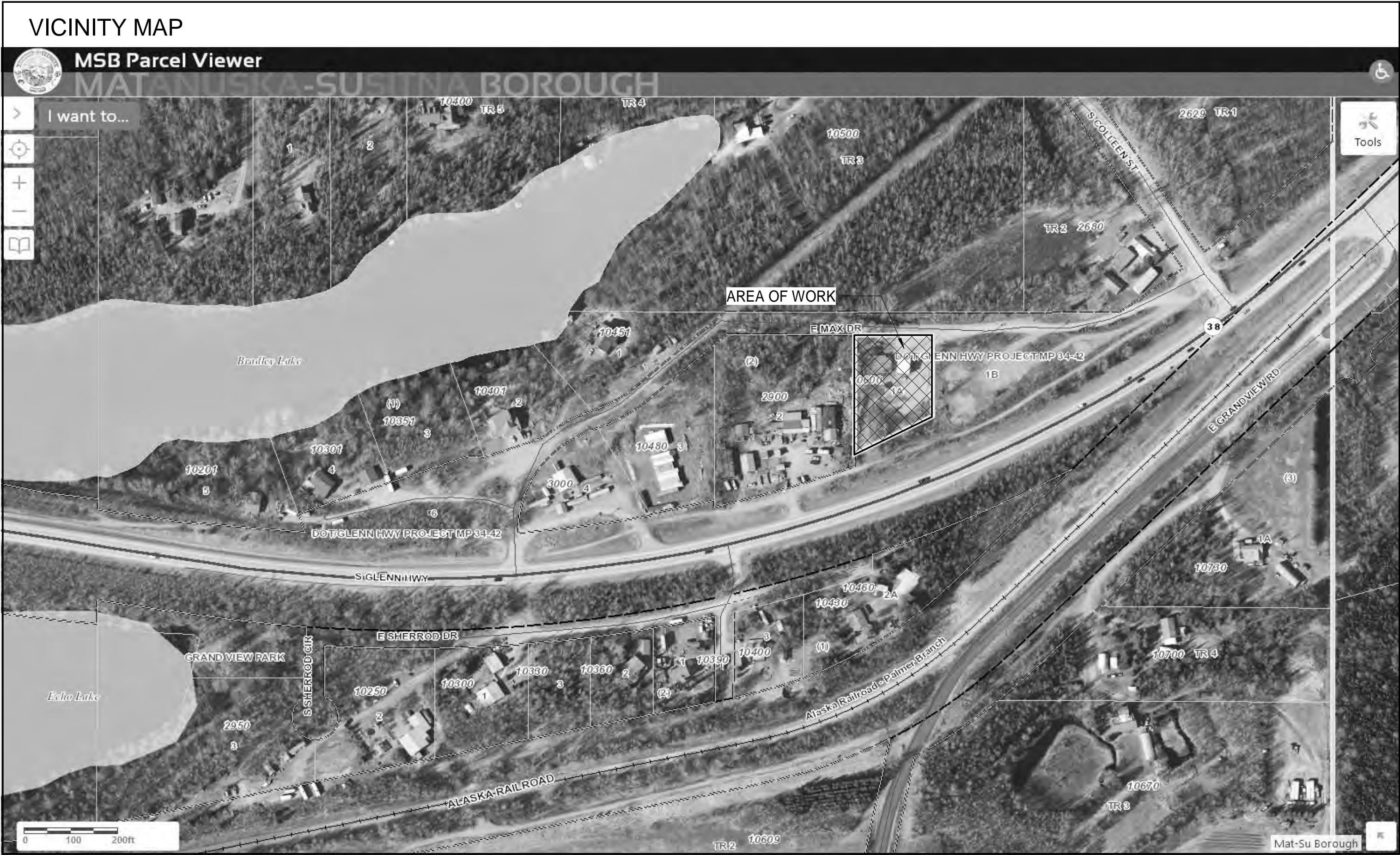
SMOKE OUT POINT

10600 E. MAX DRIVE

PALMER, ALASKA

AUGUST 27, 2021

CONSTRUCTION DRAWINGS



ABBREVIATIONS:

A.F.F. ABOVE FINISHED FLOOR
A.C.T. ACOUSTICAL
ADDN TILE
ALUM ADDITIONAL
A.B. ALUMINUM
& ANCHOR BOLT
APPROX APPROXIMATELY
ARCH ARCHITECTURAL
ASPH ASPHALT
@
A.W.W. AT
BK ALL WEATHER WOOD
B.C. BACK
BM BASE CABINET
BLK BEAM
BLKG BLOCK
CAB BLOCKING
CPT CABINET
CSMT CARPET
CLG CASEMENT
CL CEILING
C TO C CENTERLINE
C.T. CENTER TO CENTER
CERAMIC TILE

COL COLUMN
COMM COMMUNICATION
CONC CONCRETE
C.M.U. CONCRETE MASONRY
CONN UNITS
C.J. CONNECTION
CONST CONTROL JOINT OR
CONT CONSTRUCTION JOINT
CU CONTINUOUS
DK CUBIC
DEMO DEMOLITION
DTL DETAIL
DIA DIAMETER
DIFF DIFFUSER
DIM DIMENSION
DR DOOR
DN DOWN
DS DOWN SPOUT
D.B. DRAWER BANK
DWG DRAWING
D.F. DRINKING FOUNTAIN
EA EACH
E.W. EACH WAY

ELEC ELECTRICAL
EL ELEVATION
EXIST EXISTING
EXP EXPANSION
EXT EXTERIOR
E.I.F.S. EXTERIOR INSULATION &
FAB FABRICATED
F.O.C. FACE OF CONCRETE
F.O.F. FACE OF FINISH
F.O.S. FACE OF STUDS
F.O.W. FACE OF WALL
F TO F FACE TO FACE
FACTORY FINISH
F.F. FIRE EXTINGUISHER
F.P. FIREPROOF
FIG FINISH(ED)
FIN FINISHED FLOOR ELEVATION
F.F.E. FIRE EXTINGUISHER
F.E.C. CABINET
F.T. FIRE TREATED
F.L. FLOOR
F.D. FLOOR DRAIN
F.L. FLOW LINE

FT. FOOT
FTG FOOTING
FDN FOUNDATION
GALV GALVANIZED
GSP GALVANIZED STEEL
GLB PIPE
GOVT GLULAM BEAM
G.B. GOVERNMENT
GR GRAB BAR
GA GRADE
GYP GAUGE
G.W.B. GYPSUM
HC GYPSUM WALL BOARD
H.M. HANDICAPPED
HORIZ HOLLOW METAL
H.B. HORIZONTAL
IN HOSE BIB
INCL INCH
INSUL INCLUDE(ING)
INT INSULATE(ION)
JAN JANITOR
JT JOINT
LAV LAMINATE
LAV LAVATORY

LT LEFT
LB POUND
LBR LUMBER
M.O. MASONRY OPENING
MFG MANUFACTURER(ED)
MAX MAXIMUM
MECH MECHANICAL
MEMB MEMBRANE
MWP WATERPROOFING
MTL METAL
MIN MINIMUM
MIR MIRROR
MISC MISCELLANEOUS
NOM NOMINAL
N.A. NOT APPLICABLE
N.T.S. NOT IN CONTRACT
NO. NOT TO SCALE
NUMBER
O.C. ON CENTER
OPNG OPENING
OPP OPPOSITE
ORIG ORIGINAL
O.R.D. OVERFLOW ROOF DRAIN
OH OVERHEAD

OHD OVERHEAD DOOR
PR PAIR
P. LAM PLASTIC LAMINATE
PL PLATE
PLYWD PLYWOOD
PRE ENG PREVIOUSLY ENGINEERED
PSF POUNDS PER SQUARE
Q.T. QUART
RAD RADIUS
R.D. ROOF DRAIN
REF REFERENCE
REINF REINFORCE
REQD REQUIRED
REV REVERSED
RM ROOM
RGH ROOM
R.O. ROUGH
Ø ROUGH OPENING
RBR ROUND
S.S. RUBBER
OPN OPENING
SCHD SCHEDULE
SECT SECTION
SHIT SHEET
SV SHEET VINYL

SIM SIMILAR
S.B. SINK BASE
S.D. SMOKE DETECTOR
S.C. SOLID CORE
S.C.W. SOLID CORE WOOD
SPEC SPECIFICATION
SQ SQUARE FEET
SST STAINLESS STEEL
STL STEEL
STRUC STRUCTURAL
SUSP SUSPENDED
S.A.T. SUSPENDED ACOUSTICAL
TV TILE
TELE TELEVISION
THRU THROUGH
T.I. TENANT IMPROVEMENT
T.O. TOP OF
TS TUBE STEEL
TRANSV TYPICAL
U.O.N. TRANSVERSE
VAC UNLESS OTHERWISE NOTED
V.B. VAPOR BARRIER

VERT VERTICAL
VFY VERIFY
VEST VESTIBULE
V.C.T. VINYL COMPOSITION
V.C. TILE
W.W.F. WALL CABINET
W.W.M. WELDED WIRE FABRIC
W.W.M. WELDED WIRE MESH
W/ WITH
W/O WITHOUT
WD WOOD

PROJECT NARRATIVE

THE SCOPE OF WORK REQUIRED BY THE GENERAL CONTRACTOR (GC) AND THEIR SUBCONTRACTORS (SC) IS AS FOLLOWS:

ANY DESIGN WORK BY THE GC SHALL BE SUBMITTED AND APPROVED BY THE OWNER'S REPRESENTATIVE, ARCHITECT, ENGINEERS, AND THE STATE FIRE MARSHALS OFFICE BEFORE COMMENCING WITH CONSTRUCTION.

THIS PROJECT IS A NEW RETAIL MARIJUANA SHOP OUTSIDE THE CITY LIMITS OF PALMER, ALASKA. THE BUILDING IS CONSTRUCTED AS A PRE-ENGINEERED METAL BUILDING AND IS (2) STORIES TALL. THE FIRST FLOOR IS PRODUCT PROCESSING, STORAGE, AND RETAIL SPACE. THE PARTIAL SECOND FLOOR IS OFFICES.

SHEET INDEX

ARCHITECTURAL (907 ARCHITECTURE)

G1.1 FIRST FLOOR CODE PLAN & ANALYSIS
G1.2 CONCEPTUAL SITE PLAN

A1.1 FIRST FLOOR PLAN, VERT ASSEM
A1.2 SECOND FLOOR PLAN, VERT ASSEM
A1.3 ROOF PLAN
A2.1 EXTERIOR ELEVATIONS
A2.2 EXTERIOR ELEVATIONS
A3.1 BUILDING SECTIONS
A3.2 WALL SECTIONS
A4.1 DOOR INFO
A6.0 EXTERIOR PERSPECTIVES

STRUCTURAL (TERRAMOUNT ENG)

S1.0 DESIGN CRITERIA
S1.1 SPECIAL INSPECTION
S1.2 CONCRETE SCHEDULE & TYPICAL DETAILS
S1.3 WOOD SHEAR WALL DETAILS
S1.4 WOOD FRAMING SCHEDULE
S2.0 FOUNDATION PLAN
S2.1 FIRST FLOOR SHEAR WALL PLAN
S2.2 2ND FLOOR FRAMING PLAN
S2.3 2ND FLOOR PLAN
S3.0 SECTION
S3.1 SECTION
S3.2 SECTION
S3.3 SECTION
S4.0 SECTION DETAILS

MECHANICAL

DEFERRED SUBMITTAL

ELECTRICAL

DEFERRED SUBMITTAL

GENERAL NOTES

- BUILDING SHALL CONFORM TO INTERNATIONAL BUILDING CODE, 2012 EDITION AND ALL APPLICABLE CODES.
- THESE DRAWINGS ARE SUPPLIED TO THE OWNER / GENERAL CONTRACTOR AND OTHERS FOR THEIR USE ON THIS SPECIFIC PROJECT.
- THE ORGANIZATION OF THESE DRAWINGS IS NOT INTENDED TO CONTROL THE DIVISION OF WORK AMONG THE SUB-CONTRACTORS. THE DIVISION OF THE WORK SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT AND MATERIALS REQUIRED TO COMPLETE ALL WORK AS SHOWN OR AS IMPLIED ON THESE DRAWINGS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL FACILITIES FOR LIGHT AND POWER WITHIN THE PREMISES AND IN THE CONSTRUCTION AREA DURING THE ENTIRE CONSTRUCTION PERIOD. POWER SHALL BE OBTAINED FROM THE EXISTING DISTRIBUTION SYSTEM. PROVIDE NECESSARY MATERIALS AND LABOR FOR POWER CONNECTIONS FOR MACHINES, PORTABLE TOOLS, ETC.. AS USED BY OTHER TRADES, REGARDLESS OF SIZE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL RUBBISH AND DEBRIS RESULTING FROM CONSTRUCTION AT CONTRACTOR'S EXPENSE.
- ALL DIMENSIONS ARE FACE OF STUD TO FACE OF STUD, UNLESS NOTED OTHERWISE.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND FIELD VERIFY CONDITIONS BEFORE PROCEEDING WITH ANY WORK.
- ALL CONTRACTORS AND SUB CONTRACTORS ARE RESPONSIBLE FOR CONFORMING TO ALL APPLICABLE LOCAL CODES AND TRADE STANDARDS.
- ALL COLORS, FINISHES, AND EQUIPMENT SHALL BE SELECTED BY THE OWNER.
- ANY AND ALL DISCREPANCIES BETWEEN DRAWING SHEETS, DISCIPLINES, DIMENSIONS, DETAILS, MATERIALS, AND COLORS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO BIDDING AND/ OR CONSTRUCTION IMMEDIATELY UPON DISCOVERY FOR CLARIFICATION.
- DO NOT SCALE DIMENSIONS FROM BLUEPRINTS, ANY AND ALL DISCREPANCIES OF DIMENSIONS BETWEEN DRAWING SHEETS, DISCIPLINES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION IMMEDIATELY UPON DISCOVERY FOR CLARIFICATION.
- CIVIL, MECHANICAL AND ELECTRICAL DRAWINGS ARE NOT WITHIN THE SCOPE OF THESE DRAWINGS AND ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. SUCH DRAWINGS SHALL BE SUBMITTED UNDER A SEPARATE COVER.
- ALL UTILITY DESIGN AND CONNECTIONS PROVIDED BY OWNER.



PROJECT :

SMOKE OUT POINT

10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE :

COVER SHEET

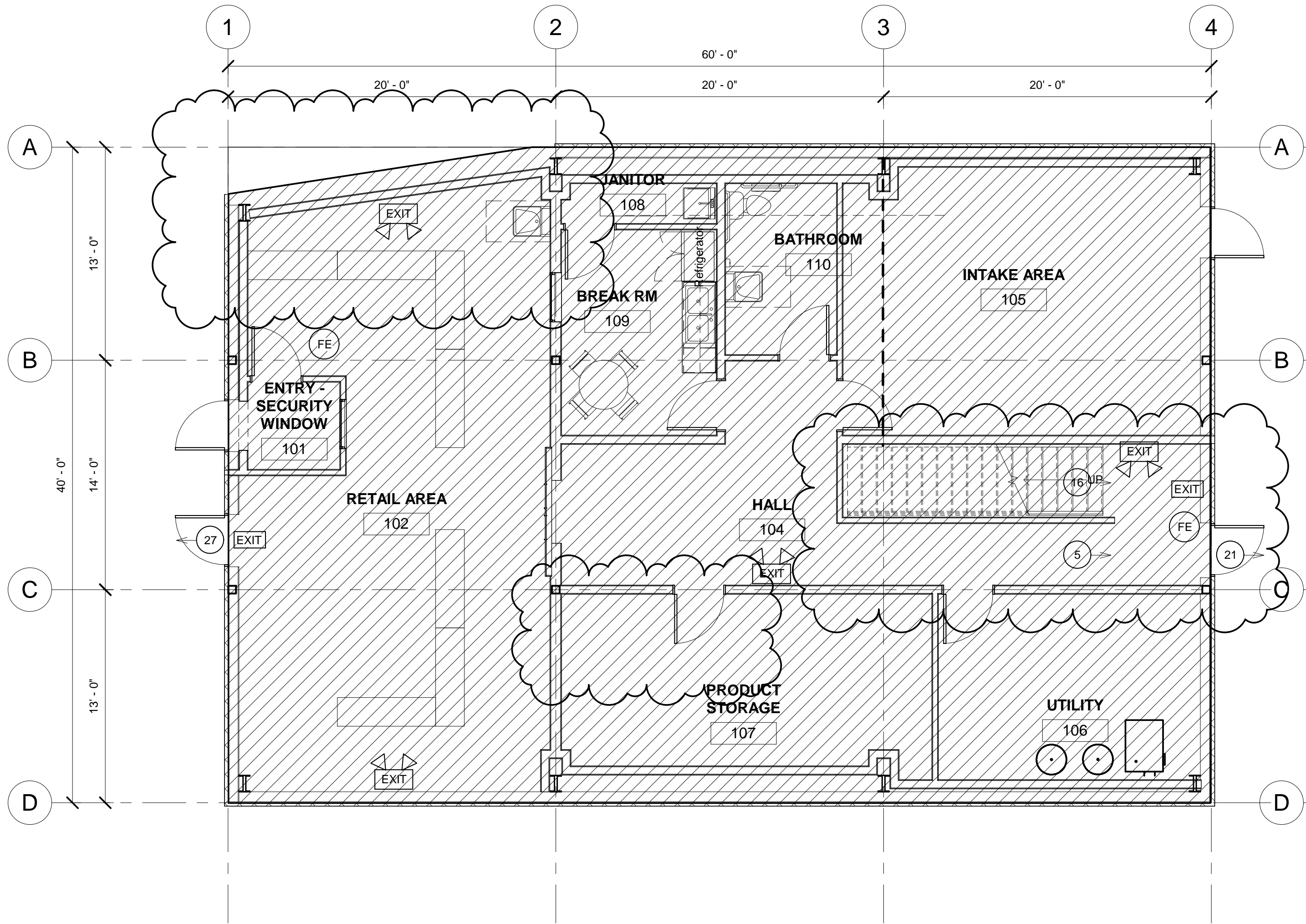
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DRAWN MFW
CHECKED MFW
DATE 8/27/2021

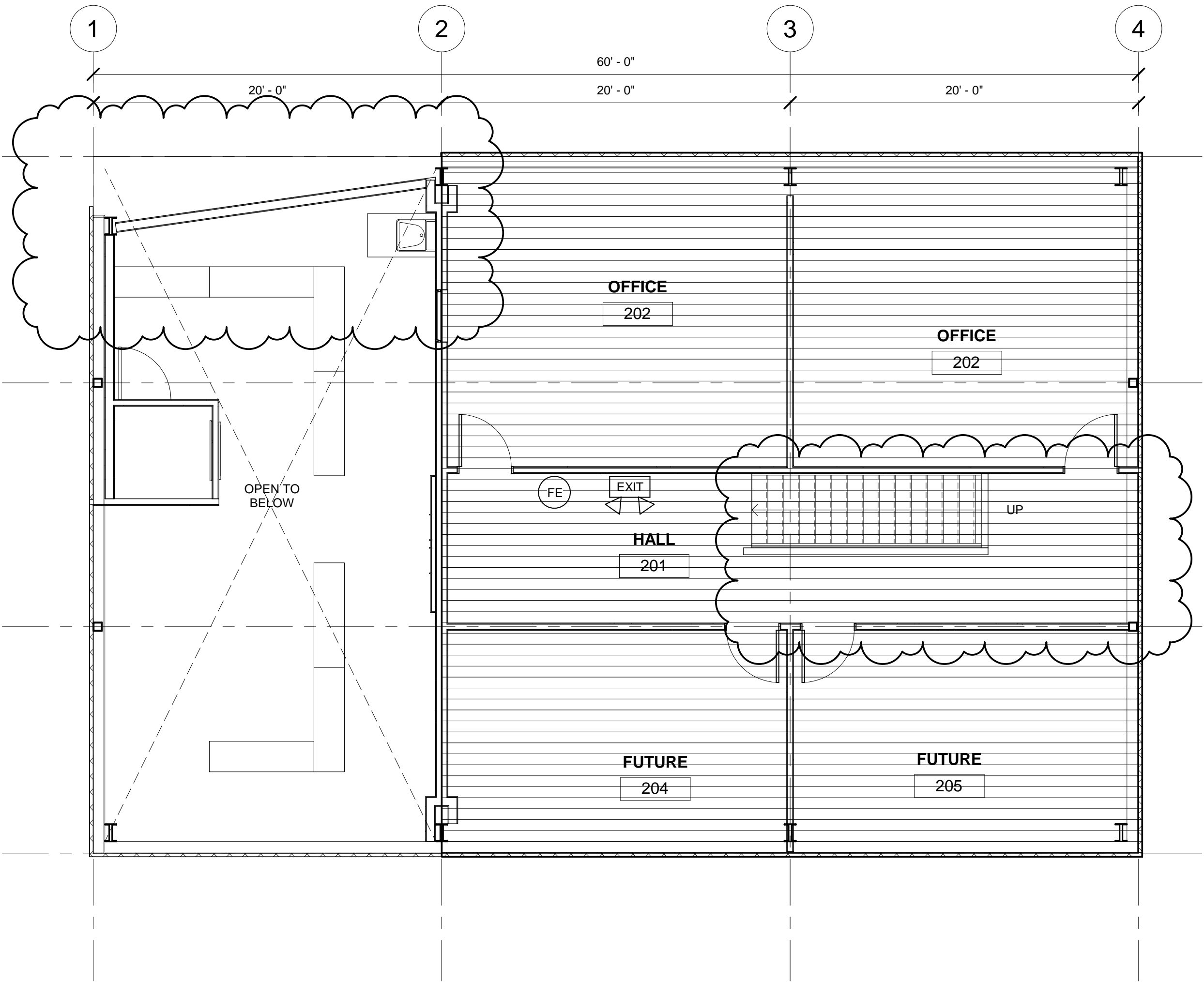
PROJECT No.
21126.00
SHEET NUMBER

CV1.0

No.	Date	Item
REVISIONS		



1 CODE PLAN - FIRST FLOOR
G1.1 SCALE: 3/16" = 1'-0"



2 CODE PLAN - SECOND FLOOR
G1.1 SCALE: 3/16" = 1'-0"

CODE ANALYSIS

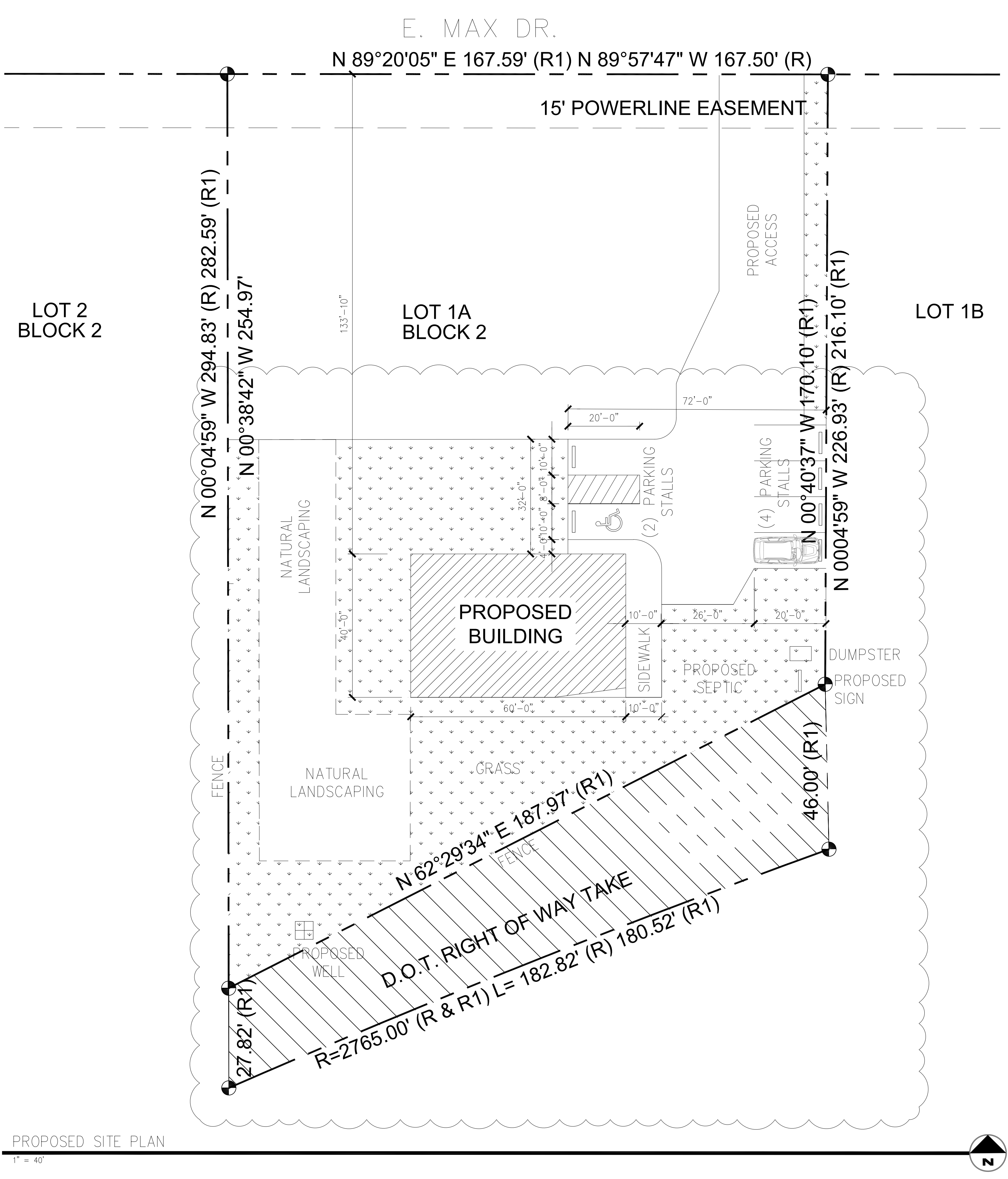
CODES:			2012 INTERNATIONAL BUILDING CODE w/ STATE OF ALASKA AMENDMENTS 2012 INTERNATIONAL FIRE CODE w/ STATE OF ALASKA AMENDMENTS ALL CURRENT STATE OF ALASKA AMENDMENTS TO APPLY
OCCUPANCY CLASSIFICATION:	M (MERCANTILE)		SECTION 309
	B (BUSINESS)		SECTION 304
CONSTRUCTION TYPE:	III-B (NON-SPRINKLERED)		TABLE 601
AREA:	(M) ALLOWABLE:	12,500 SF	TABLE 503
	(M) PROVIDED (1ST FL):	2,400 SF => SATISFIED	
	(B) ALLOWABLE:	19,000 SF	
	(B) PROVIDED (2ND FL):	1,600 SF => SATISFIED	
	TOTAL SF:	4,000 SF	
HEIGHT:	(M) ALLOWABLE:	2 STORY	TABLE 601
	(M) PROVIDED:	2 STORY => SATISFIED	
	(B) ALLOWABLE:	3 STORY	
	(B) PROVIDED:	2 STORY => SATISFIED	
CONSTRUCTION REQUIREMENTS:	STRUCTURAL FRAME	= 0 HR	
	BEARING WALLS	= 2 HR	
	EXTERIOR	= 0 HR	
	INTERIOR	= 0 HR	
	NON-BEARING WALLS/PARTITIONS	= 0 HR	TABLE 508.4
	EXTERIOR	= 0 HR	
	INTERIOR	= 0 HR	
	FLOOR CONSTRUCTION	= 0 HR	SECTION 1004, TABLE 1004.1
OCCUPANCY SEPARATION:	ROOF CONSTRUCTION	= 0 HR	
	M/B = NO SEPARATION REQUIRED		
ACTUAL CALCULATED OCCUPANT LOAD:	FIRST FL (SALES) = 800 SF GROSS / 30 = 27 OCCUPANTS		
	FIRST FL (STG/STOCK) = 1,600 / 300 = 5 OCCUPANTS		
	SECOND FL = 1,600 SF NET / 100 = 16 OCCUPANTS		
	TOTAL OCCUPANT LOAD = 48 OCCUPANTS		
SPRINKLED:	NOT REQUIRED		
FIRE ALARM:	NOT REQUIRED		

CODE REVIEW LEGEND

	M (MERCANTILE OCCUPANCY)
	B (BUSINESS OCCUPANCY)
	OCCUPANT LOAD AND DIRECTION
	FIRE EXTINGUISHER CABINET (FIRE EXTINGUISHER TO BE 2A10B/C)
	RATED FIRE SEPARATIONS (SEE LABEL ABOVE LINE FOR RATING)
	EXIT SIGN (REFER TO ELECTRICAL)
	EMERGENCY LIGHTING (REFER TO ELECTRICAL)

1	7.14.2023	REV 1 - OWNER CHANGES
No.	Date	Item
REVISIONS		

PLOTTING DATE: XREF:



PROPERTY INFORMATION	
LEGAL DESCRIPTION:	BRADLEY LAKE SUBDIVISION, BLOCK 2, LOT 1A
PLAT NO.	81-156
STREET ADDRESS:	10600 E. MAX DRIVE, PALMER, ALASKA
SIZE:	0.86 ACRES



SMOKE OUT POINT

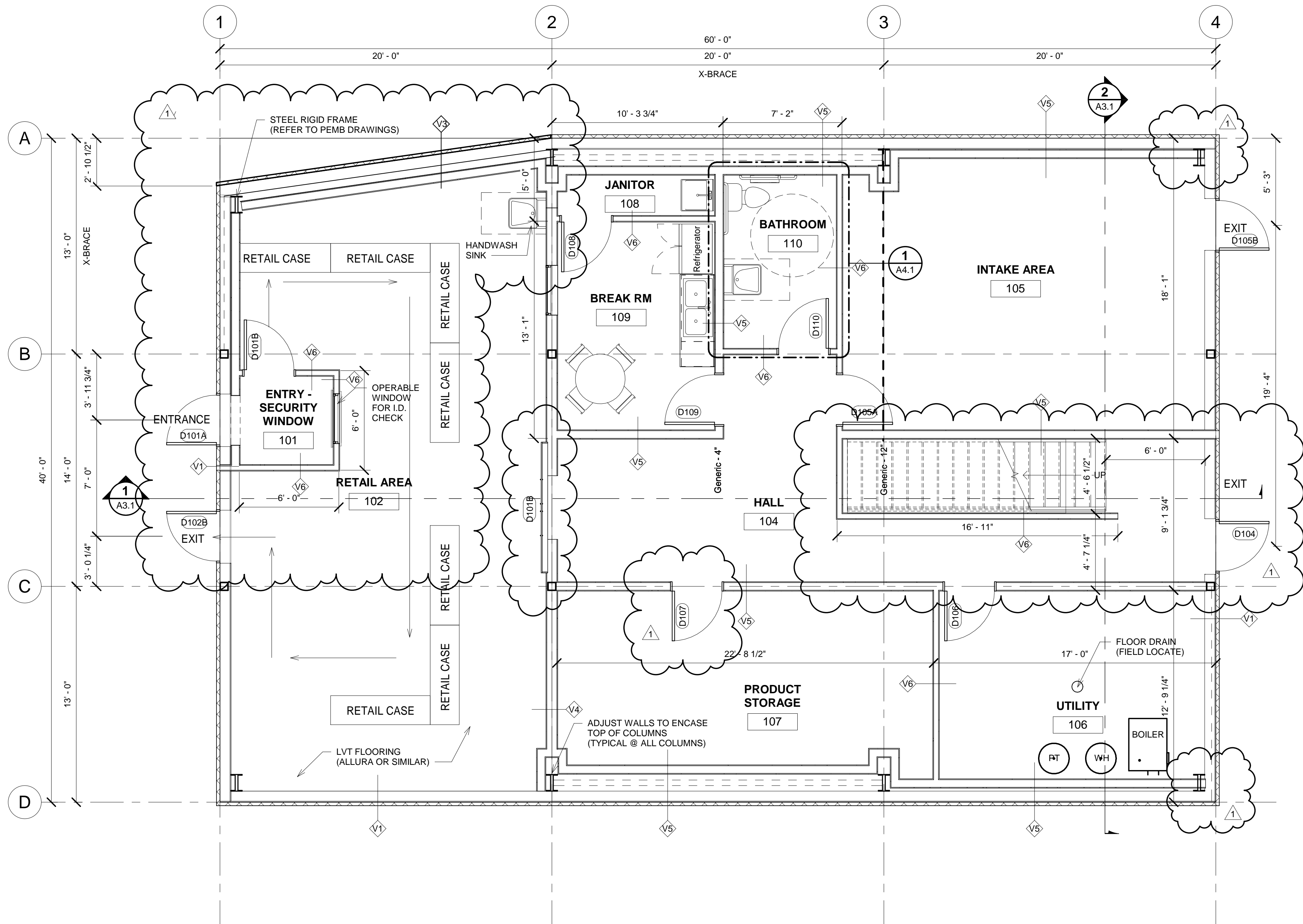
10600 E. MAX DR, PALMER, ALASKA

PROPOSED SITE PLAN
REVISIONS: 10.7.21 ADDED DIMENSIONS 4.29.22 OWNER REVISIONS 6.7.22 OWNER REVISIONS 8.9.22 OWNER REVISIONS 8.26.22 OWNER REVISIONS 7.14.23 OWNER REVISIONS

DRAWN BY: MFW
CHECKED BY: MFW
DATE: 8.26.2022
JOB NUMBER: 21126.00

SHEET CONTENTS:
PROPERTY INFO PROPOSED SITE PLAN

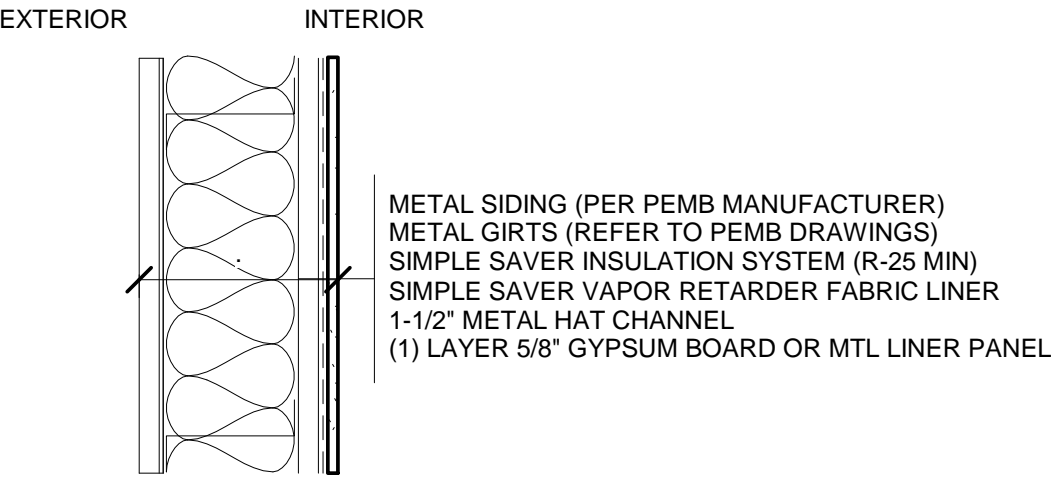
CATEGORY	SHEET
G	1.2



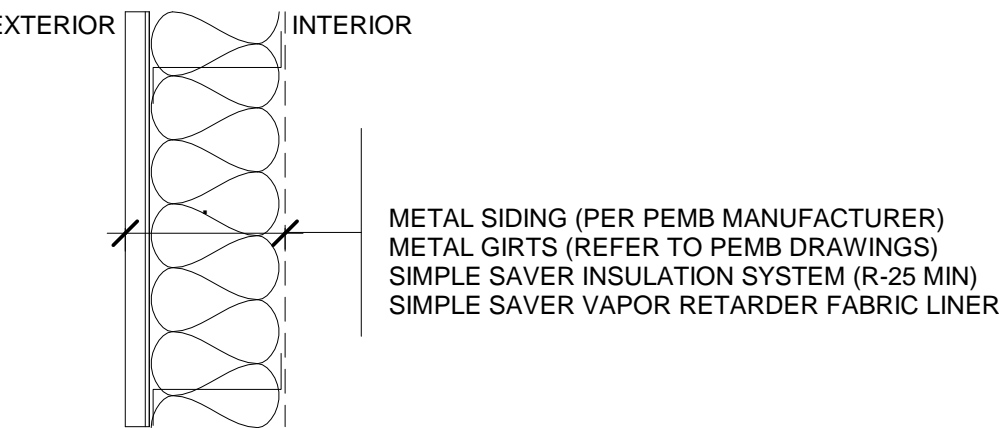
1 FIRST FLOOR
A1.1 SCALE: 1/4" = 1'-0"

VERTICAL ASSEMBLIES :

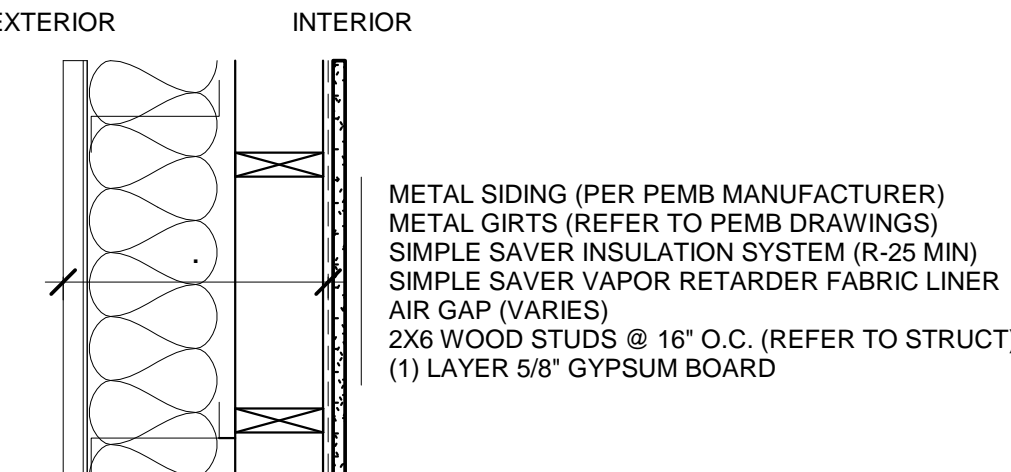
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2. REFER TO STRUCTURAL SHEAR WALL SCHEDULE FOR SHEATHING REQUIREMENTS



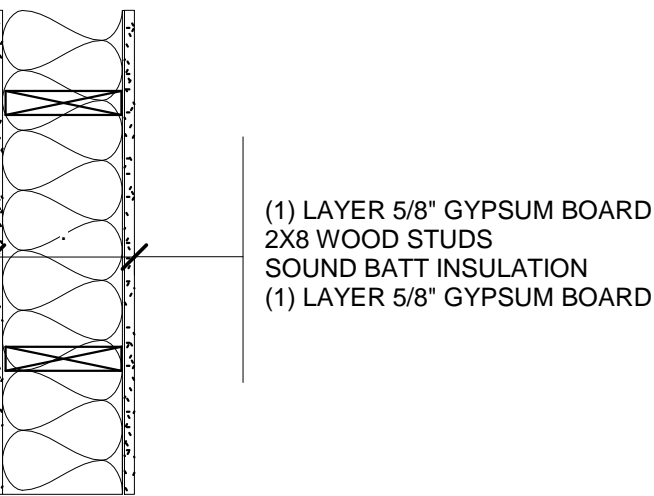
V1 - EXTERIOR WALL



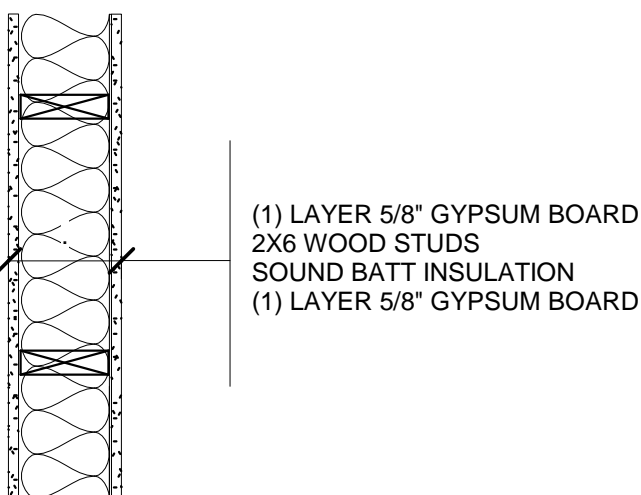
V2 - EXTERIOR WALL



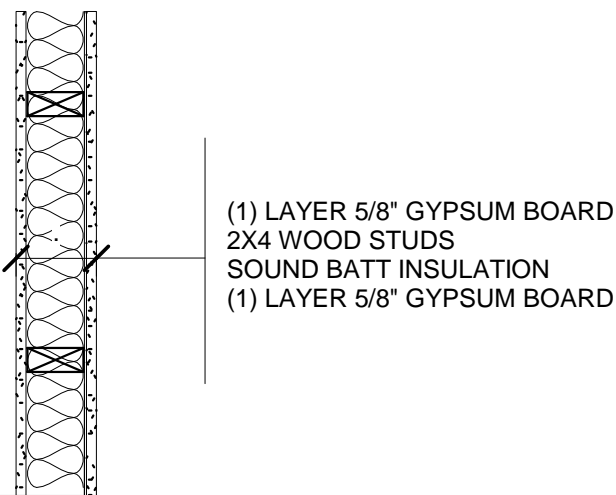
V3 - EXTERIOR WALL



V4 - INTERIOR WALL

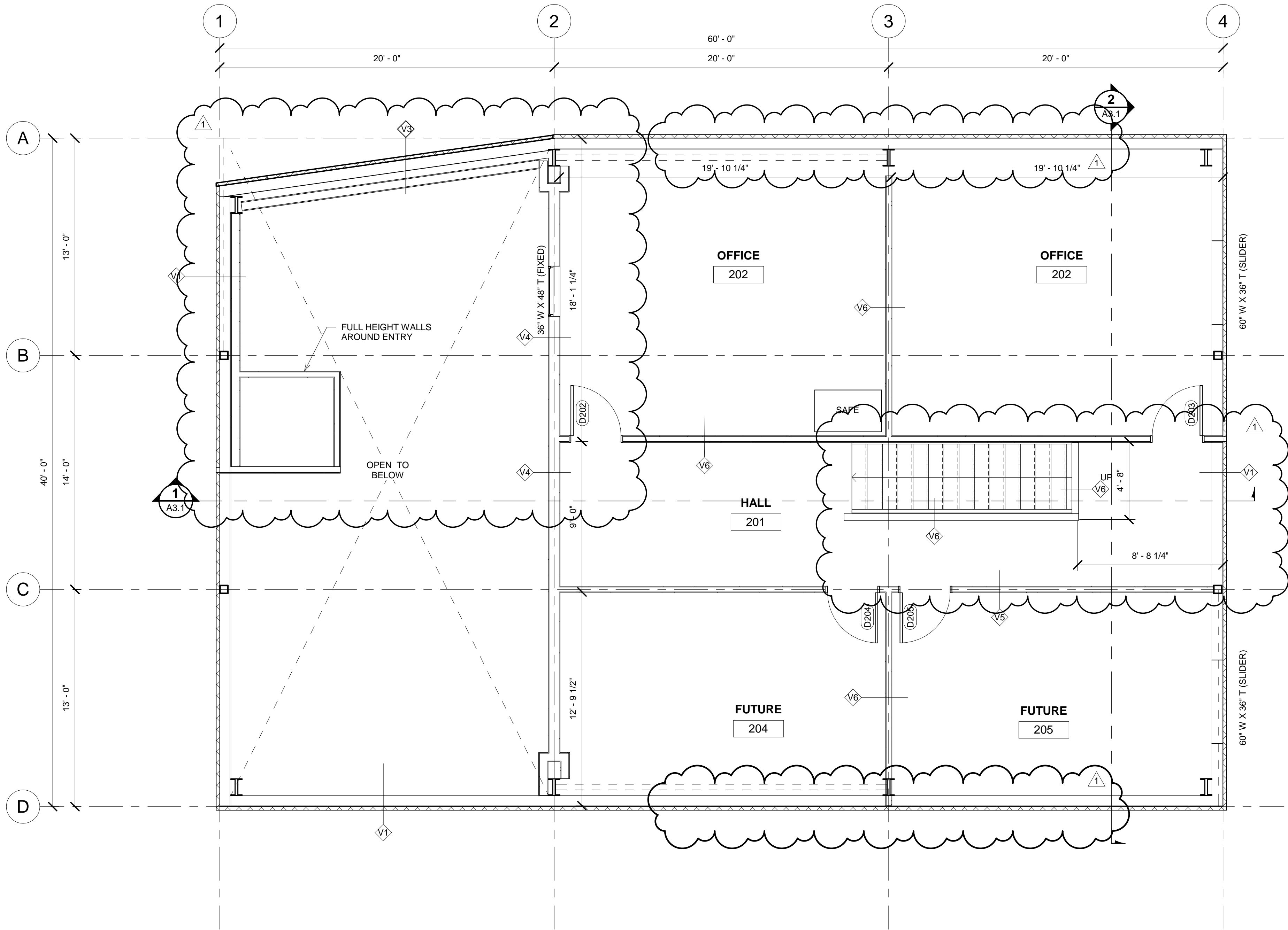


V5 - INTERIOR WALL



V6 - INTERIOR WALL

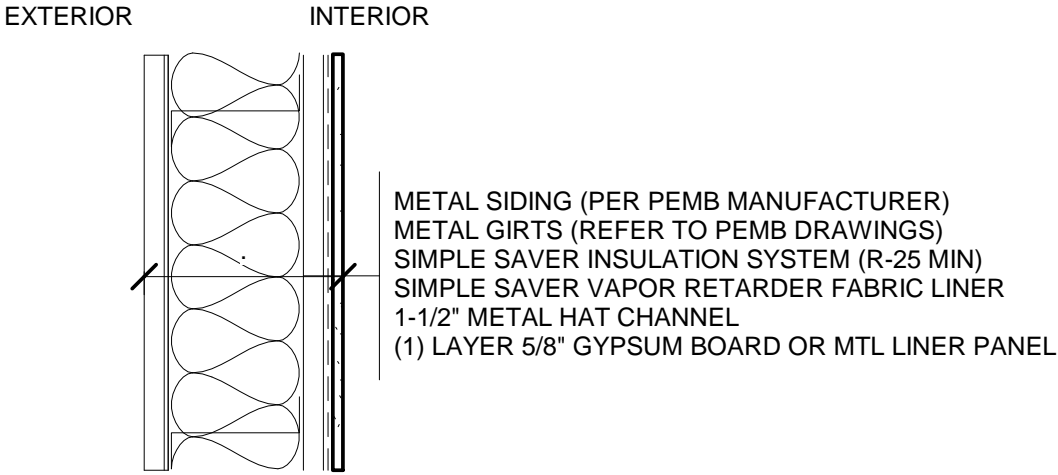
REVISIONS		
No.	Date	Item
1	7.14.2023	REV 1 - OWNER CHANGES



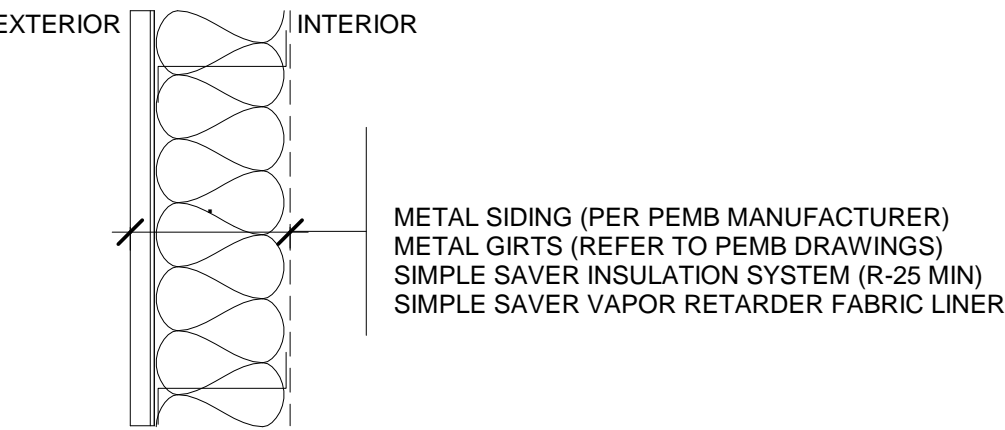
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A1.2 SCALE: 1/4" = 1'-0"

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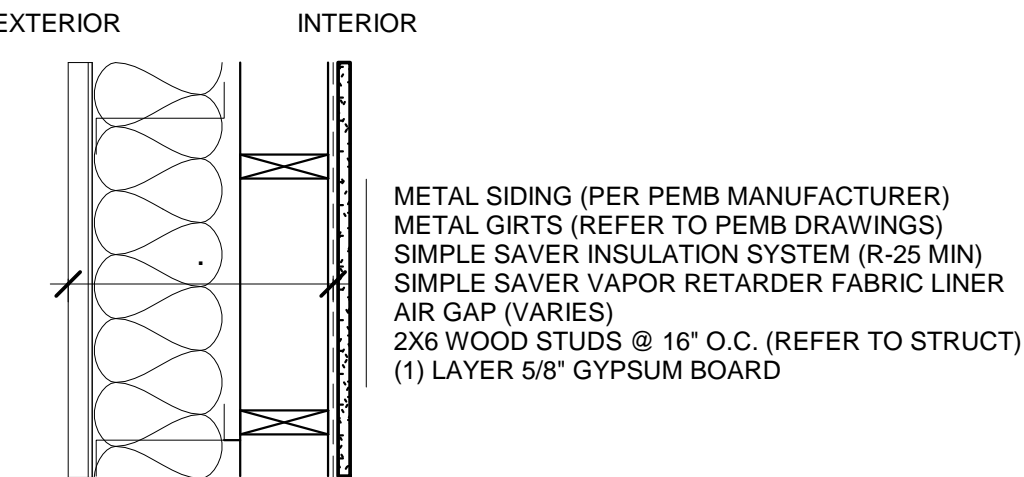
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2. REFER TO STRUCTURAL SHEAR WALL SCHEDULE FOR SHEATHING REQUIREMENTS



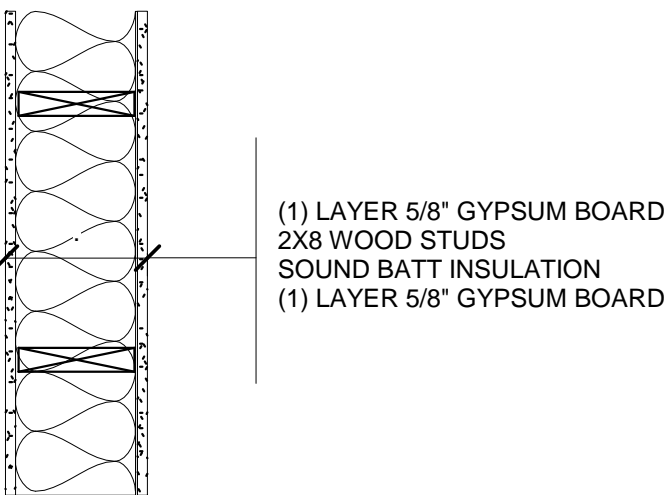
V1 - EXTERIOR WALL



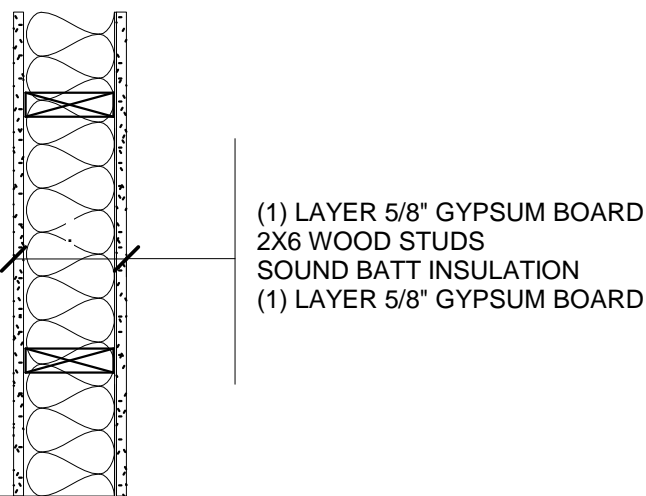
V2 - EXTERIOR WALL



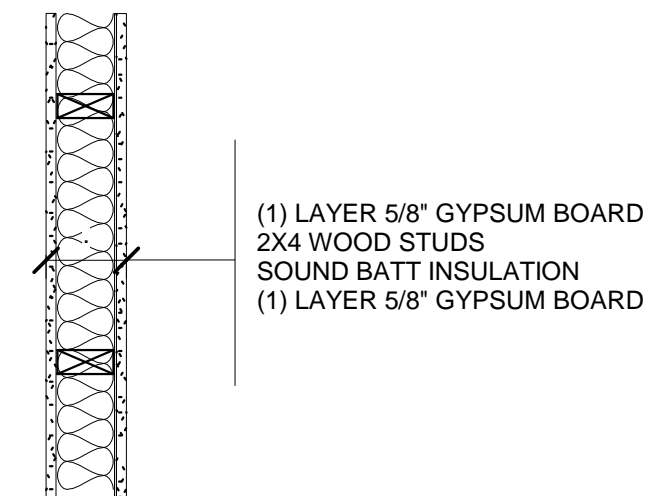
V3 - EXTERIOR WALL



V4 - INTERIOR WALL

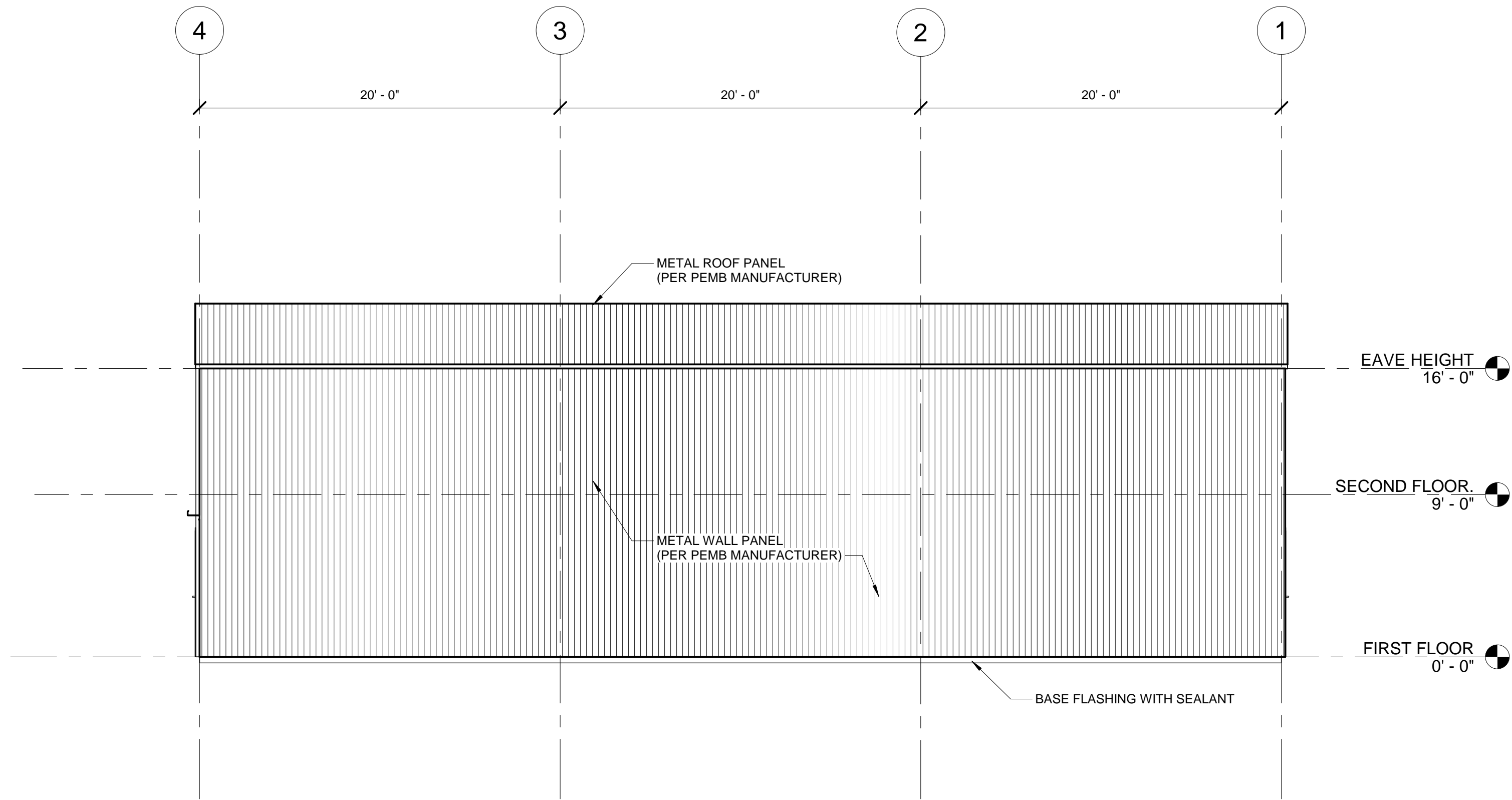


V5 - INTERIOR WALL

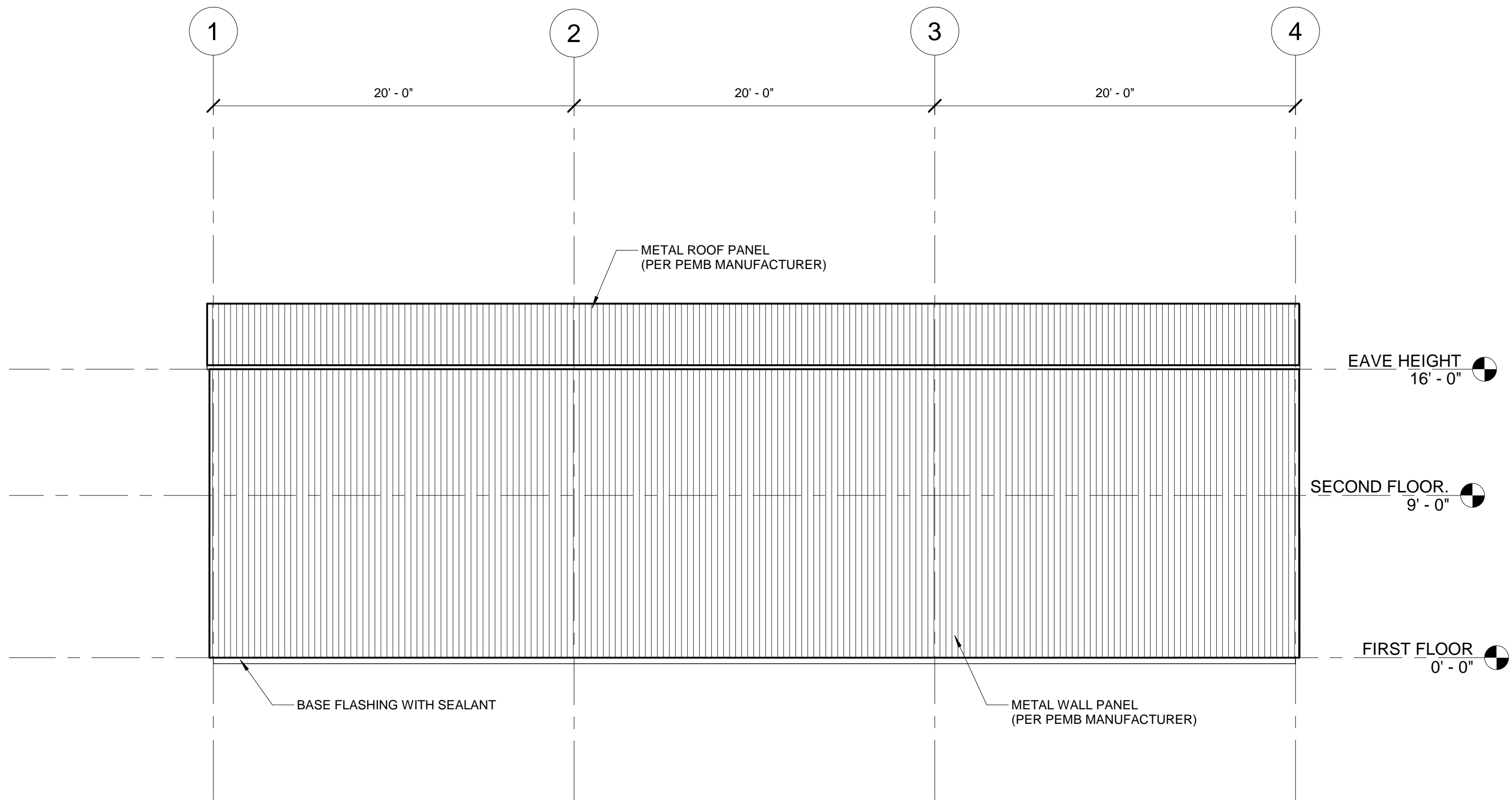


V6 - INTERIOR WALL

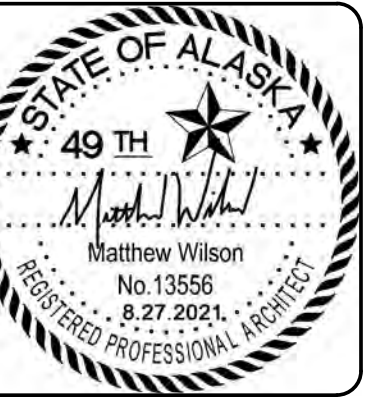
REVISIONS		
No.	Date	Item
1	7.14.2023	REV 1 - OWNER CHANGES



1 NORTH ELEVATION
A2.1 SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION
A2.1 SCALE: 3/16" = 1'-0"



PROJECT :

SMOKE OUT POINT

10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE :

BUILDING ELEVATIONS

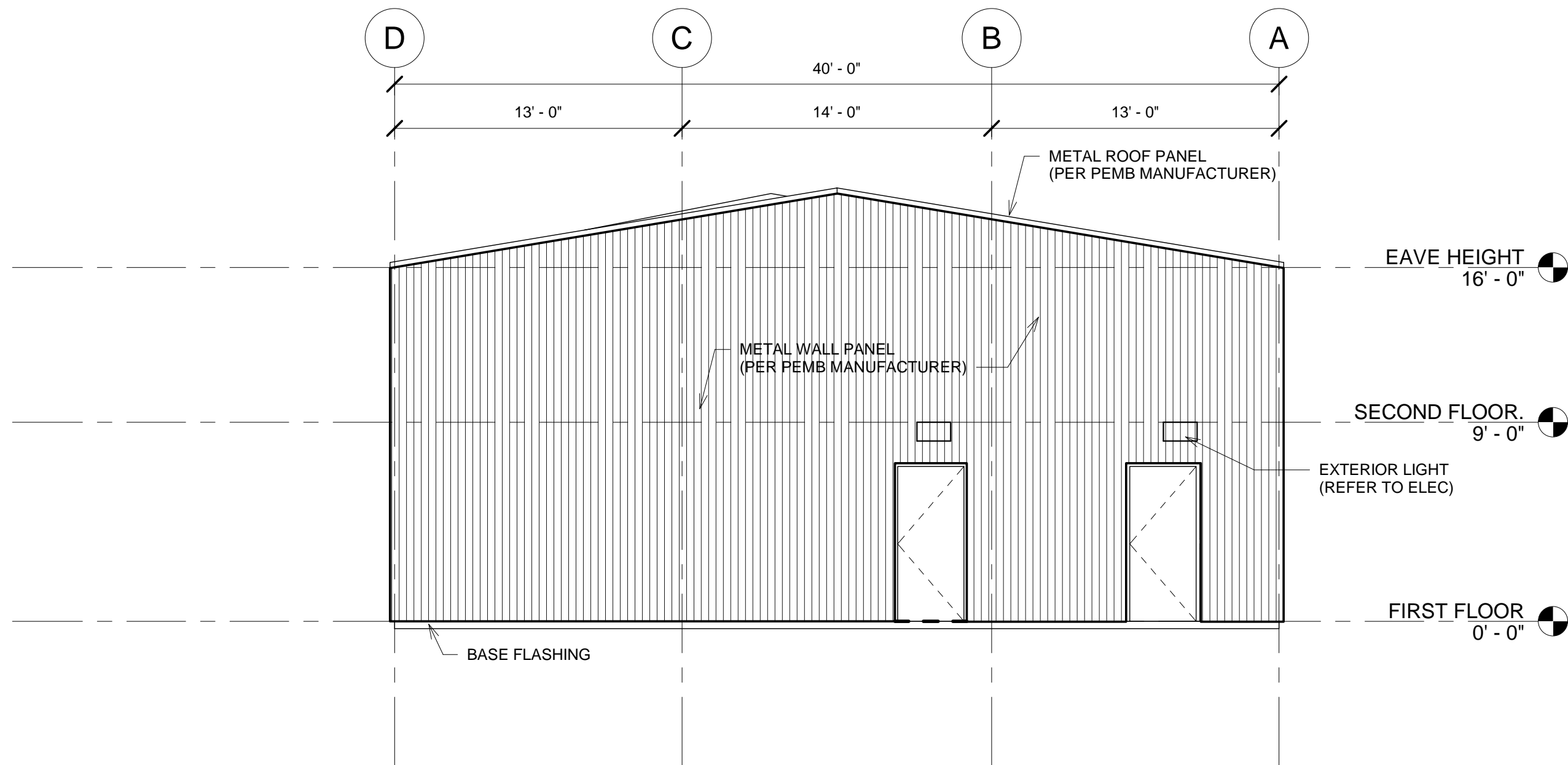
CONSTRUCTION DRAWINGS

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DRAWN	MPW
CHECKED	MPW
DATE	8.27.2021

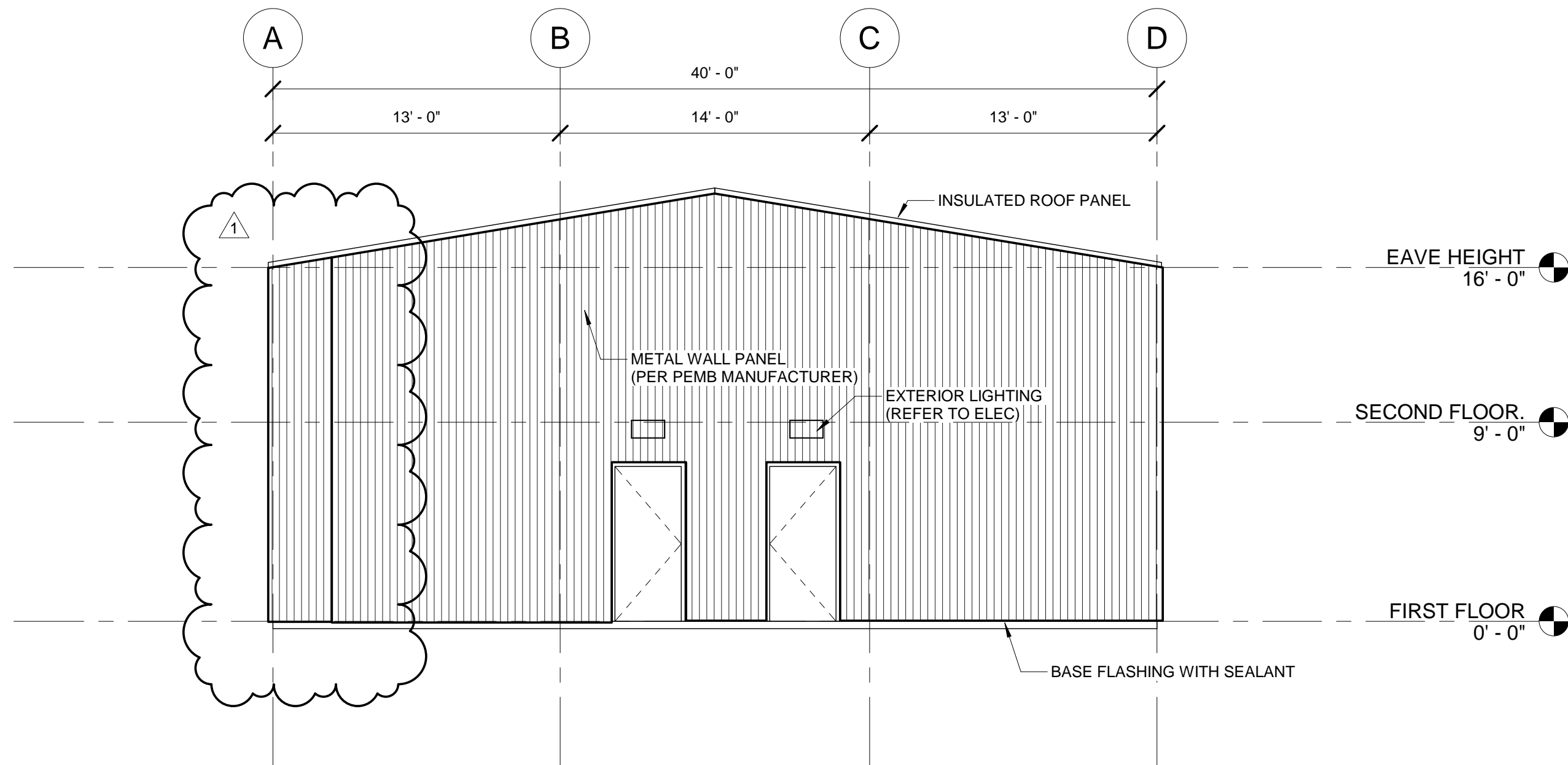
PROJECT No.	21126.00
SHEET NUMBER	

A2.1

No.	Date	Item
REVISIONS		



1 EAST ELEVATION
A2.2 SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
A2.2 SCALE: 3/16" = 1'-0"

PROJECT :

SMOKE OUT POINT

10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE :

BUILDING ELEVATIONS

CONSTRUCTION DRAWINGS

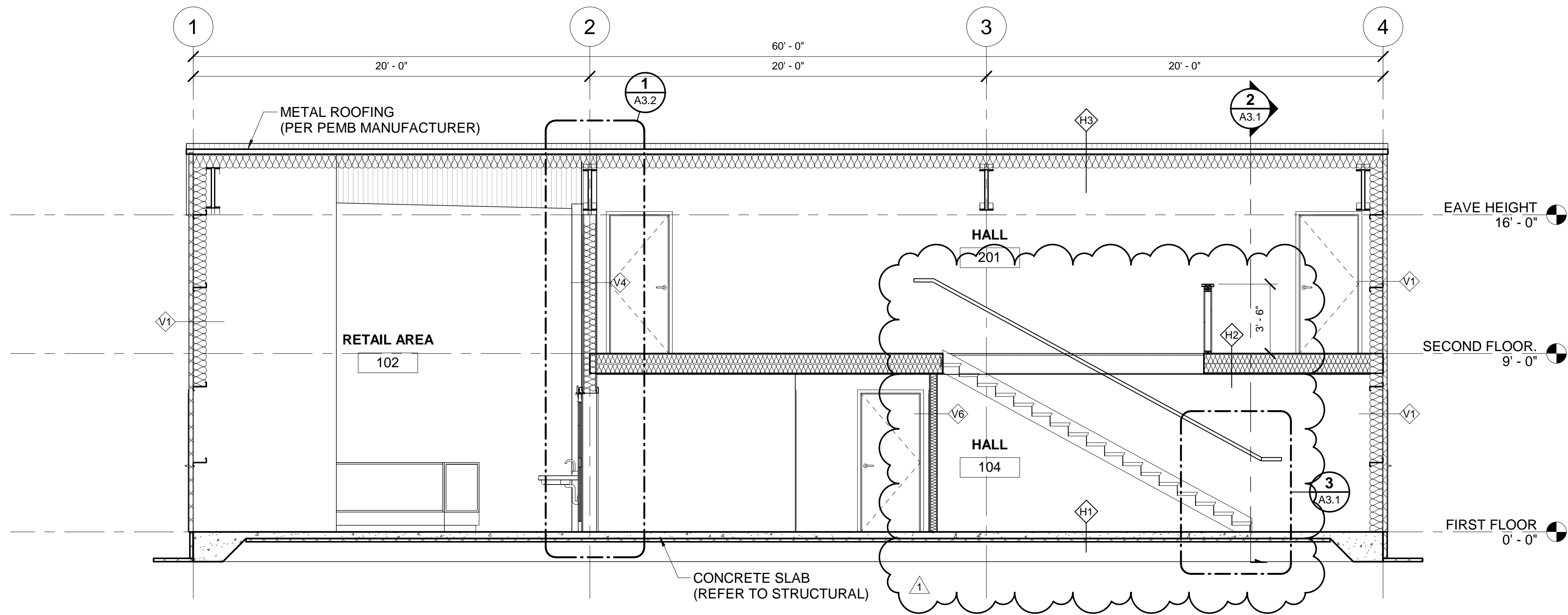
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CHECKED	MPW
DATE	8.27.2021

PROJECT No.	21126.00
SHEET NUMBER	

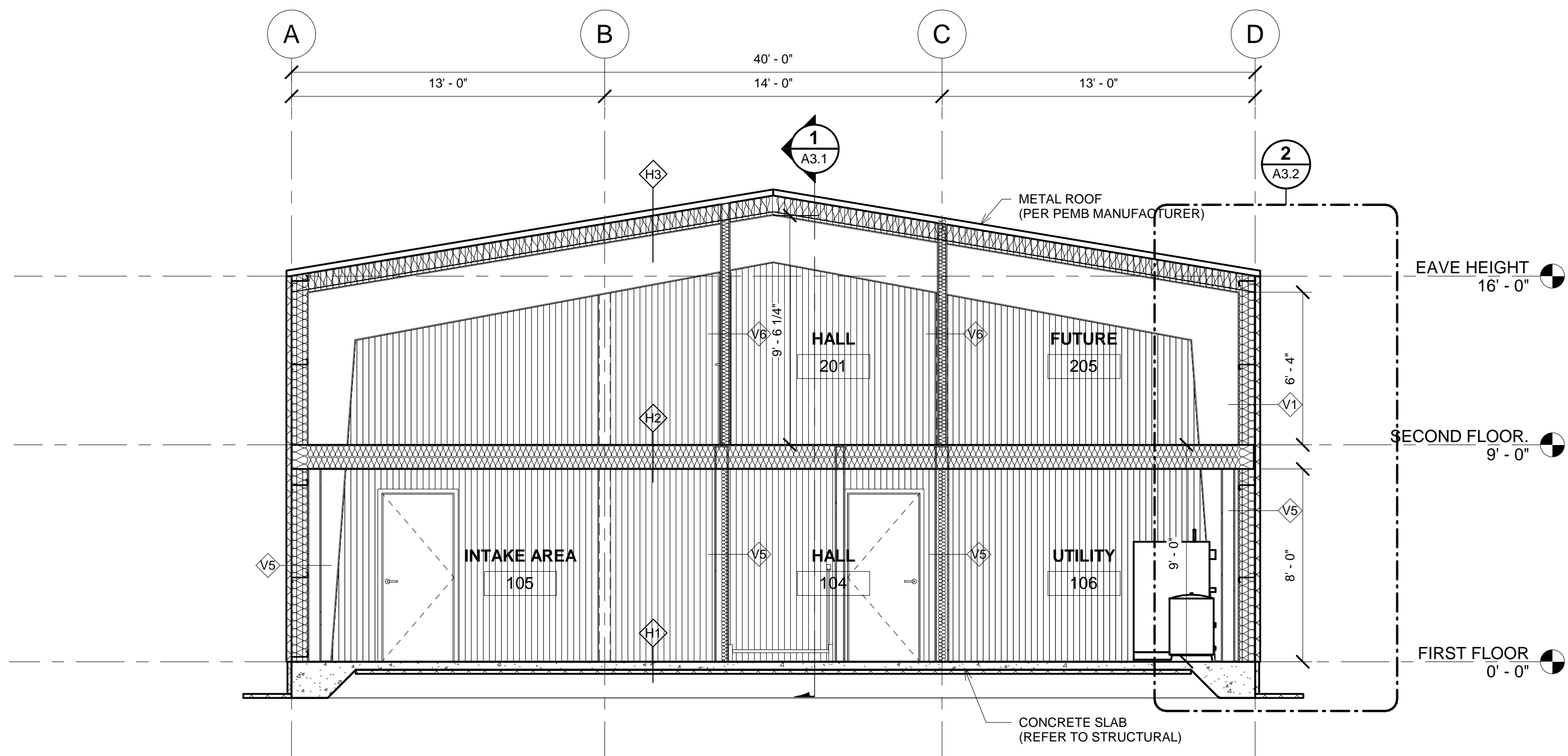
1	7.14.2023	REV 1 - OWNER CHANGES	
No.	Date	Item	

REVISIONS	
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A2.2



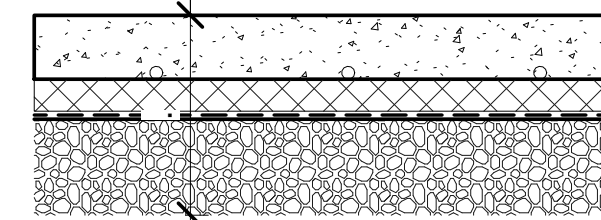
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A3.1 SCALE: 1/4" = 1'-0"



2 BUILDING SECTION 2
A3.1 SCALE: 1/4" = 1'-0"

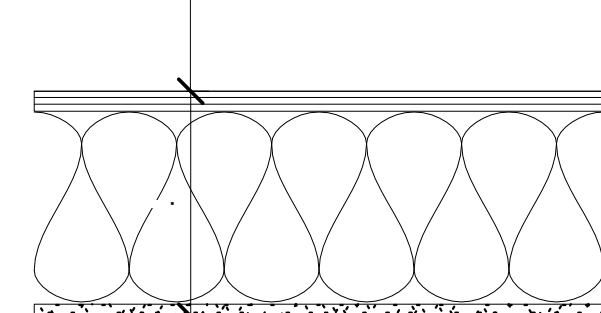
HORIZONTAL ASSEMBLIES :

FLOOR FINISH
CONCRETE SLAB (REFER TO STRUCTURAL)
HYDRONIC HEATING TUBES (REFER TO MECH)
RIGID INSULATION (REFER TO STRUCT)
10 MIL VAPOR BARRIER
COMPACTED GRAVEL
(INSULATION AROUND PERIMETER OF BLDG)



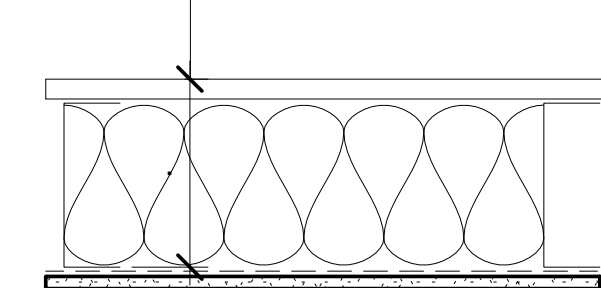
H1 - FLOOR - CONCRETE SLAB

PLYWOOD SHEATHING
ENGINEERED WOOD JOISTS @ 16" O.C. (REF TO STRUCT)
SOUND BATT INSULATION
(1) LAYER 5/8" GYPSUM BOARD

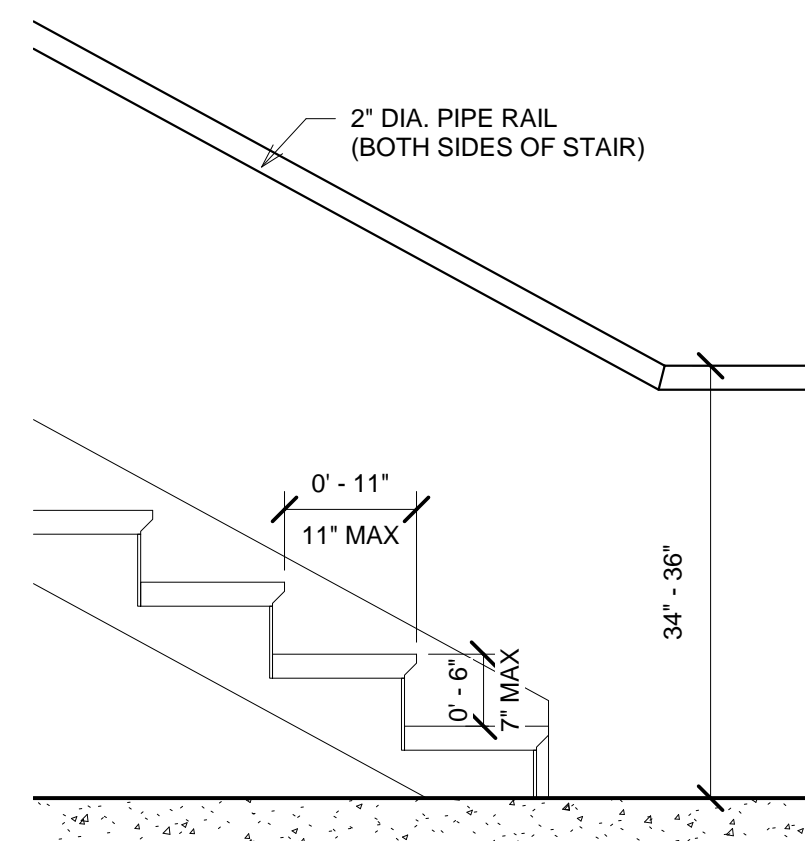


H2 - CEILING SYSTEM

METAL ROOFING (PER PEMB MANUFACTURER)
METAL PURLINS (PER PEMB MANUFACTURER)
SIMPLE SAVER INSULATION SYSTEM (R-36 MIN)
SIMPLE SAVER VAPOR RETARDER FABRIC SYSTEM



H3 - ROOF SYSTEM



3 STAIR SECTION / DETAIL
A3.1 SCALE: 3/4" = 1'-0"

REVISIONS	
No.	Date
1	7.14.2023

PROJECT :

SMOKE OUT POINT

10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE :

BUILDING SECTIONS

CONSTRUCTION DRAWINGS

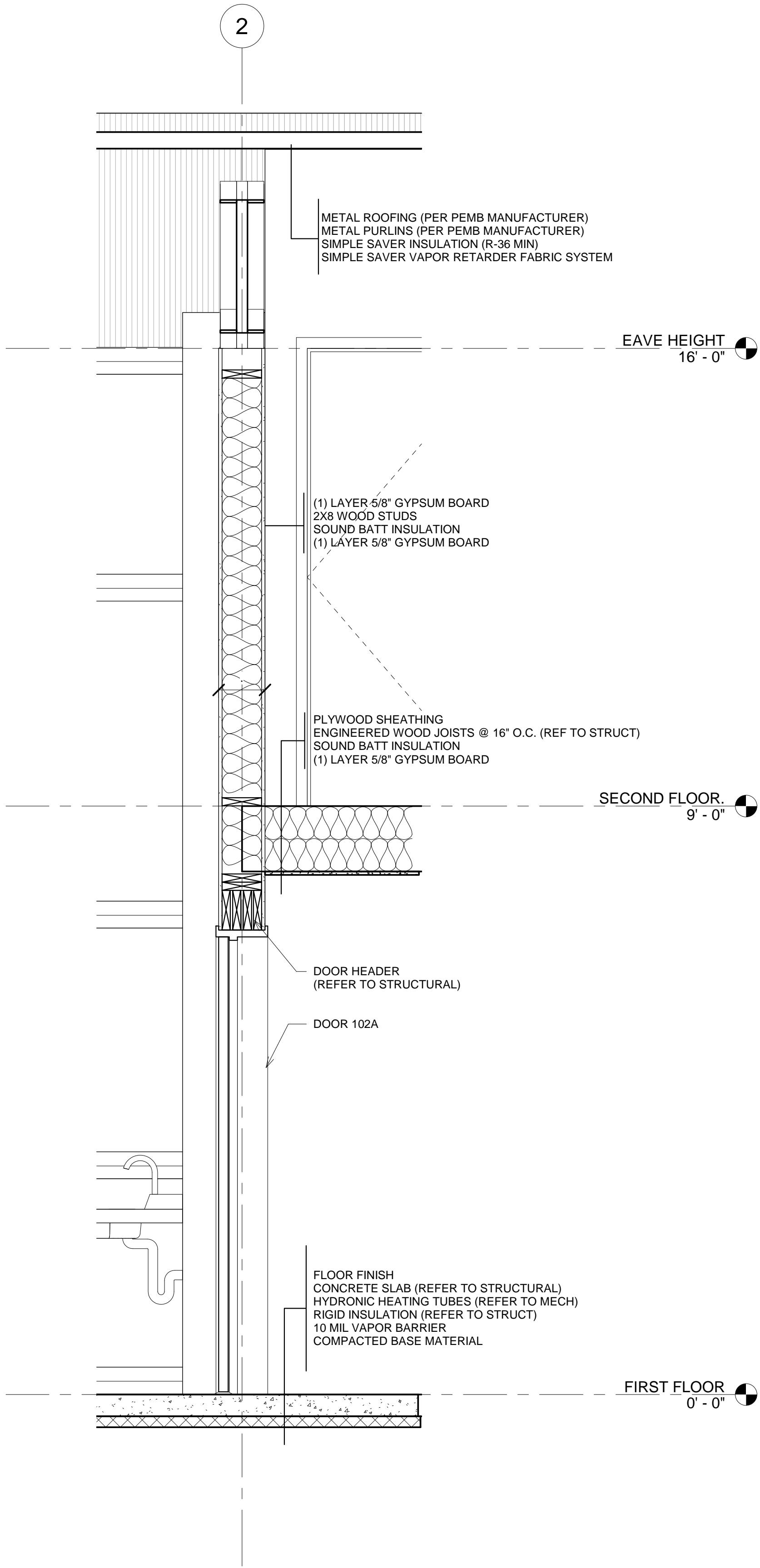
DESIGN	MPW
DRAWN	MPW
CHECKED	MPW
DATE	8.27.2021

PROJECT No.

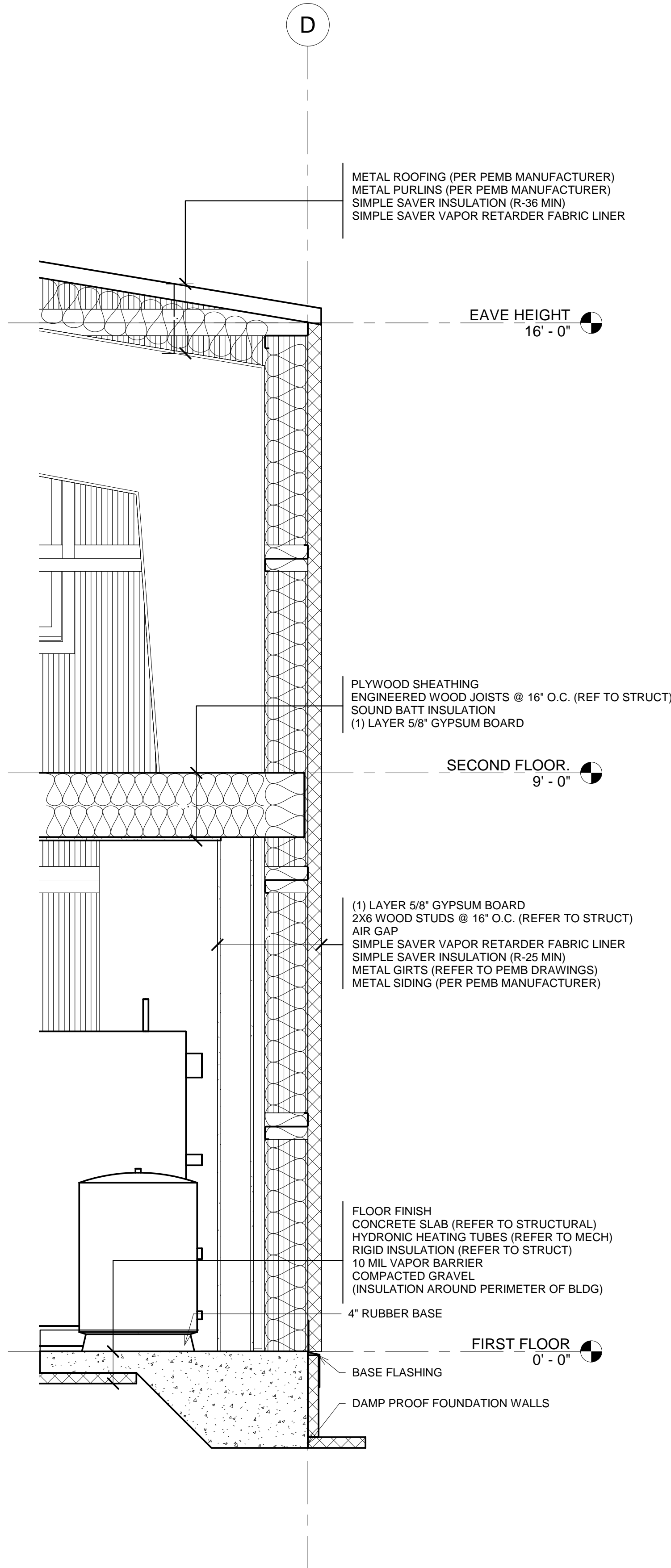
21126.00

SHEET NUMBER

A3.1



1
WALL SECTION 1
SCALE: 3/4" = 1'-0"



2
WALL SECTION 2
SCALE: 3/4" = 1'-0"

No.	Date	Item
REVISIONS		



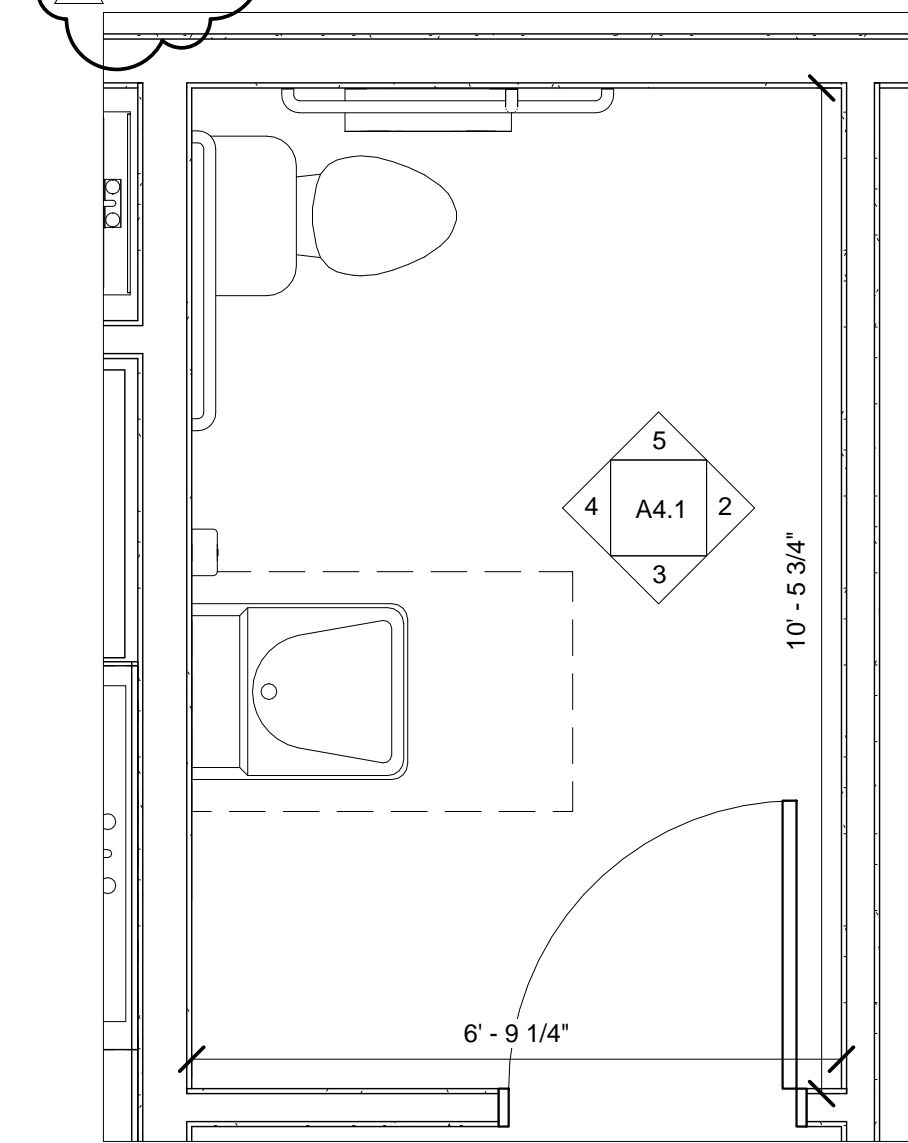
PROJECT :
SMOKE OUT POINT
10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE :
WALL SECTIONS
CONSTRUCTION DRAWINGS

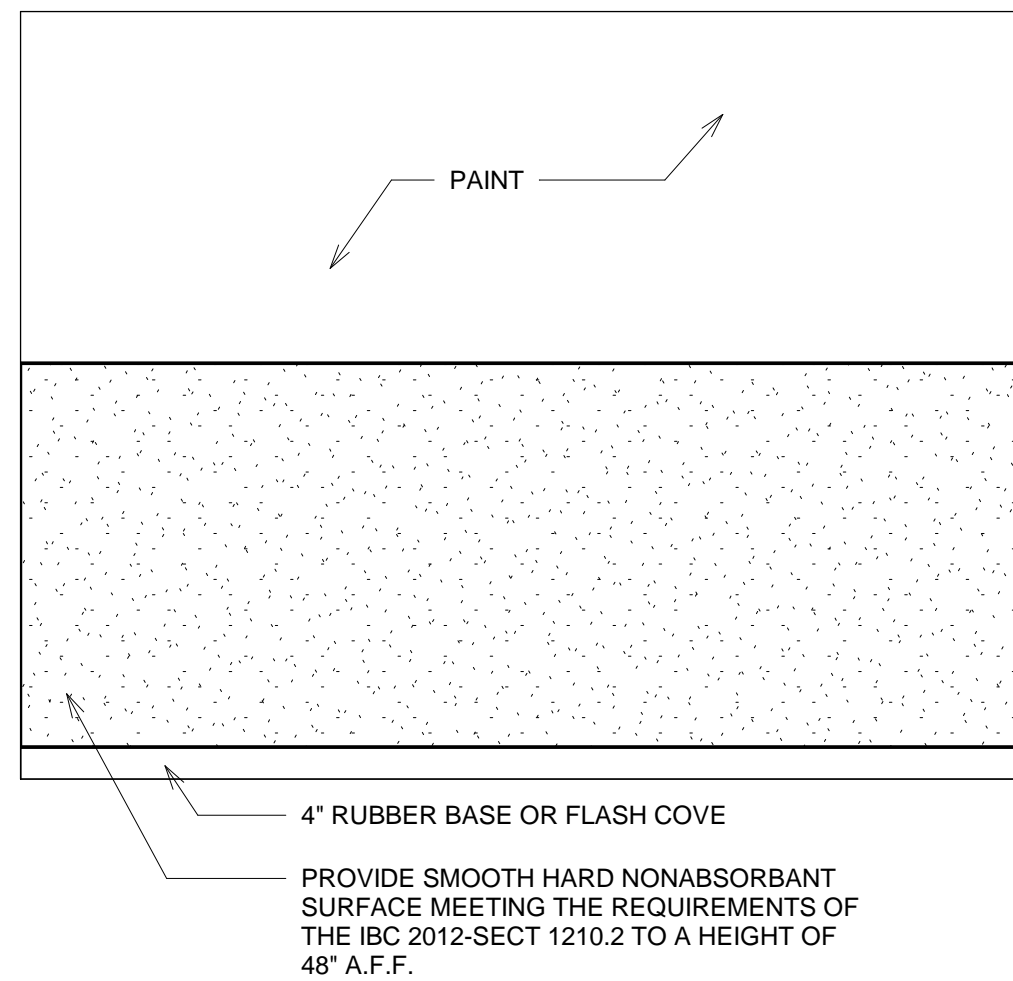
DESIGN	MFW
DRAWN	MFW
CHECKED	MFW
DATE	8.27.2021

PROJECT No.
21126.00
SHEET NUMBER

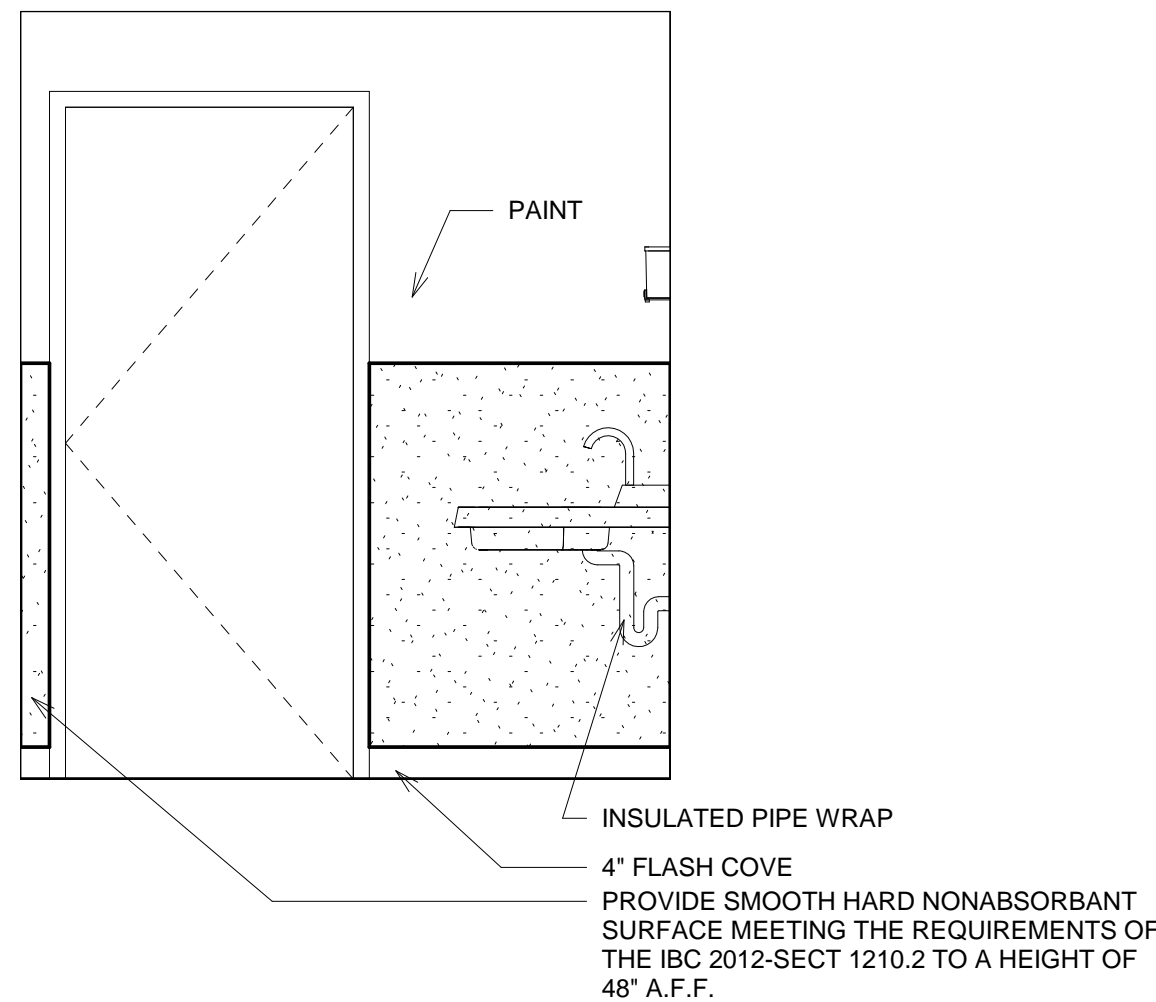
A3.2

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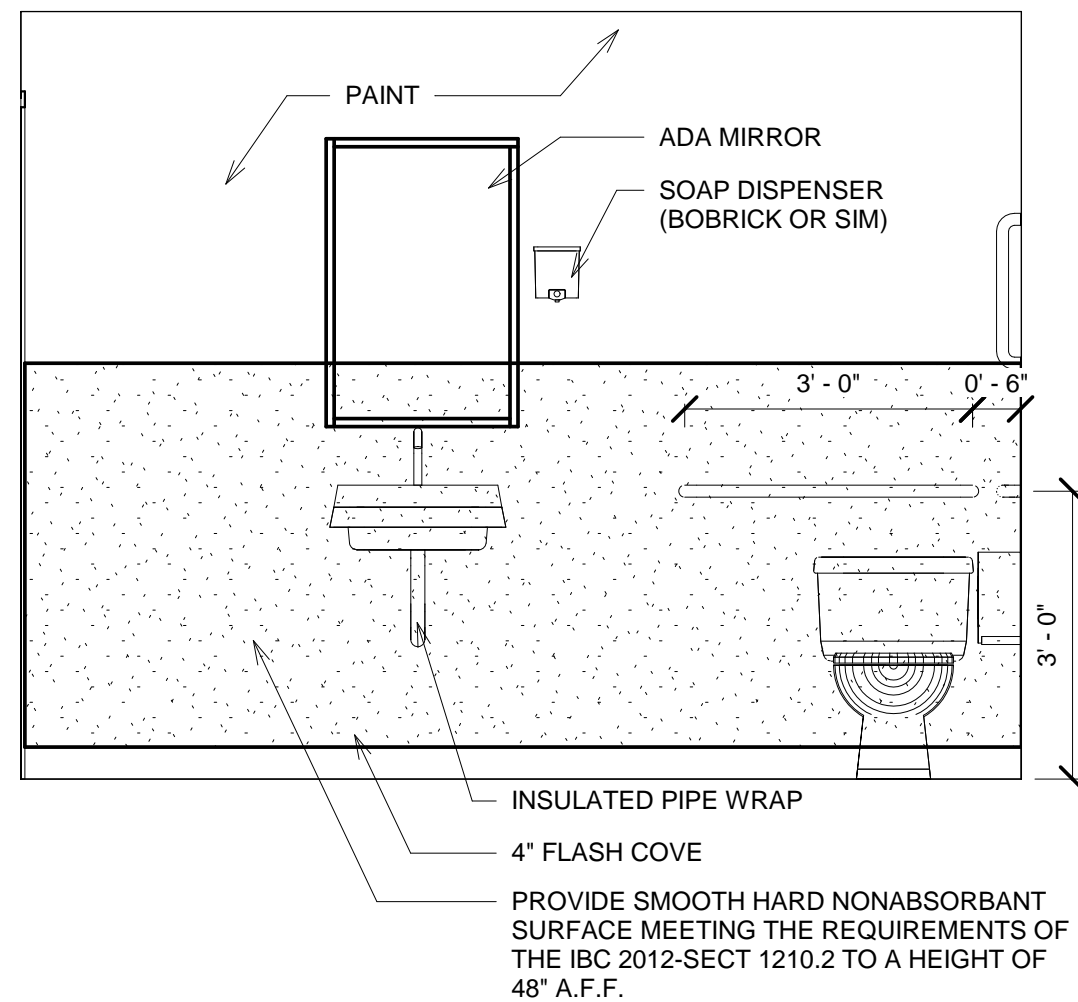
A4.1 SCALE: 1/2" = 1'-0"



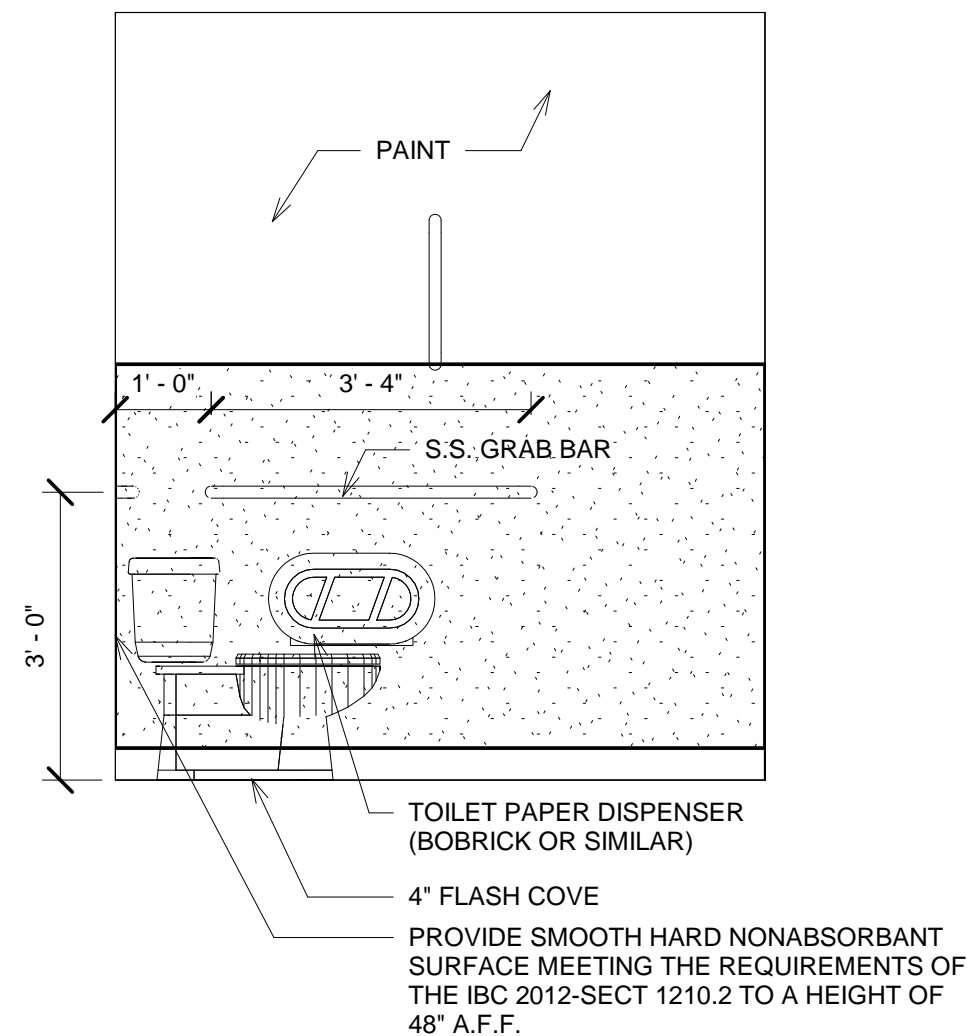
A4.1 SCALE: 1/2" = 1'-0"



A4.1 SCALE: 1/2" = 1'-0"



A4.1 SCALE: 1/2" = 1'-0"



A4.1 SCALE: $1/2" = 1'-0"$

SCALE: 1/2" = 1'-0"		REV 1 - OWNER CHANGES
No.	Date	Item
REVISIONS		

1. ALL DOORS ARE TO HAVE LEVER TYPE HARDWARE, UNLESS OTHERWISE NOTED AS PANIC HARDWARE (LEVER AT PULL SIDE), & THE MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED WHAT IS SPECIFIED IN THE INTERNATIONAL BUILDING CODE FOR EXTERIOR & INTERIOR DOORS AS WELL AS DOORS IN A BARRIER FREE PATH OF TRAVEL.
2. JAMB DESIGN FOR ALL ALUMINUM DOORS SHALL BE CONSTRUCTED TO WITHSTAND 1,600 POUNDS OF PRESSURE IN BOTH A VERTICAL DISTANCE OF 3" & A HORIZONTAL DISTANCE OF 1" EACH SIDE OF THE STRIKE.
3. ALL HOLLOW METAL DOOR FRAMES SHALL BE OF THE WELDED TYPE, NO KNOCK-DOWN FRAMES.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO FABRICATION / ORDERING.
5. ALL DOOR GLAZING SHALL BE 1/4" SAFETY TYPE GLAZING, UNLESS OTHERWISE NOTED.
6. PROVIDE ALUMINUM BREAK METAL AT JAMBS.
7. ALL DOORS SHALL NOT HAVE HOLD OPEN HINGES UNLESS SPECIFIED.
8. COORDINATE ALL LOCK STYLES, FUNCTION, TYPE, AND KEYING WITH OWNER.

The diagrams illustrate three different door swing configurations relative to a horizontal dashed line representing the floor level:

- A:** A door is shown swinging inward (into the room) from the right side. The door is represented by a rectangle with a dashed line indicating its swing path.
- B:** A door is shown swinging outward (out of the room) from the right side. The door is represented by a rectangle with a dashed line indicating its swing path.
- C:** A door is shown swinging inward (into the room) from the left side. The door is represented by a rectangle with a dashed line indicating its swing path.

907
Architecture LLC

PO BOX 875570,
PH: 907.373.9503

WASILLA, ALASKA 99687
C.O.A. #101114



PROJECT :

SMOKE OUT POINT

10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE :

DOOR SCHEDULE

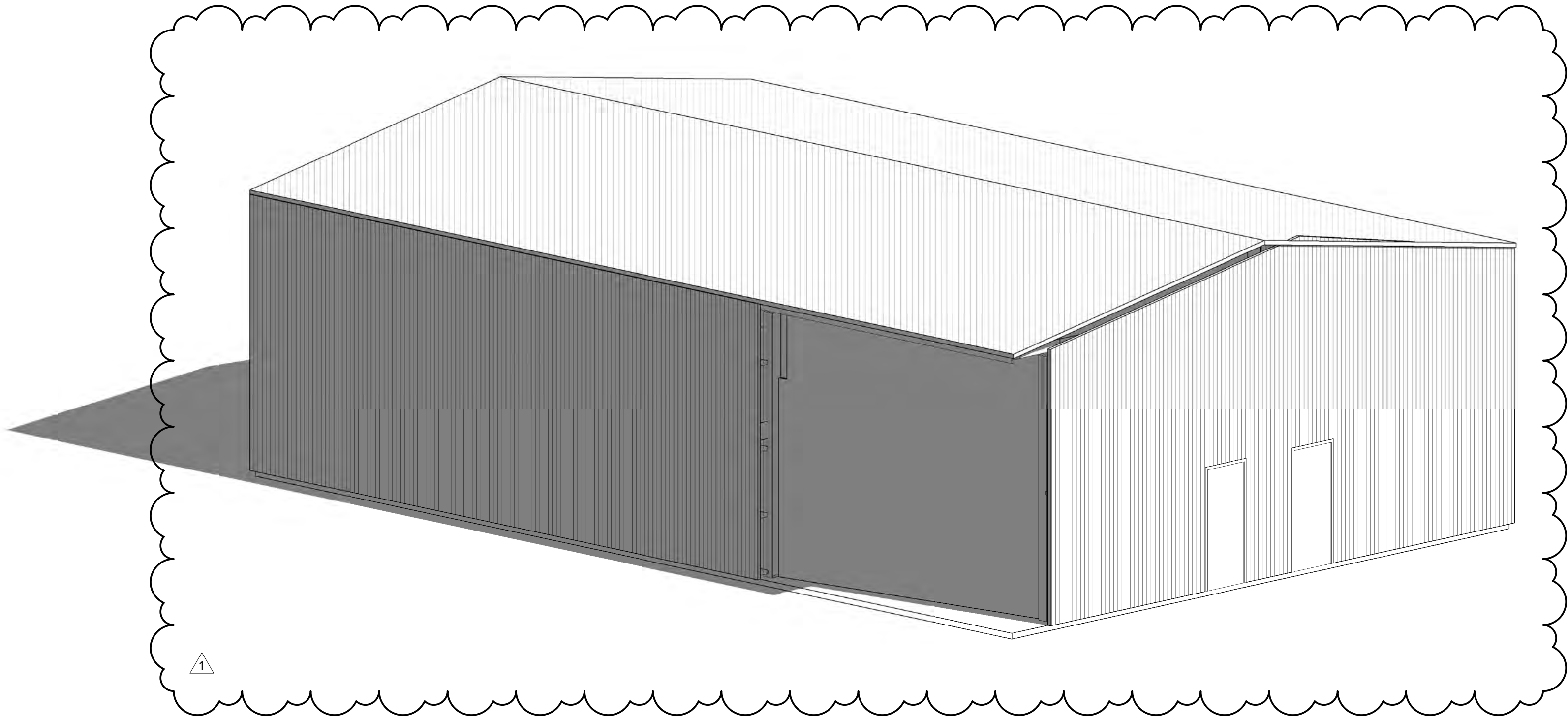
CONSTRUCTION DRAWINGS

DESIGN	MFI
DRAWN	MFI
CHECKED	MFI
DATE	8.27.202

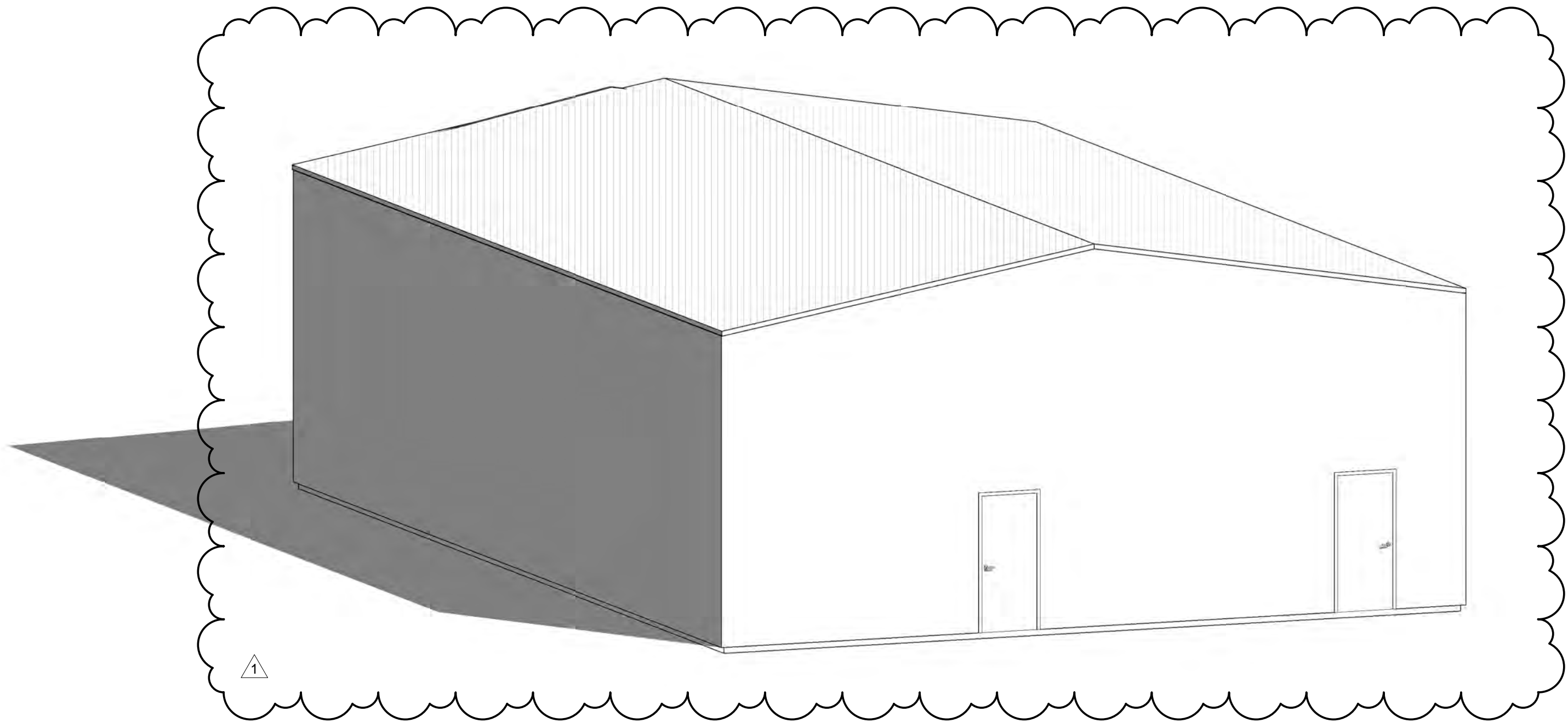
PROJECT No. 24122-22

SHEET NUMBER

A4.1



1 EXTERIOR PERSPECTIVE 1
A6.0 SCALE:



2 EXTERIOR PERSPECTIVE 2
A6.0 SCALE:

1	7.14.2023	REV 1 - OWNER CHANGES	
No.	Date	Item	
REVISIONS			

9007 Architecture LLC
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PROJECT :
SMOKE OUT POINT
10600 E. MAX DRIVE, PALMER, ALASKA

SHEET TITLE :
EXTERIOR PERSPECTIVES
CONSTRUCTION DRAWINGS

DESIGN	MPW
DRAWN	MPW
CHECKED	MPW
DATE	8.27.2021

PROJECT No.	21126.00
SHEET NUMBER	

A6.0

ABBREVIATIONS

AB	ANCHOR BOLT
ACI	AMERICAN CONCRETE INSTITUTE
AISC	AMERICAN INSTITUTE OF STEEL CONSTR.
ALT	ALTERNATE
APA	AMERICAN PLYWOOD ASSOCIATION
ARCH	ARCHITECTURAL
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS
AWS	AMERICAN WELDING SOCIETY
BLKG	BLOCKING
BM	BEAM
BOC	BOTTOM OF CONCRETE
BOD	BOTTOM OF DECK
BOS	BOTTOM OF STEEL
BOT	BOTTOM
BTWN	BETWEEN
CIP	CAST IN PLACE (CONCRETE)
CJP	COMPLETE JOINT PENETRATION
CLR	CLEAR
COL	COLUMN
CONN	CONNECTION
CONT	CONTINUOUS
CVN	CHARPY V NOTCH
DIAM	DIAMETER
DWGS	DWGS
(E)	EXISTING
EA	EACH
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATION
EW	EACH WAY
EQ	EQUAL
FC	CONCRETE COMPRESSIVE STRENGTH
FM	MASONRY COMPRESSIVE STRENGTH
FDN	FOUNDATION
FOC	FACE OF CONCRETE
FT	FEET
FTG	FOOTING
GA	GAGE OR GAUGE
GALV	GALVANIZED
GLB	GLUE-LAMINATED BEAM
HI	HIGH
HORIZ	HORIZONTAL
HS	HEADED STUD
HSH	HORIZONTAL SLOTTED HOLE
HSS	HOLLOW STRUCTURAL SECTION
IE	INVERT ELEVATION
INV	INVERT
LO	LOW
LVL	LAMINATED VENEER LUMBER
MAX	MAXIMUM
MECH	MECHANICAL
MF	MOMENT FRAME
MIN	MINIMUM
MT	MAGNETIC PARTICLE STRIP
NA	NOT APPLICABLE
NFS	NON FROST SUSCEPTIBLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OWSJ	OPEN WEB STEEL JOIST
PLF	POUNDS PER LINEAR FOOT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
REINF	REINFORCING
RT	RADIOGRAPHIC TEST
SDI	STEEL DECK INSTITUTE
SJI	STEEL JOIST INSTITUTE
SQ	SQUARE
STD	STANDARD
TBD	TO BE DETERMINED
TEMP	TEMPERATURE
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TS	TUBE STEEL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UT	ULTRASONIC
VERT	VERTICAL
W	WIDE FLANGE DESIGNATION
WF	WIDE FLANGE
WP	WORK POINT
WWF	WELDED WIRE FABRIC
W/	WITH

STRUCTURAL NOTES:
ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE STRUCTURAL DRAWINGS, THE SPECIFICATIONS AND NOTES LISTED IN THIS DRAWIG SET. MINIMUM PROVISIONS OF THE INTERNATIONAL BUILDING CODE (IBC 20012), AND LOCAL AMENDMENTS SHALL APPLY WHERE DETAILS ARE NOT SHOWN OR DESCRIBED.

AS-BUILT DRAWINGS:
CONTRACTOR SHALL MAINTAIN A CURRENT SET OF DRAWINGS ON SITE, MODIFIED TO REFLECT ALL DESIGN CHANGES TO THE ORIGINAL DRAWING SET.

STRUCTURAL OBSERVATIONS:
THE OWNER SHALL EMPLOY THE ENGINEER OF RECORD TO PERFORM STRUCTURAL OBSERVATIONS AS DEFINED IN SECTION 1702 OF THE IBC AT SIGNIFICANT STAGES AND AT COMPLETION OF THE STRUCTURAL SYSTEM. STRUCTURAL OBSERVATION DOES NOT INCLUDE OR WAIVE THE RESPONSIBILITY OF SPECIAL INSPECTIONS REQUIRED BY SECTION 1704 OF THE CODE.
DISCLAIMER:
TERRAMOUNT ENGINEERING AND DESIGN INC (TE&D) IS NOT RESPONSIBLE FOR SAFETY PROGRAMS, METHODS, OR PROCEDURES OF OPERATION, OR THE CONSTRUCTION OF THE DESIGN SHOWN ON THESE DRAWINGS. DRAWINGS ARE FOR USE ON THIS PROJECT ONLY AND ARE NOT INTENDED FOR REUSE WITHOUT WRITTEN APPROVAL FROM TE&D. DRAWINGS ARE ALSO NOT TO BE USED IN ANY MANNER THAT WOULD CONSTITUTE A DETRIMENT DIRECTLY OR INDIRECTLY TO TE&D.

SCHEDULE OF CONSTRUCTION MATERIALS

CONCRETE	LOCATION		28-DAY STRENGTH	MAX. W/C RATIO	AIR ENTRAINMENT					
	EXTERIOR CONCRETE (EXPOSED TO FREEZING)		4,500 P.S.I.	0.45	6% +/- 1%					
	INTERIOR SLABS (NOT EXPOSED TO FREEZING)		4,000 P.S.I.	0.45	3%					
	FOOTINGS, FOUNDATION, COLUMNS & WALLS		4,000 P.S.I.	0.50	5% +/- 1%					
MASONRY	ITEM		TYPE	COMP. STRENGTH	SLUMP					
REINFORCING	APPLICATION		TYPE	COMMENTS						
	FABRICATED AND STRAIGHT BARS		ASTM A615, GRADE 60	SEE LAP SPLICE SCHEDULE FOR LAP LENGTHS						
	FIELD BENT		ASTM A615, GRADE 40							
STRUCTURAL STEEL	APPLICATION		TYPE	GRADE	Fy					
	STRUCTURAL BOLTS		ASTM A325							
	ANCHOR RODS		ASTM F1554	GRADE 36						
	PLATES AND BARS		ASTM A36		36 KSI					
LIGHT GAGE STEEL	APPLICATION	PROFILE/SIZE	TYPE	GRADE	GALV					
WOOD	APPLICATION		SPECIES		GRADE	COMMENTS				
	DIMENSION LUMBER	LOAD BEARING STUDS		HEM FIR-LARCH		NO. 1	2X6 @ 16" OC UNO			
		2ND FLR WALL TOP SUPPORT		DOUG. FIR-LARCH		NO.1	(3) 2X12			
		WALL TOP PLATES		HEM FIR-LARCH		NO.1				
		WALL BOTTOM PLATES AND LEDGERS		HEM FIR-LARCH		NO. 1				
		SAWN BEAMS		DOUG. FIR-LARCH		NO. 1				
		POSTS		DOUG -FIR-LARCH		NO. 1				
		BLOCKING, MISC FRAMING		HEM-FIR		STD & BETTER				
	NOTES: ALL WOOD IN CONTACT WITH EARTH OR CONCRETE TO BE PRESSURE TREATED. DECKS, DECK ROOFS AND PORT ROOF LEDGER ARE TO BE PRESSURE TREATED. ALL ANCHOR BOLTS, JOIST HANGERS AND STEEL ARE TO BE GALVANIZED AND OR COATED PER MANUFACTURES RECOMMENDATION WITH COATING COMPATIBLE WITH PRESURE TREATED WOOD SUPPLIED. LOCATE WALL STUDS DIRECTLY BELOW ROOF TRUSSES. *** ADJUST STUD SIZE TO ALLOW FOR SLIP CONNECTION AT BUILDING FRAME SEE 6/S1.4									
	GLUED-LAMINATED BEAMS			ALLOWABLE STRESSES - P.S.I.						
			SPECIES COMB	Fb TENSION ZONE	Fb COMP ZONE	Fv	Fc TENSION ZONE	Fc COMP ZONE	1.0 E 6	
		SIMPLE SPANS		DF V4	2400	2400	190	650	650	1.8
	CONTINUOUS SPANS, CANTILEVERS		DF V8	2400	2400	190	650	650	1.8	
	COMP. LUMBER	LAMINATED VENEER LUMBER			2900	2900	285		3000	2.0
	WOOD PANEL SHEATHING	APPLICATION		GRADE			MIN. THICK.	SPAN RATING	EXPOSURE	
WOOD PANEL SUBFLOOR		APA PS2 T&G STRUDI-FLR			3/4"	48/24	EXPOSURE 1			
SHEAR WALLS		APA RATED			15/32"	32/16	EXPOSURE 1			
NOTES: SEE SHEAR WALL AND DIAPHRAGM SCHEDULE FOR NAILING REQUIREMENTS.										

STRUCTURAL DESIGN CRITERIA SCHEDULE

CRITERIA	DESCRIPTION	VALUE	COMMENTS
CODE	IBC 2018	WITH LOCAL AMENDMENTS	
SEISMIC	ANALYSIS PROCEDURE	ELF	PER ASCE 7-16-12.8 EQUIVALENT LATERAL FORCE PROCEDURE
	SEISMIC DESIGN CATEGORY	D	
	OCCUPANCY CATEGORY	II	
	SEISMIC IMPORTANCE FACTOR, IE	1.0	
	SITE CLASS	D	
	0.2S SPECTRAL RESPONSE ACCELERATION, Ss	1.5	
	1.0S SPECTRAL RESPONSE ACCELERATION, S1	0.716	
	0.2S SPECTRAL RESPONSE COEFFICIENT, Sds	1.0	
	1.0S SPECTRAL RESPONSE COEFFICIENT, Sd1	0.716	
	STRUCTURAL SYSTEM	1	WOOD SHEARWALL SEISMIC FORCE-RESISTING SYSTEM
	RELIABILITY/REDUNDANCY	6.5	
	RESPONSE MODIFICATION FACTOR, R	3	
	OMEGA	(LRFD=0.185 (ASD=0.129)	
	Cs (STRENGTH DESIGN)	12.70 KIPS	
	Cs (ALLOWABLE STRESS DESIGN)		
	V (STRENGTH DESIGN)		
	V (ALLOWABLE STRESS DESIGN)	9.07 KIPS	
WIND	IBC SECTION 1609 INTERNAL PRESSURE COEFFICIENT	5 PSF	
FLOOR LIVE LOADS	SLAB ON GRADE SECOND FLOOR	100 PSF 50 PSF	
STEEL BUILDING PER CBC STEEL BUILDING STOCK # 115 C21H0015A			
FOUNDATIONS	ALLOWABLE SOIL BEARING PRESSURE	3000 PSF	PLUS 1/3 SHORT TERM INCREASE
DEFERRED SUBMITTALS			
DEFERRED SUBMITTAL ITEMS SHALL BE REVIEWED BY THE EOR AND THEN SUBMITTED TO THE BUILDING OFFICIAL.			
THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING CALCULATION AND DRAWINGS STAMPED BY AN ALASKA REGISTERED PROFESSIONAL ENGINEER FOR THE FOLLOWING CONTRACTOR DESIGNED ITEMS:			
<ul style="list-style-type: none">FOR ALL PROPOSED MODIFICATIONS TO THESE DRAWINGS.FOR ANY DETAILS WHICH ARE NOT SHOWN WITHIN THIS DRAWING SET INCLUDING BUT NOT LIMITED TO THE FOLLOWING. LARGE STORE FRONT WINDOWS, MULLIONS , WINDOW FRAME CONNECTIONS TO THE STRUCTURE, STEEL DECKING CONNECTIONS.			

GEOTECHNICAL NOTES:
1. ANY UTILITIES UNDER THE SITE SHALL BE RELOCATED AND TRENCHES BACKFILLED WITH APPROVED MATERIAL. PRIOR TO EXCAVATION FOR THE FOUNDATION.
2. GEOTECHNICAL DESIGN ASSUMPTIONS ARE NOTED ON THIS DRAWING. PRIOR TO CONSTRUCTION A QUALIFIED PROFESSIONAL IS TO VERIFY SITE CONDITIONS MEET OR EXCEED THE REQUIREMENTS NOTED BELOW.
A) ALL ORGANICS ARE TO BE REMOVED DOWN TO GOOD FREE DRAINING NON-FROST-SUSEPTABLE (NSF) MATERIAL . OVER EXCAVATE A MIN OF 2'-0" BELOW THE BASE OF THE FOOTING TO ENSURE ALL ORGANICS OR FROST SUSEPTABLE SOILS ARE ARE REMOVED. COMPACT SUB BASE TO 95% MATERIAL DENSITY ACCORDING TO ASTM-D-1557
B) BASE COARSE IS TO BE 1-1/2"MINUS FREE DRAINING WELL GRADED NFS MATERIALS COMPACTED IN 6 INCH LIFTS TO A MINIMUMN OF 95% MATERIAL DENSITY ACCORDING TO ASTM-D-1557 AND IS TO MEET OR EXCEED A BEARING CAPACITY OF 2000 PSF .
C) AII WALL BACKFILL IS TO BE GOOD FREE DRAINING NON-FROST-SUSEPTABLE (NSF) MATERIALS
D) SOIL PROPERTIES
1) MAX SOIL WEIGHT 120 pcf 4) MAX ALLOWABLE AT REST EARTH PRESSURES 56pcf
2) SOIL FRICTION ANGLE 32 Deg. 5) MIN SOIL PASSIVE PRESSURE 350pcf
3) MAX ALLOWABLE ACTIVE EARTH PRESSURE 35 pcf 6) MAX SOIL SURCHARGE 180pcf
E) SUBGRADE AND BASE MUST BE FREE FROM LOOSE MATERIAL , FREE OF STANDING WATER AND APPROVED BY GEOTECHNICAL ENGINEER OR QUALIFIENT INSPECTOR PRIOR TO PLACING BUILDING OR THE RETAINING WALL FOUNDATION REINFORCING BARS AND CONCRETE.



CM	CM					CHK
CM	CM					DWN
95% SUBMITTAL PERMIT SET						REVISION DESCRIPTION
5-28-2021	8-26-2021					DATE
A	0					REV

TERRAMOUNT ENGINEERING & DESIGN
P.O. Box 3311
PALMER, AK 99645
(907) 745-1576

PROJECT: SMOKE OUT POINT
10600 MAX DR. PALMER AK 99654
CLIENT: ANTHONY WELLS
DWG:DESIGN—CRITERIA

S1.0
DWG NO.
2021.020
PROJECT NO.

STATEMENT OF SPECIAL INSPECTIONS

THE FOLLOWING SPECIAL INSPECTIONS SHALL BE PERFORMED BY QUALIFIED PERSONNEL EMPLOYED BY THE OWNER OR THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE ACTING AS THE OWNER'S AGENT.

SPECIAL INSPECTOR QUALIFICATIONS :
THE SPECIAL INSPECTOR SHALL PROVIDE WRITTEN DOCUMENTATION

INSPECTION TASKS :
INSPECTION TASKS ARE LISTED IN THE ATTACHED TABLES AND IN THE 2012 EDITION OF THE IBC CHAPTER 17.

FABRICATOR APPROVAL :
SPECIAL INSPECTIONS REQUIRED BY SECTION 1705 ARE NOT REQUIRED WHERE THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION. TESTING REQUIREMENTS CANNOT BE WAIVED.

REPORT REQUIREMENTS:
REPORTS SHALL BE COMPLETED ON A DAILY BASIS AND DISTRIBUTED ON A WEEKLY BASIS. COPIES OF REPORTS SHALL BE DISTRIBUTED TO THE GENERAL CONTRACTOR, THE ENGINEER OF RECORD AND THE ARCHITECT OF RECORD. REPORTS SHALL INDICATE WHETHER THE WORK WAS OR WAS NOT COMPLETED IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE GENERAL CONTRACTOR. IF THEY ARE NOT CORRECTED, DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. A FINAL REPORT DOCUMENTING THE SPECIAL INSPECTIONS PERFORMED AND THE CORRECTION OF ANY DISCREPANCIES SHALL BE DISTRIBUTED AS NOTED ABOVE.

STRUCTURAL OBSERVATIONS:
THE OWNER SHALL EMPLOY THE REGISTERED DESIGN PROFESSIONAL TO PERFORM STRUCTURAL OBSERVATIONS AS FOLLOWS:

WIND:
WHERE V_{asd} EXCEEDS 110 MPH
WHERE THE STRUCTURE IS CLASSIFIED AS RISK CATEGORY III OR IV
THE BUILDING HEIGHT IS GREATER THAN 75 FT.
WHEN REQUIRED BY THE DESIGN PROFESSIONAL OR THE BUILDING OFFICIAL

SEISMIC:
WHERE THE STRUCTURE IS ASSIGNED TO SEISMIC DESIGN CATEGORY E
WHERE THE STRUCTURE IS CLASSIFIED AS RISK CATEGORY III OR IV
THE BUILDING HEIGHT IS GREATER THAN 75 FT.
WHEN REQUIRED BY THE DESIGN PROFESSIONAL OR THE BUILDING OFFICIAL

REQUIRED INSPECTION OF SOILS

VERIFICATION AND INSPECTION TASK	FREQUENCY OF INSPECTION	REMARKS
1 VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY	PERIODIC	
2 VERIFY EXCAVATIONS EXTEND TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	PERIODIC	
3 PERFORM CLASSIFICATION AND TESTING OF FILL MATERIALS.	PERIODIC	
4 VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESS DURING PLACEMENT AND COMPACTION OF COMPACTED FILL	CONTINUOUS	
5 PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT THE SITE HAS BEEN PREPARED PROPERLY.	PERIODIC	

REQUIRED VERIFICATION AND INSPECTION OF CONCRETE

VERIFICATION AND INSPECTION TASK	FREQUENCY OF INSPECTION	REFERENCE FOR CRITERIA	
		REF. STANDARD	IBC REFERENCE
1 INSPECTION OF REINFORCING STEEL, INCLUDING SIZE, GRADE AND PLACEMENT	PERIODIC	ACI 318: 3.5, 71. -7.7	1910.4
2 INSPECTION OF REINFORCING STEEL WELDING IN ACCORDANCE WITH TABLE 1705.2.2, ITEM 2b		AWS D1.4 ACI 318: 3.5.2	
3 INSPECTION OF ANCHORS CAST IN CONCRETE WHERE ALLOWABLE LOADS HAVE BEEN INCREASED OR WHERE STRENGTH DESIGN IS USED	PERIODIC	ACI 318: 8.1.3, 21.2.8	1908.5, 1909.1
4 INSPECTION OF ANCHORS POST INSTALLED IN HARDENED CONCRETE MEMBERS	PERIODIC	ACI 318: 3.8.6, 8.1.3, 21.2.8	1909.1
5 VERIFY USE OF REQUIRED MIX DESIGN	PERIODIC	ACI 318: 4, 5.2-5.4	1904.3, 1910.2, 1910.3
6 AT THE TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE	CONTINUOUS	ASTM C172 ASTM C31 ACI 318: 5.6, 5.8	1910.10
7 INSPECTION OF CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES	CONTINUOUS	ACI 318: 5.9, 5.10-5.4	1910.6, 1910.7, 1910.8
8 INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TECHNIQUES	PERIODIC	ACI 318: 5.11-5.13	1910.9
9 INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED	PERIODIC	ACI 318: 6.11	

SPECIAL INSPECTION FOR WIND RESISTANCE

VERIFICATION AND INSPECTION TASK	FREQUENCY OF INSPECTION	REMARKS
1 STRUCTURAL WOOD: NAILING, BOLTING, ANCHORING AND FASTENING OF WOOD SHEAR WALLS, DRAG STRUTS, HOLDOWNS AND DIAPHRAGMS.	PERIODIC	
2 ARCHITECTURAL COMPONENTS: ROOF AND WALL CLADDING.	PERIODIC	

SPECIAL INSPECTION FOR SEISMIC RESISTANCE

VERIFICATION AND INSPECTION TASK	FREQUENCY OF INSPECTION	REMARKS
1 STRUCTURAL WOOD: NAILING, BOLTING, ANCHORING AND FASTENING OF WOOD SHEAR WALLS, DRAG STRUTS, HOLDOWNS AND DIAPHRAGMS.	PERIODIC	
3 ARCHITECTURAL COMPONENTS: ROOF AND WALL CLADDING. INTERIOR AND EXTERIOR NON-BEARING WALLS. INTERIOR AND EXTERIOR VENEER SYSTEMS.	PERIODIC	
4 STRUCTURAL STEEL: IN ACCORDANCE WITH THE QUALITY ASSURANCE PLAN REQUIREMENTS OF AISC 341. SEE ATTACHED SCHEDULES.	PERIODIC	



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CM	CM					DWN
95% SUBMITTAL	PERMIT SET					REVISION DESCRIPTION
5-26-2021	8-26-2021					DATE
A	0					REV

TERRAMOUNT
ENGINEERING &
DESIGN

P.O. Box 3311
PALMER, AK 99645
(907) 745-1576

PROJECT: SMOKE OUT POINT
10600 MAX DR. PALMER AK 99654
CLIENT: ANTHONY WELLS
DWG: SPECIAL—INSPECTION

S1.1 DWG NO.
2021.020 PROJECT NO.



4-NTS

-
- PARAPET DETAIL PER SECTION
- TYPICAL SPLICE SHEATHING ON RIM JOIST TYP
- RIM JOIST
- NAILING PER SHEAR WALL SCHEDULE
- 2x4 PANEL EDGE BLOCKING, ALL EDGES WITH PANEL EDGE NAILING
- FIRE BLOCKING MAX 8'-0" O.C VERTICALLY
- FULL HEIGHT LVL STUDS
- NAILING PER SHEAR WALL SCHEDULE
- FIELD NAILING
- 2x4 PANEL EDGE BLOCKING, ALL EDGES WITH PANEL EDGE NAILING
- FIRE BLOCKING MAX 8'-0" O.C VERTICALLY
- WALL SHEATHING - SEE SHEARWALL SCHEDULE
- 3X OR DBL STUD AT PANEL JOINTS AS INDICATED IN SHEARWALL SCHEDULE, WITH PANEL EDGE NAILING
- PANEL EDGE NAILING AT BOTTOM PLATE
- BOTTOM PLATE - SEE SHEARWALL SCHEDULE FOR ANCHORAGE
- HOLDOWN PER PLAN
- HOLDOWN ANCHOR PER SCHEDULE
- 5 NTS
- SHEAR WALL NAILING DETAIL MULTI STORY**

NOTES:

1. WOOD STRUCTURAL PANELS SHALL CONFORM TO THE REQUIREMENTS FOR ITS TYPE IN DOC PS 1 OR PS 2.
2. APPLY SHEATHING TO THE SIDE OF THE WALL INDICATED BY THE SYMBOL. PANELS MAY BE INSTALLED HORIZONTALLY OR VERTICALLY.
3. ALL PANEL EDGES SHALL BE LOCATED ON STUDS, BLOCKING LAID FLAT, PLATES OR RIM JOISTS. WHERE SHEATHING IS APPLIED TO BOTH FACES OF WALL, OFFSET PANEL EDGES TO FALL ON DIFFERENT STUDS.
4. STAGGER PANEL EDGE NAILING AT PANEL JOINTS.
5. ANCHOR RODS SHALL BE HOT-DIPPED GALVANIZED ASTM A307 HEADED BOLTS LOCATED NO CLOSER THAN 6" FROM END OF WALL.
6. ANCHOR SILL PLATE WASHERS FOR SINGLE SHEATHED WALLS ARE TO BE A MIN 3"x3"x.229" SLOTTED PLATES. ANCHORS ARE TO BE LOCATED SO THAT THE EDGE OF WASHER IS LOCATED WITHIN 1/2" OF FACE OF THE SHEAR SHEATHING.
7. ANCHORS SILL PLATE WASHERS FOR DOUBLE SHEATHED 2X6 WALLS ARE TO BE STAGGERED FROM FACE TO FACE OF THE WALL.
8. SEE HOLDOWN SCHEDULE FOR HOLDOWNS AND BOUNDARY POST SIZES.
9. INSTEAD OF 3X EDGE FRAMING, DBL 2X STUDS MAY BE USED. FASTEN DBL STUDS TOGETHER WITH 16d FACE NAILS STAGGERED @6"OC
10. THE FIRST AND OR LAST SILL PLATE ANCHOR ON ANY GIVEN WALL SEGMENT, IS TO BE LOCATED WITHIN 6" OF THE DOOR OR ENDWALL POST HOLD-DOWN.

-- PROVIDE TYPE (S) OR (W) DRYWALL SCREWS CONFORMING TO ASTM C1002

xxx PROVIDE (2) COLUMNS OF NAILS AT PANNEL EDGE STAGGER EACH ROW VERTICALLY 2" EDGE NAIL SPACING NOTED ABOVE.

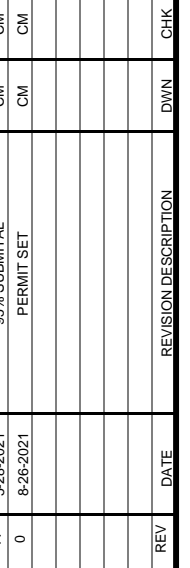
(AAA) PROVIDE SDS SCREWS AT TOP PER DETAILS TO RESIST OUT OF PLANE LOADING AT WALL TOP

NOTES:
1. PANELS RUN PERPENDICULAR TO FRAMING UNLESS NOTED OTHERWISE.
2. STAGGER ALL PANEL EDGE NAILING AT PANEL JOINTS.
3. ROOF SHEATHING NAILS ARE TO BE RING SHANK

NOTE:
1) FOR ALL OTHER FRAMING NAILING CONDITIONS SEE IBC 2009 TABLE 2304.9.1
FRAMING SCHEDULE

NOTES:

1. HOLD DOWNS ARE SIMPSON STRONG-TIE OR EQUAL.
2. ANCHOR RODS SHALL BE GALVANIZED ASTM A307 HEADED BOLTS W/ 3X3X3/8 PLATE WASHER OR ASTM F1554 GRADE 36 THREADED ROD WITH DBL NUT AND 3X3X3/8 PLATE WASHER AT BOTTOM.
3. ROD COUPLERS WITH 125% STRENGTH OF THE ROD MAY BE USED TO EXTEND RODS.
4. PROVIDE DF No. 1 BOUNDARY POSTS
5. COORDINATE WITH THE HEADER SCHEDULE FOR VERIFICATION THAT THE BOUNDARY POST SIZE AND TYPE MEETS THE REQUIREMENTS FOR KING STUD NUMBER, TYPE AND SIZE.
6. ALL STRAP TIES TO BE INSTALLED WITH SUFFICIENT LENGTH TO PROVIDE MANUFACTURERS RECOMMENDED NAILS INTO THE LOWER AND THE UPPER BOUNDARY POSTS TO DEVELOPE FULL STRAP CAPACITY.
7. SEE S1.2 FOR HOLD DOWN ANCHOR EMBEDMENT IN STRIP FOOTINGS. FOOTING CAN BE OVER EXCAVATED 1'-0" EACH SIDE OR HOLD DOWNS IF NEEDED FOR ANCHOR EMBEDMENT



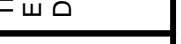
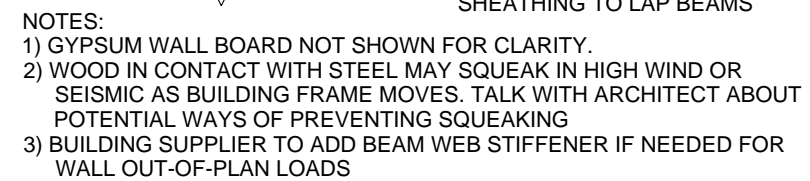
**TERRAMOUNT
ENGINEERING &
DESIGN**

PROJECT: SMOKE OUT POINT
10600 MAX DR. PALMER AK 99654
CLIENT: ANTHONY WELLS
DWG: WOOD—SHEAR—WALL—DETAILS

S1.3	
DWG NO.	
2021.020	
PROJECT NO.	



NOTE: ALL HEADERS ARE LOCATED AT THE TOP OF OPENING.
ALL TRIMMER AND KING STUD DEPTHS ARE EQUAL TO ADJACENT WALL STUD DEPTHS.
SEE HOLD-DOWN SCHEDULE FOR ADDITIONAL KING STUD CRITERIA.



DWG: WOOD-FRAMING-SCHEDULE

2021.020
PROJECT NO.

From: [Brenda Butler](#)
To: [Rick Benedict](#)
Cc: [Jana Weltzin](#); [Anthony Wells](#); [Randi Baker](#)
Subject: Re: Smoke Out Point, LLC - CUP Application for Marijuana Retail Facility - Request for Additional Information
Date: Friday, March 29, 2024 1:09:53 PM
Attachments: [21126.00 Smoke Out Point - Site Plan 3-25-2024.pdf](#)
[24-120 AB Signed-2.pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good Afternoon Rick,

Attached is the updated Site Plan and As-Built Survey that should address the items on the latest RFAI.

Please let us know if we can deem the CUP complete and get this application in front of the planning commission.

Thank you and Happy Friday!

On Fri, Jan 26, 2024 at 10:22 AM Brenda Butler <brenda@jdwcounsel.com> wrote:

Thank you Rick, we'll get on it.

Happy Friday!

On Fri, Jan 26, 2024 at 10:19 AM Rick Benedict <Rick.Benedict@matsugov.us> wrote:

Good Morning Brenda,

I have reviewed the updated application materials submitted on January 9, 2024. Upon review, it has been determined that additional information is required. If you or your client have any questions, please let me know.

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

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***** Please REPLY ALL when responding to this Email*****

Brenda Butler

JDW Counsel
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& Accounts Payable/Receivable
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Brenda Butler

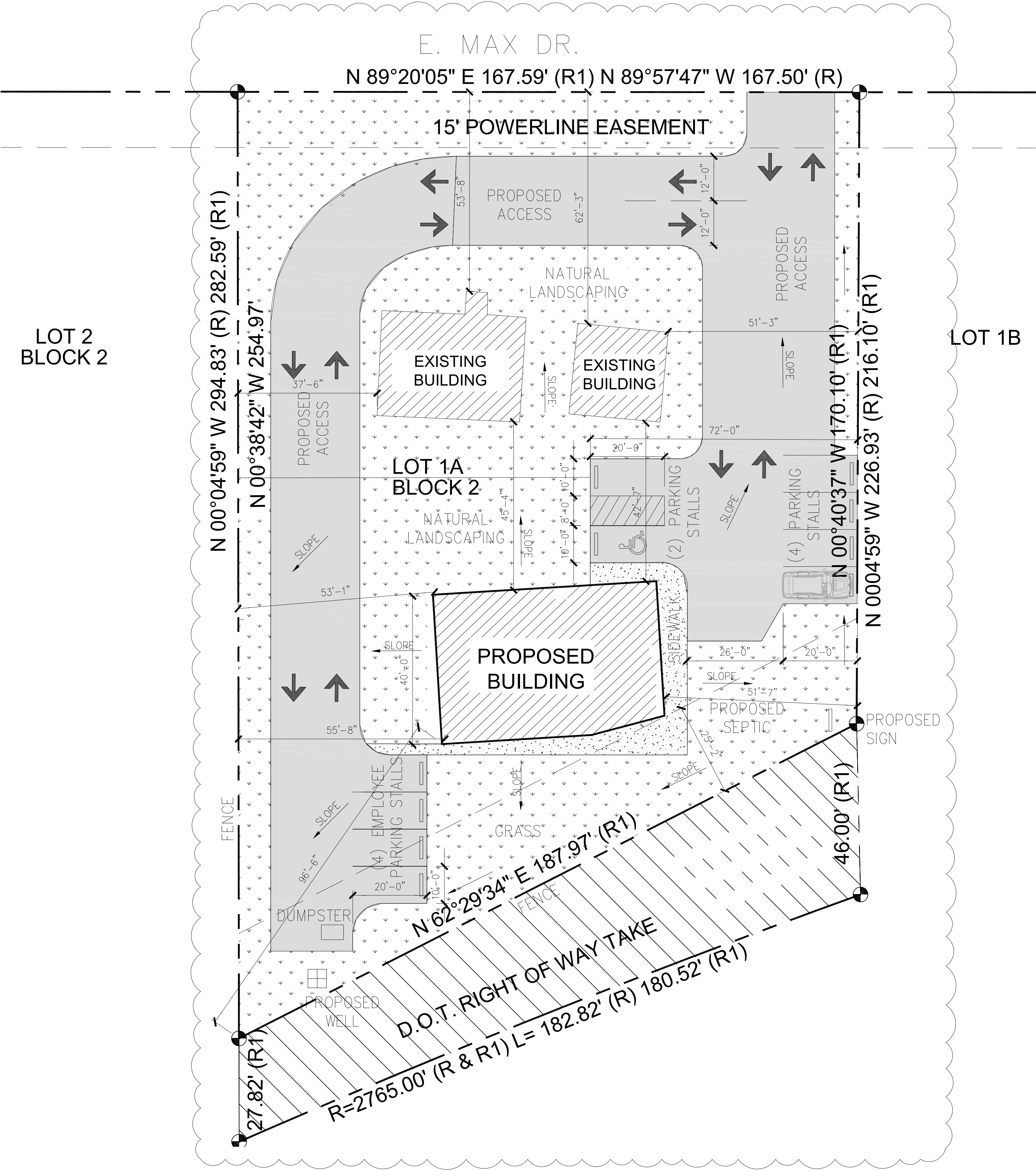
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PLOTTING DATE: XREF:

PROPOSED SITE PLAN
1" = 40'

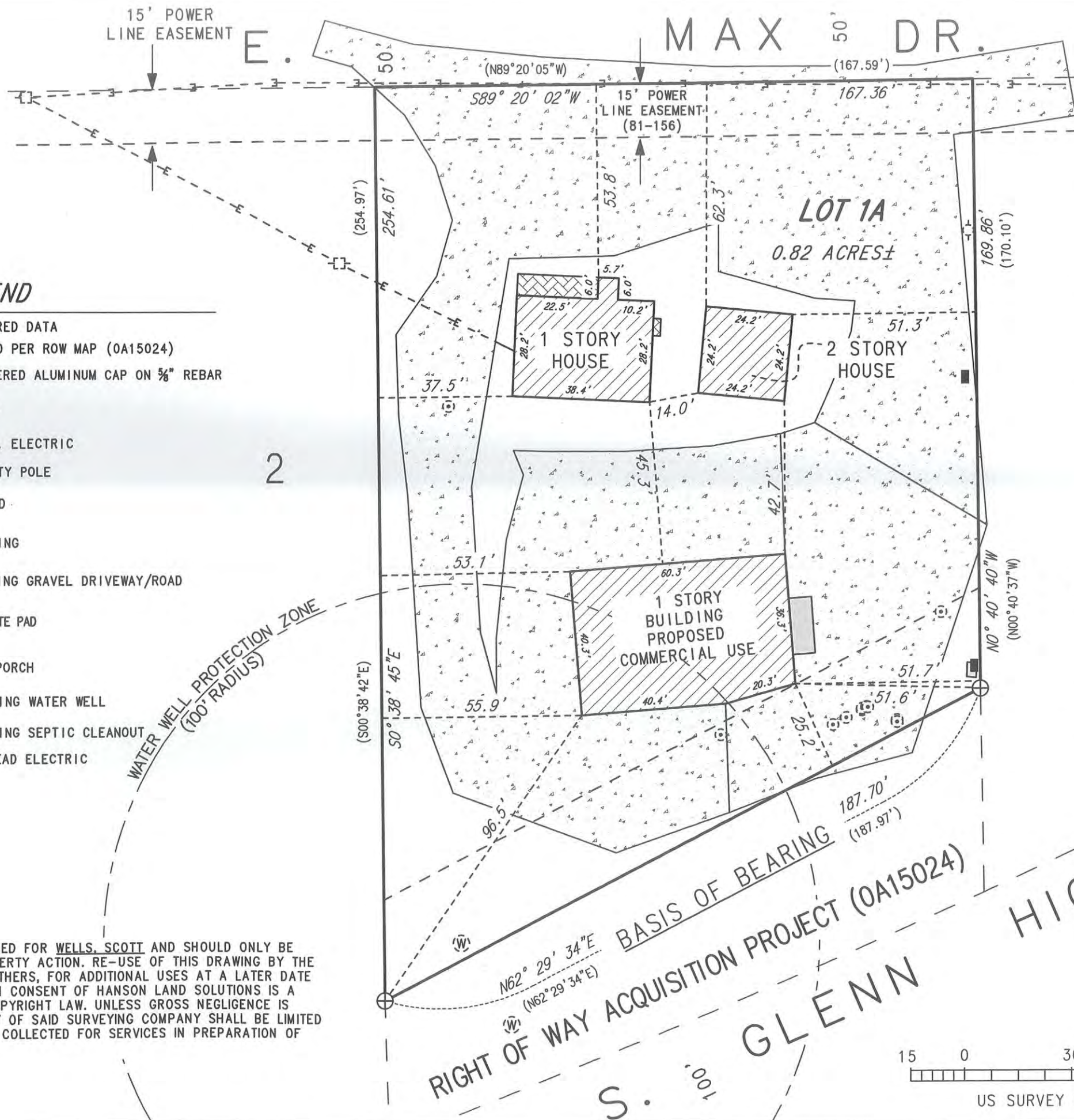


PROPERTY INFORMATION	
LEGAL DESCRIPTION:	BRADLEY LAKE SUBDIVISION, BLOCK 2, LOT 1A
PLAT NO.	81-156
STREET ADDRESS:	10600 E. MAX DRIVE, PALMER, ALASKA
SIZE:	0.86 ACRES

LEGEND	
	PROPERTY LINES
	EASEMENT LINES
	ROADWAY, PAVED
	DRAINAGE (WATER FLOW)
	TRAFFIC FLOW
	NATURAL VEGETATION
	NEW PAVING (ASPHALT)
	NEW SIDEWALK (CONCRETE)



SMOKE OUT POINT 10600 E. MAX DR, PALMER, ALASKA	
PROPOSED SITE PLAN	
REVISIONS: 10.7.21 ADDED DIMENSIONS 4.29.22 OWNER REVISIONS 6.7.22 OWNER REVISIONS 8.9.22 OWNER REVISIONS 8.26.22 OWNER REVISIONS 7.14.23 OWNER REVISIONS 2.15.24 OWNER REVISIONS 3.25.24 OWNER REVISIONS 4.9.24 OWNER REVISIONS	
DRAWN BY: MFW CHECKED BY: MFW DATE: 4.9.2024 JOB NUMBER: 21126.00	
SHEET CONTENTS: PROPERTY INFO PROPOSED SITE PLAN	
CATEGORY	SHEET
G	1.2



NOTES

1. THE HEREON REPRESENTED SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY. IT IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY DISCLOSE.
2. INFORMATION PRESENTED HEREON IS A REPRESENTATION OF VISIBLE IMPROVEMENTS AND CONDITIONS PRESENT AT THE TIME THE SURVEY WAS PERFORMED ON MARCH 01, 2024.
3. DIMENSIONS OBTAINABLE FROM THIS DOCUMENT ARE LIMITED TO THOSE BEARINGS AND GROUND DISTANCES SPECIFICALLY LABELED HEREON. THE DOCUMENT DOES NOT PURPORT TO PRESENT A BASIS FOR SCALING TO DIMENSIONS NOT LABELED HEREON.
4. THIS DOCUMENT IS NOT TO BE USED IN SUPPORT OF ANY NEW CONSTRUCTION.
5. EASEMENTS, COVENANTS AND RESTRICTIONS NOT APPEARING ON THE RECORDED SUBDIVISION PLAT MAY EXIST. DETERMINATION OF THEIR EXISTENCE IS THE RESPONSIBILITY OF THE OWNER.
6. THIS SURVEY WAS COMPLETED IN SUBSTANTIAL ACCORDANCE WITH ASPLS MORTGAGE LOCATION SURVEY STANDARDS.



HANSON LAND SOLUTIONS
305 E. FIREWEED AVE.
PALMER, ALASKA 99645
(907) 746-7738
BUSINESS LICENSE #1525



AS-BUILT SURVEY

I HEREBY CERTIFY THAT THIS DOCUMENT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, OF THE FOLLOWING REAL PROPERTY:

LOT 1A,
BLOCK 2
BRADLEY LAKE NO. 2
(PLAT 68-15)

PALMER RECORDING DISTRICT

LOCATED WITHIN
NE $\frac{1}{4}$ SEC. 24,
T. 17N. R. 1E.
SM, AK

CONTAINING
0.82 ACRES
MORE OR LESS

SCALE: 1"=30' JOB: 24-120

DWN:LS FILE: 24-120 AB

CK:CEH 03/06/24 01 OF 01

THIS SURVEY WAS PREPARED FOR WELLS, SCOTT AND SHOULD ONLY BE USED FOR A SINGLE PROPERTY ACTION. RE-USE OF THIS DRAWING BY THE ORIGINAL CLIENT OR BY OTHERS, FOR ADDITIONAL USES AT A LATER DATE WITHOUT EXPRESS WRITTEN CONSENT OF HANSON LAND SOLUTIONS IS A VIOLATION OF FEDERAL COPYRIGHT LAW. UNLESS GROSS NEGLIGENCE IS DISCOVERED, THE LIABILITY OF SAID SURVEYING COMPANY SHALL BE LIMITED TO THE AMOUNT OF FEES COLLECTED FOR SERVICES IN PREPARATION OF THIS PRODUCT.