

AGENDA

MATANUSKA-SUSITNA BOROUGH PLATTING BOARD AGENDA

PLATTING BOARD

LaMarr Anderson
Pio Cottini
Dennis Vau Dell
Wilfred Fernandez
John Shadrach
Dan Bush
Alan Leonard
Justin Hatley, Alt #1
Barabara Doty, Alt #2



PLATTING DIVISION

Fred Wagner, Platting Officer
Peggy Horton, Platting Technician
Amy Otto-Buchanan, Platting Technician
Cheryl Scott, Platting Technician
Sloan Von Gunten, Platting Div. Specialist

*Assembly Chambers of the
Dorothy Swanda Jones Building
350 E. Dahlia Avenue, Palmer*

**MARCH 4, 2021
REGULAR MEETING
1:00 P.M.**

Ways to participate in Platting Board meetings:

IN PERSON: Should you wish to testify in person, please adhere to the 6-foot distance between yourself and others. It is required that you wear a mask if you attend in person in all Mat-Su Borough Buildings.

IN WRITING: You can submit written comments by email to platting@matsugov.us or by mail to Matanuska-Susitna Borough, Platting Division, 350 E. Dahlia Avenue, Palmer, AK 99645

TELEPHONIC TESTIMONY: (Audio only)

Attention: For those using the telephonic system, please be advised that we have had technical difficulties. The preference for public participation is in-person or submission of written comments. Once public comments are closed, all public participation is also closed. To ensure your concerns are heard, it is best to present them in-person.

- Dial 1-855-225-1887; with Conference ID 8573#; You will hear "Joining conference" when you are admitted to the meeting. (If the system is down, you will need to attend the meeting in person to participate)
- You will be automatically muted and able to listen to the meeting.
- When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear "Your hand has been raised."
- When it is your turn to testify you will hear "Your line has been unmuted."
- State your name for the record, spell your last name and your mailing address, and provide your testimony.
- If you cannot access the telephonic system please call the Mat-Su Borough Platting's main phone line for directions. 907-861-7874

1. CALL TO ORDER

- A. Roll Call and Determination of Quorum (by Secretary)
- B. Pledge of Allegiance
- C. Approval of Agenda

2. APPROVAL OF MINUTES

- A. February 4, 2021

3. AUDIENCE PARTICIPATION & PRESENTATIONS

- A. **PERSONS TO BE HEARD** (Three minutes per person for Items not scheduled for public hearing)

4. UNFINISHED BUSINESS

(There is no Unfinished Business)

5. RECONSIDERATIONS/APPEALS

(There are no Reconsiderations/Appeals)

6. PUBLIC HEARINGS

- Platting Board Chair to read the Ex-Parte & Interest Memo.

- A. **WM CONSTRUCTION LLC:** The request is to create 35 lots, by a three-phase master plan, from Tax Parcel C30, to be known as **GREEN ACRES MASTER PLAN**, containing 11.06 acres +/- . The plat is located north of E. Helen Drive and east of S. Felton Street, within the city limits of Palmer (Tax ID # 117N02E05C030); within the SW ¼ Section 05, Township 17 North, Range 02 East, Seward Meridian, Alaska. Community Council: N/A and Assembly District #2 Stephanie Nowers.

7. ITEMS OF BUSINESS & MISCELLANEOUS

- A. Special Meeting Session on Title 43 White Board List.

8. PLATTING STAFF & OFFICER COMMENTS

- A. Adjudicatory *(if needed)*

- Definition: Law. To hear and settle an issue or a question regarding code.

- B. Upcoming Platting Board Agenda Items *(Staff: Fred Wagner & Clerk: Sloan Von Gunten)*

- Introduction for the March 18, 2021 Platting Board Hearing *(Informational Only – Subject to change)*
 - Memory Hls 2, Case 2021-012
 - Ty Rvr Raven Wdlands, Case 2021-014
 - Aldeman 2 ROW Vac & PUE, Case 2021-015/016
 - Stanley & Sons w/UE, Case 2021-018/019

9. BOARD COMMENTS**10. ADJOURNMENT**

THE PLATTING BOARD WILL CONVENE AT **1:00 P.M.** on **March 4, 2021** in the **Assembly Chambers** of the **Dorothy Swanda Jones Building**, 350 E. Dahlia Avenue, Palmer, Alaska. To view the agenda or meeting packet please go to the following link: www.matsugov.us/boards/platting. **Please follow all public protocols in relation to the mandates regarding Covid-19 for public participation.**

MINUTES

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES****REGULAR MEETING
FEBRUARY 4, 2021**

The regular meeting of the Matanuska-Susitna Borough Platting Board was held on February 4, 2021, at the Matanuska-Susitna Borough Assembly Chambers, 350 E. Dahlia Avenue, Palmer, Alaska. The Meeting was called to order at 1:00 p.m. by Chair LaMarr Anderson.

1. CALL TO ORDER**A. ROLL CALL AND DETERMINATION OF QUORUM (by Administrative Specialist)**

Platting Board members present and establishing a quorum:

Mr. Pio Cottini, District Seat #1
Mr. LaMarr Anderson, District Seat #2
Mr. Dan Bush, District Seat #4
Mr. Dennis Vau Dell, District Seat #5
Mr. Wilfred Fernandez, District Seat #6, Vice Chair (attended via TEAMS)
Mr. Justin Hatley, Alternate

Platting Board members absent and excused were:

Mr. John Shadrach, District Seat #3
VACANT, District Seat #7
VACANT, Alternate

Staff in attendance:

Mr. Fred Wagner, Platting Officer
Ms. Sloan Von Gunten, Platting Administrative Specialist
Ms. Peggy Horton, Platting Technician
Ms. Amy Otto-Buchanan, Platting Technician

B. THE PLEDGE OF ALLEGIANCE

The pledge of allegiance was led by Platting Board Member Justin Hatley.

C. APPROVAL OF THE AGENDA

Chair Anderson inquired if there were any changes to the agenda.

GENERAL CONSENT: The agenda was approved without objection.

2. APPROVAL OF MINUTES

Chair Anderson inquired if there were any changes to the minutes for January 7, 2021.

GENERAL CONSENT: The minutes for January 7, 2021 were approved without objections.

3. AUDIENCE PARTICIPATION & PRESENTATIONS (*Three minutes per person, for items not scheduled for public hearing*)**A. Persons to Be Heard (*There are no persons to be heard*)****4. UNFINISHED BUSINESS: Quasi-Judicial Matters**
(There is no Unfinished Business)

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES****REGULAR MEETING
FEBRUARY 4, 2021****5. RECONSIDERATIONS/APPEALS***(There is no Reconsiderations/Appeals)***6. PUBLIC HEARINGS: Quasi-Judicial Matters**

Platting Board members may not receive or engage in ex-parte contact with the applicant, other parties interested in the application, or members of the public concerning the application or issues presented in the application.

- A. **ADAM'S RIB:** The request is to create 27 lots from Tract 1-C, Country Addition to Eve's Eye, Plat No. 98-94, to be known as Adam's Rib, containing 29.27 acres +/- . The plat is located north of E. Scott Road, and east of N. Rib Road, (Tax ID # 54760000T001-C); within the SE ¼ SE ¼ Section 30, Township 18 North, Range 02 East, Seward Meridian, Alaska. Community Council: Greater Palmer and Assembly District #1 Tim Hale. (Owner/Petitioner: Hansini LLC, Surveyor: Hanson, Staff: Amy Otto-Buchanan)

Chair Anderson:

- Read the statement regarding Ex-Parte & Interest on quasi-judicial actions into the record,
- Platting Member Cottini recused himself from Adam's Rib.
- Read the case title and description into the record.

Ms. Von Gunten provided the mailing report:

- Stating that 11 public hearing notices were mailed out on January 13, 2021.

Ms. Amy Otto-Buchanan:

- Gave an overview of the case, #2020-174.
- Staff recommends approval of the case with findings of fact and conditions.

Chair Anderson invited the petitioner and/or the petitioner's representative to give a brief overview.

Mr. Craig Hanson, the petitioner's representative, did not want to give an overview.

Chair Anderson:

- Opened the public hearing for public testimony.
- There being no one to be heard, the chair closed the public hearing.
- Invited the petitioner or their representative to provide their comments.

Mr. Craig Hanson, the petitioner's representative, and Curt Holler, the engineer, agrees with all recommendations and answered questions from the board.

The Clerk called point of order as questions by Platting Member Vau Dell were not appropriate. The surveyor has the right to say he cannot answer a question by the platting board.

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES****REGULAR MEETING
FEBRUARY 4, 2021**

Chair Anderson moved to the Platting Board for a motion.

MOTION: Platting Member Fernandez moved to approve the preliminary plat for Adam's Rib, with 9 recommendations. The motion was seconded by Platting Member Hatley.

Discussion by the platting board on the roadway.

VOTE: The motion passed with 4 in favor by roll call vote. (Fernandez, Bush, Hatley, and Anderson) and 1 against (Vau Dell). There are 8 Findings of fact.

TIME: 1:22 P.M.

CD: 0:21:30

BREAK

TIME: 1:27 P.M.

CD: 0:25:50

Platting Board Member Cottini returned to his seat.

B. BRITTANY ESTATES ADD 1 PH 3 RSB TRC C-1: The request is to create a utility lot and a remainder tract from Tract C-1, Brittany Estates Addition 1 Phase 3, Plat No. 2005-80, to be known as Tract C-1-A and Tract C-1-B, containing 16.88 acres +/- . The plat is located south of E. Palmer-Wasilla Highway, east of E. Irwin Loop and west of S. Felton Street, (Tax ID # 55714000T00C-1); within the E ½ NW ¼ Section 05, Township 17 North, Range 02 East, Seward Meridian, Alaska. Parcel is within the City limits of Palmer. Community Council: NA. Assembly District #2 Stephanie Nowers. Continued from the January 7, 2021 platting board hearing. (*Owner/Petitioner: Chinook Holdings, LLC; Surveyor: Besse; Staff: Amy Otto-Buchanan*)

Chair Anderson:

- Read the statement regarding Ex-Parte & Interest on quasi-judicial actions into the record; there was no objection noted by the platting board.
- Read the case title and description into the record.

Ms. Von Gunten provided the mailing report:

- Stating that 291 public hearing notices were mailed out on December 16, 2020 from the original platting board hearing on January 7, 2021.

Ms. Amy Otto-Buchanan:

- Gave an overview of the case, #2020-169.
- Staff recommends approval of the case with findings of fact and conditions.

Chair Anderson invited the petitioner and/or the petitioner's representative to give a brief overview.

Mr. Rick Besse, the petitioner's representative, gave a brief overview.

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES****REGULAR MEETING
FEBRUARY 4, 2021**

Chair Anderson:

- Opened the public hearing for public testimony.
- There being no one to be heard, the chair closed the public hearing.
- Invited the petitioner or their representative to provide their comments.

Mr. Rick Besse, the petitioner's representative, agrees with all recommendations and had no comments.

Chair Anderson moved to the Platting Board for a motion.

MOTION: Platting Member Cottini moved to approve the preliminary plat for Brittany Estates Addition 1 Phase 3 RSB Tract C-1 and the variance from MSB 43.20.120 Legal Access and MSB 43.20.140 Physical Access, with 7 recommendations. The motion was seconded by Platting Member Vau Dell.

VOTE: The motion passed with all in favor by general consent. There are 8 Findings of fact.

TIME: 1:42 P.M.

CD: 0:40:24

C. VIEW POINTE AT THE RANCH ADD 1 MASTER PLAN: The request is to create a 120-lot, 4-phase Master Plan from Tracts B, C, F, & G, View Pointe at the Ranch, Plat 2020-93, to be known as View Pointe at the Ranch Addition 1 Master Plan, containing 72.83 acres +/- . The lots will be served by a community water system. The property is located west of South Trunk Road Extension and north of the Alaska Railroad right-of-way (Tax ID # 8049000T00B, 8049000T00C, 8049000T00F, 8049000T00G); lying within the S ½ Section 16 and NE ¼ Section 21, Township 17 North, Range 01 East, Seward Meridian, Alaska. Community Council: Gateway and in Assembly District #3: George McKee.
(Owner/Petitioner: Arctic Devco, Inc.; Surveyor: Besse Surveying; Staff: Peggy Horton)

Chair Anderson:

- Read the statement regarding Ex-Parte & Interest on quasi-judicial actions into the record;
- Platting Member Hatley recused himself from the case.
- Read the case title and description into the record.

Ms. Von Gunten provided the mailing report:

- Stating that 83 public hearing notices were mailed out on January 13, 2021.

Ms. Peggy Horton:

- Gave an overview of the case, #2020-189.
- Asking for a continuance to February 18, 2021.

Chair Anderson:

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES****REGULAR MEETING
FEBRUARY 4, 2021**

- Opened the public hearing for public testimony.
- There being no one to be heard, the chair kept the public hearing open.

Chair Anderson moved to the Platting Board for a motion.

MOTION: Platting Member Cottini moved to continue the Master Plan for View Pointe at the Ranch Addition 1 to February 18, 2021. The motion was seconded by Platting Member Vau Dell.

VOTE: The motion passed with all in favor by general consent.

TIME: 1:48 P.M.

CD: 0:46:54

Platting Member Hatley returned to his seat.

D. **JAYS LANDING:** The request is to create 10 lots from Tracts X-2A, X-2C & X-2D, Phase Four, First Addition to Aero on Wolf Lake, Plat 98-151, to be known as **JAYS LANDING**, containing 10.99 acres +/- . The property is located north of E. Hart Lake Loop, along both sides of N. Whitman Place and north of E. Caravelle Circle (Tax ID #4799000T00X-2A, 4799000T00X-2C, 4799000T00X-2D); lying within the NE ¼ Section 21, Township 18 North, Range 01 East, Seward Meridian, Alaska. Community Council: North Lakes and in Assembly #6: Jesse Sumner. Continued from January 7, 2021 platting board hearing. (Owner/Petitioner: D.E. Southfork LLC; Surveyor: Besse Surveying; Staff: Peggy Horton)

Chair Anderson:

- Read the statement regarding Ex-Parte & Interest on quasi-judicial actions into the record.
- Platting Member Hatley recused himself from the case.
- Read the case title and description into the record.

Ms. Von Gunten provided the mailing report:

- Stating that 176 public hearing notices were mailed out on December 16, 2020 from the original platting board hearing on January 7, 2021.

Ms. Peggy Horton:

- Gave an overview of the case, #2020-170.
- Staff recommends approval of the case with findings of fact and conditions.
- Would like to modify finding #7.

Chair Anderson invited the petitioner and/or the petitioner's representative to give a brief overview.

Ms. Barbara Doty, the petitioner's representative, gave a brief overview.

Chair Anderson:

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES****REGULAR MEETING
FEBRUARY 4, 2021**

- Opened the public hearing for public testimony.

The following person spoke regarding their concerns on the land use and objects to the commercial use on the southern lots of the property: Ms. Janis Bishop.

The following person spoke regarding the case and is in agreement to the project: Ms. Patricia Livingston.

Chair Anderson

- There being no one else to be heard, the chair closed the public hearing.
- Invited the petitioner or their representative to provide their comments.

Ms. Barbara Doty, the petitioner's representative, gave clarification on the project and the property use. Answered questions from the platting board.

Chair Anderson moved to the Platting Board for a motion.

MOTION: Platting Member Cottini moved to approve the preliminary plat for Jays Landing, with 6 recommendations and modifying finding #7. The motion was seconded by Platting Member Bush.

Discussion ensued by the platting board on land development and doing a platting action.

FINDINGS:

- Modify #7: There were no borough department or outside agency objections. There was one public objection to this plat.

VOTE: The motion passed with 4 in favor by roll call vote. (Bush, Fernandez, Anderson, Cottini) and 1 against (Vau Dell). There are 7 findings of fact.

TIME: 2:16 P.M.

CD: 01:15:32

Platting Member Hatley returned to his seat.

7. ITEMS OF BUSINESS & MISCELLANEOUS**8. PLATTING STAFF & OFFICER COMMENTS**

- A. Adjudicatory (*if needed*)
- B. Upcoming Platting Board Agenda Items

Mr. Wagner provided a brief update on cases that will be coming before the Platting Board on February 18, 2021. Updated the board on Title 43 White Board List and will put on the February 18, 2021 agenda.

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES**

**REGULAR MEETING
FEBRUARY 4, 2021**

Ms. Von Gunten updated the board on a new platting board member, Mr. Leonard, sitting in District 7 seat. Provided information on the upcoming APA Conference. The clerk will research information regarding procedures that the chair would like to do.

9. BOARD COMMENTS

- Platting Member Fernandez had no comments.
- Platting Member Cottini commented on the white board list.
- Platting Member Bush thanked everyone for their input.
- Platting Member Vau Dell had no comments.
- Platting Member Hatley thanked everyone in working with them, as he will be resigning in the next month or so.
- Platting Member Anderson thanked the board for their work for the day.

10. ADJOURNMENT

With no further business to come before the Platting Board, Chair Anderson adjourned the meeting at 2:27 p.m. (CD: 01:26:55)

LAMARR ANDERSON,
Platting Board Chair

ATTEST:

SLOAN VON GUNTEN,
Platting Board Clerk

Minutes approved: _____

6A

STAFF REVIEW AND RECOMMENDATIONS
PUBLIC HEARING
MARCH 4, 2021

PRELIMINARY PLAT: GREEN ACRES MASTER PLAN

LEGAL DESCRIPTION: SEC 05, T17N, R02E, SEWARD MERIDIAN AK

PETITIONERS: WM CONSTRUCTION LLC

SURVEYOR/ENGINEER: HANSON LAND SOLUTIONS

ACRES: 11.06 ± PARCELS: 35

REVIEWED BY: AMY OTTO-BUCHANAN CASE #: 2021-006

REQUEST: The request is to create 35 lots, by a three-phase master plan, from Tax Parcel C30, to be known as **GREEN ACRES MASTER PLAN**, containing 11.06 acres +/- . The plat is located north of E. Helen Drive and east of S. Felton Street, within the city limits of Palmer; within the SW ¼ Section 05, Township 17 North, Range 02 East, Seward Meridian, Alaska. Lots will be served by City of Palmer water and sewer.

EXHIBITS

Vicinity Map and Aerial Photos	EXHIBIT A – 5 pgs
As-Built and Topographic Information	EXHIBIT B – 5 pgs
Water System Plans and Street Plan & Profile	EXHIBIT C – 23 pgs

AGENCY COMMENTS

Department of Public Works Operations & Maintenance	EXHIBIT D – 1 pg
Planning	EXHIBIT E – 1 pg
Department of Emergency Services	EXHIBIT F – 1 pg
City of Palmer	EXHIBIT G – 1 pg
Utilities	EXHIBIT H – 2 pgs
Public Comment	EXHIBIT I – 7 pgs

DISCUSSION: The proposed subdivision is north of E. Helen Drive and east of S. Felton Street, within the city limits of Palmer. Lots will be served by City of Palmer water and sewer systems (see **Exhibit C** for details). Lot sizes meet the requirements of MSB 43.20.281(A)(3). Streets will be built to residential street standards; City of Palmer required to accept the streets (see **Recommendation #4**). Streets will be maintained by City of Palmer. The Public Use Easement of S. Felton Streets and the 30' wide Public Use Easement of E. Helen Drive will be dedicated as right-of-way. Utility easements are either in place or will be granted by this platting action. A drainage easement will be granted between Lot 15 and Lot 14, Block 1. A soils report is not required, as lots are served by city water and sewer.

Petitioner is not connecting to the large parcel to the east, Tax Parcel D12, pursuant to MSB 43.20.060(C), which states: “access to adjoining lands does not have to be provided where legal and constructible access is available.” The parcel to the east is characterized by very steep terrain and little usable building area.

The property has a steep hill running in a northeasterly direction along its easterly border that limits road construction alternatives. This hill leaves a small area of usable ground on the lower level with legal and constructible access to S. Margaret Drive along its entirety. The remainder of the parcel, much higher up, has legal and constructible access to S. Margaret Drive in the area of S. Margaret Drive's intersection with E. Harold Street (see **Exhibit A-6** for topography map of Tax Parcel D12). MSB 43.20.060(D) states: "Subdivisions shall provide through connecting rights-of-way to all adjoining stub roads and unsubdivided parcels, where feasible, to improve interconnectivity and/or public safety. If it is shown by the applicant to be unnecessary for future development and/or public safety, then a reduction to a lesser road right-of-way standard or an elimination of the requirement shall be applied." Petitioner notes a stub road to the adjoining parcel will not improve interconnectivity due to the steep terrain of the adjoining parcel.

Drainage Plan and Roads: Plan and Profile of proposed street is shown in **Exhibit C**.

Comments: Department of Public Works Operations & Maintenance (**Exhibit D**) notes storm drains and sewer manholes are not to be in the vehicle wheel paths. Planning Division has no comments (**Exhibit E**). Department of Emergency Services (**Exhibit F**) has no issues.

City of Palmer: (**Exhibit G**) has no comments and no changes necessary. This proposed platting action will be brought before the Planning & Zoning Commission on February 18, 2021 and any additional comments will be forwarded after the meeting.

Utilities: (**Exhibit H**) MTA has no comments. Enstar has no comments, recommendations or objections. MEA and GCI did not respond.

Public Comment: (**Exhibit I**)

Kaytlin & Nicholas Clemmons, owners of Lot 2, Block 7, Hidden Ranch Estates to the northwest, object: "With the amount of lots this will drive the connecting neighborhood value down. This will also cause more traffic issues that we already have. Having that many houses can also raise crime rates being this close to the fairgrounds."

Orion & Bobbie Luben, owners of Lot 10, Block 7, Hidden Ranch Estates to the northwest, object: "There are too many lots in a small area. 35 lots will cause even more traffic issues in an area that already struggles. I would be fine with ½ acre lots like Hidden Ranch, but this is too dense. I spoke with a few realtors and this will drop our home values. It will drop my home's value according to multi realtors. Which is greedy of this builder. There is not an appropriate traffic flow for this area which has been complained about multi times and there are meetings with the mayor as well."

Dylan Kaupe, address unknown, feels "this project is a poor idea for the neighborhood and community surrounding, because 35 housing units is much denser than any of the newer streets in the neighborhood creating overcrowding on E. Robert Green Loop. There will be inadequate parking spaces available for a typical 2 car family. Property values based on comparable sized lots will be inconsistent devaluing surrounding property values. E. Robert Green Loop both access S. Felton Street within the same block making congestion inevitable. S. Felton Street is narrow for the only access block to E. Robert Green Loop. S. Felton Street does not have pedestrian sidewalks or bicycle paths on either side of the roadway, causing a hazardous exposure to pedestrian and bicyclists. E. Helen Drive to E. Moore Road has a very narrow and steep gradient hill that is difficult for ordinary passenger vehicles and school buses to navigate from the end

of S. Felton Street, which would be the route of choice for access to the Glenn Highway and service road. High traffic movement at certain times of the day would make for difficult congestion on E. Robert Green Loop.”

Lindsay Coultas, a home-owner in Hidden Ranch, has objections: “35 housing units is much denser than any of the newer streets in the neighborhood creating overcrowding on E. Robert Green Loop. There will be inadequate parking spaces available for a typical 2 car family. Property values based on comparable sized lots will be inconsistent devaluing surrounding property values. E. Robert Green Loop both access S. Felton Street within the same block making congestion inevitable. S. Felton Street is narrow for the only access block to E. Robert Green Loop. S. Felton Street does not have pedestrian sidewalks or bicycle paths on either side of the roadway, causing a hazardous exposure to pedestrian and bicyclists. E. Helen Drive to E. Moore Road has a very narrow and steep gradient hill that is difficult for ordinary passenger vehicles and school buses to navigate from the end of S. Felton Street, which would be the route of choice for access to the Glenn Highway and service road. High traffic movement at certain times of the day would make for difficult congestion on E. Robert Green Loop.”

Taras Lapka, owner of Lot 5, Block 3, Hidden Ranch, to the northwest, objects: “Felton Street and Helen Drive cannot handle this huge increase in traffic. The average American home has two cars. This would be a significant stress on Felton, since most of the traffic would go north on Felton to reach the core Palmer area.”

William Toney, owner of Lot 6, Block 3, Hidden Ranch, to the northwest, objects: “Size of lots far too small for the rest of the neighborhood. Developer is attempting to put 35 lots on an area the same size that only has 20 for the rest of the neighborhood.”

At the time of staff report write-up, there were no responses to the Request for Comments from US Army Corps of Engineers, ADF&G; MSB Community Development, Assessments, Pre-Design Division or Development Services; GCI or MEA.

CONCLUSION: The preliminary plat of Green Acres Master Plan is consistent with AS 29.40.070 Platting Regulations and MSB 43.15.016 Preliminary Plats. There were no objections from any federal or state agencies, Borough departments, or utilities. There were objections to the plat from the public in response to the Notice of Public Hearing. A soils report was not required, as each lot is served by City of Palmer water and sewer, pursuant to MSB 43.20.281(A)(3). Each lot will have the required legal and physical access, required by MSB 43.20.120 and MSB 43.20.140. Each lot will have the required frontage, pursuant to MSB 43.20.320.

FINDINGS OF FACT

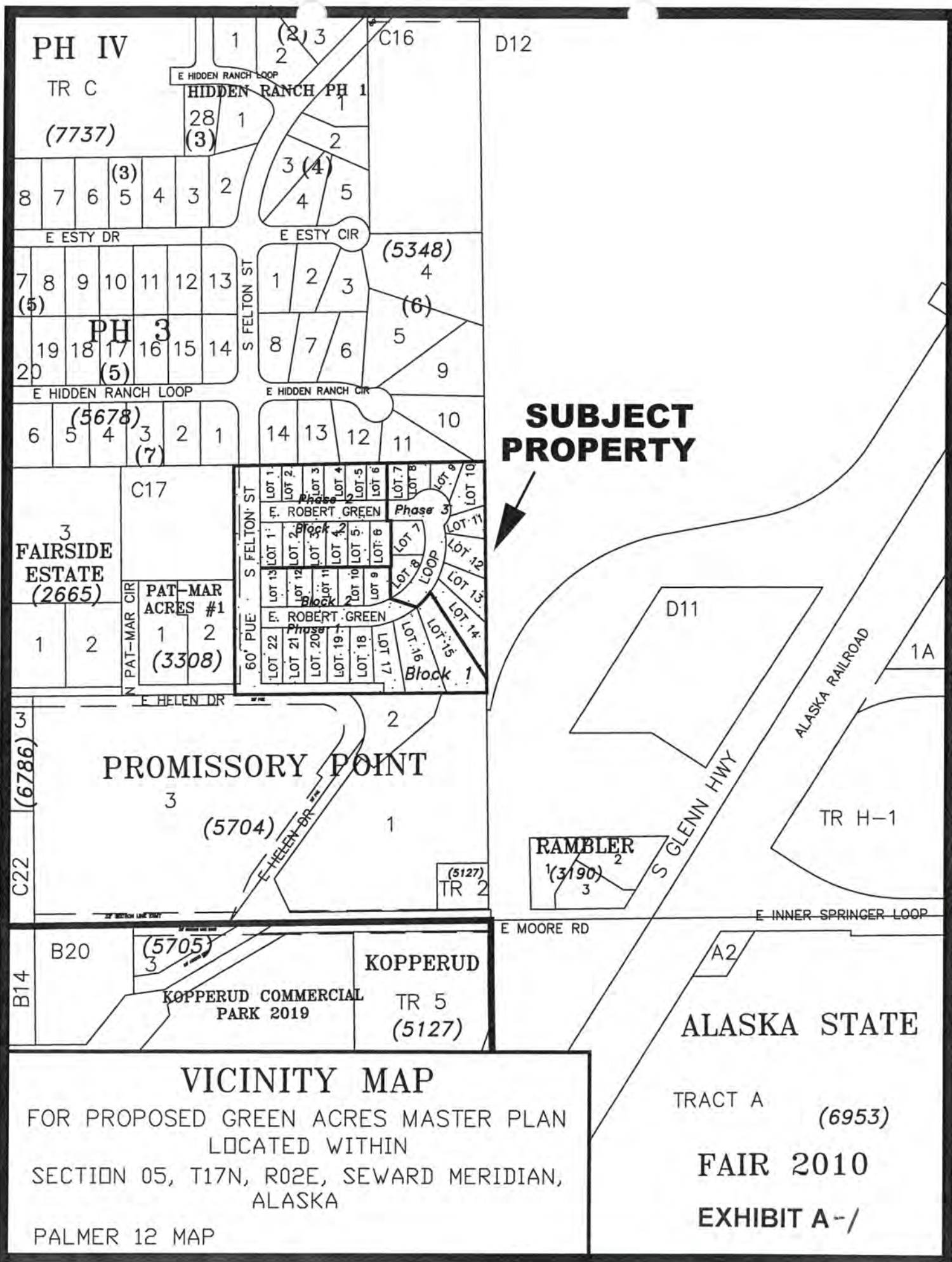
1. The plat of Green Acres Master Plan is consistent with AS 29.40.070 Platting Regulations and MSB 43.15.016 Preliminary Plats
2. A soils report was not required, pursuant to MSB 43.20.281(A)(3), as lots are served by City of Palmer water and sewer.
3. Each lot will have the required legal and physical access, required by MSB 43.20.120 and MSB 43.20.140.
4. Each lot will have the required frontage, pursuant to MSB 43.20.320.

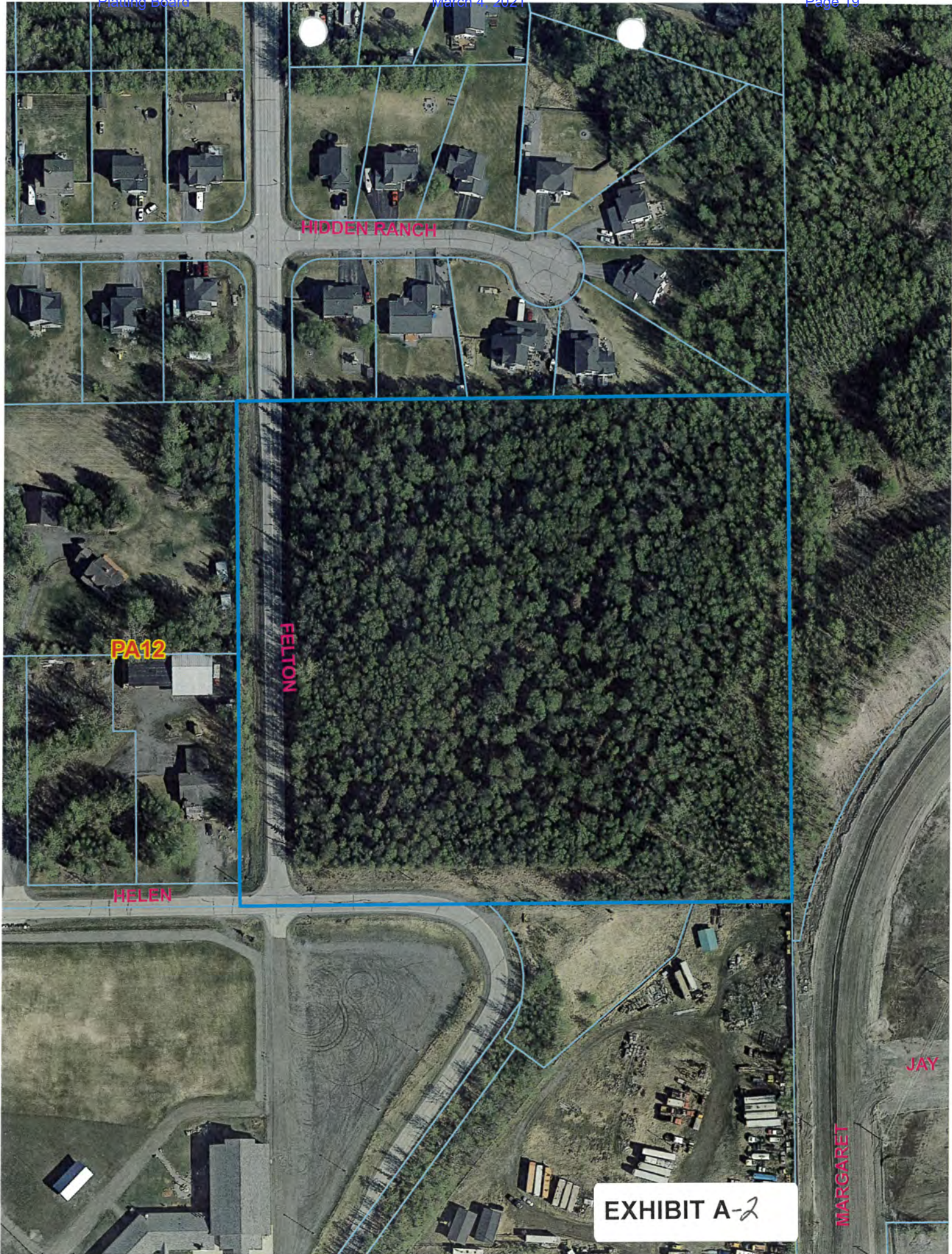
5. At the time of staff report write-up, there were no responses to the Request for Comments from US Army Corps of Engineers, ADF&G; MSB Community Development, Assessments, Pre-Design Division or Development Services; GCI or MEA.
6. There were no objections from any federal or state agencies, or Borough departments.
7. There were objections from the public in response to the Notice of Public Hearing.

RECOMMENDATIONS OF CONDITIONS OF APPROVAL

Suggested motion: I move to approve the preliminary plat of Green Acres Master Plan, Section 05, Township 17 North, Range 02 East, Seward Meridian, Alaska, contingent on staff recommendations:

1. Taxes and special assessments must be paid in full for the year of recording of each phase, pursuant to MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs), by CERTIFIED FUNDS OR CASH.
2. Provide updated Certificate to Plat executed within seven (7) days of recording of each phase plat and submit Beneficiary Affidavit for any holders of a beneficial interest for each phase plat.
3. Pay postage and advertising fees.
4. Provide road acceptance from City of Palmer for each phase plat.
5. Show all easements of record on each phase plat.
6. Submit recording fees, for each phase plat, payable to Department of Natural Resources (DNR).
7. Submit each phase final plat in full compliance with Title 43.





HIDDEN RANCH

FELTON

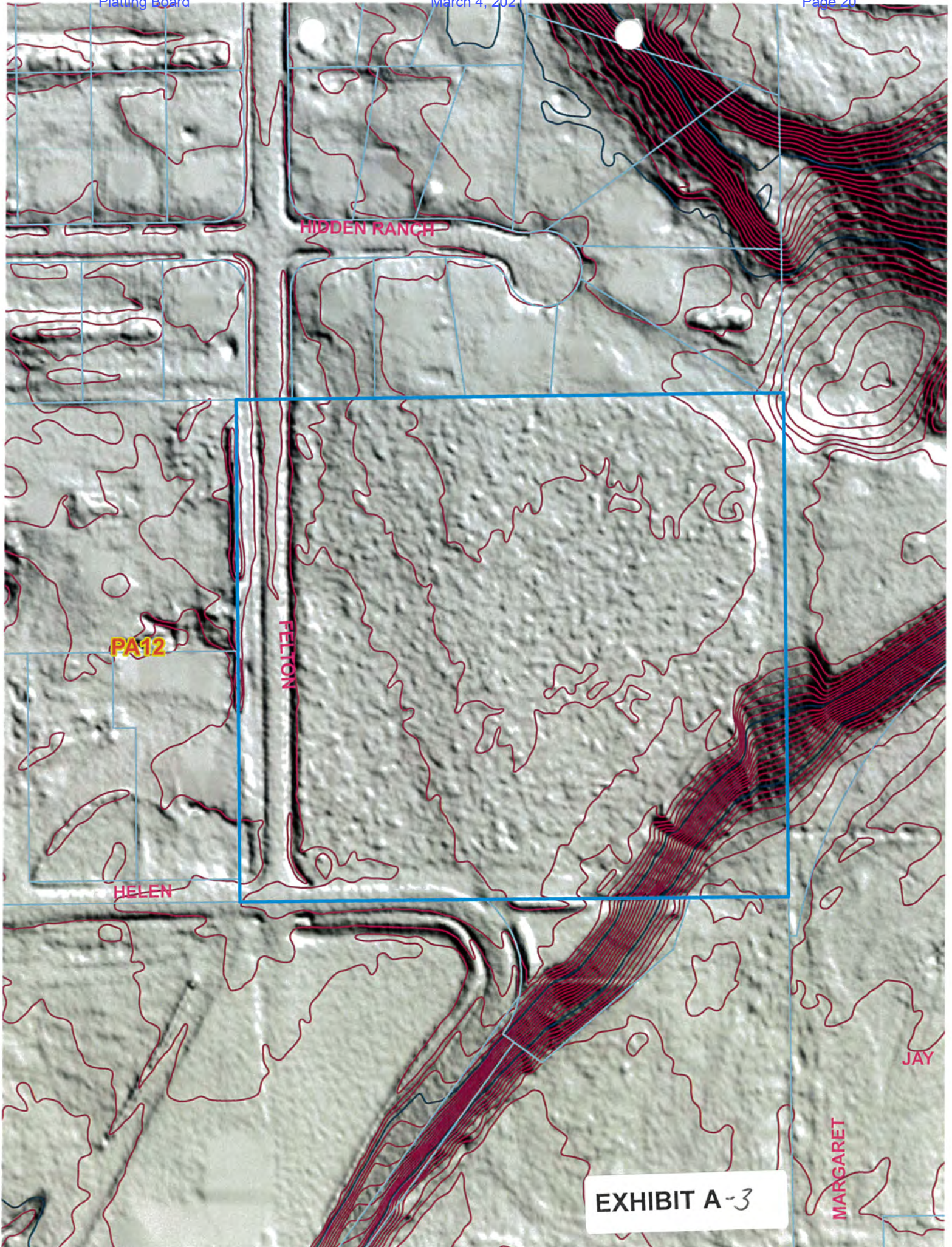
PA12

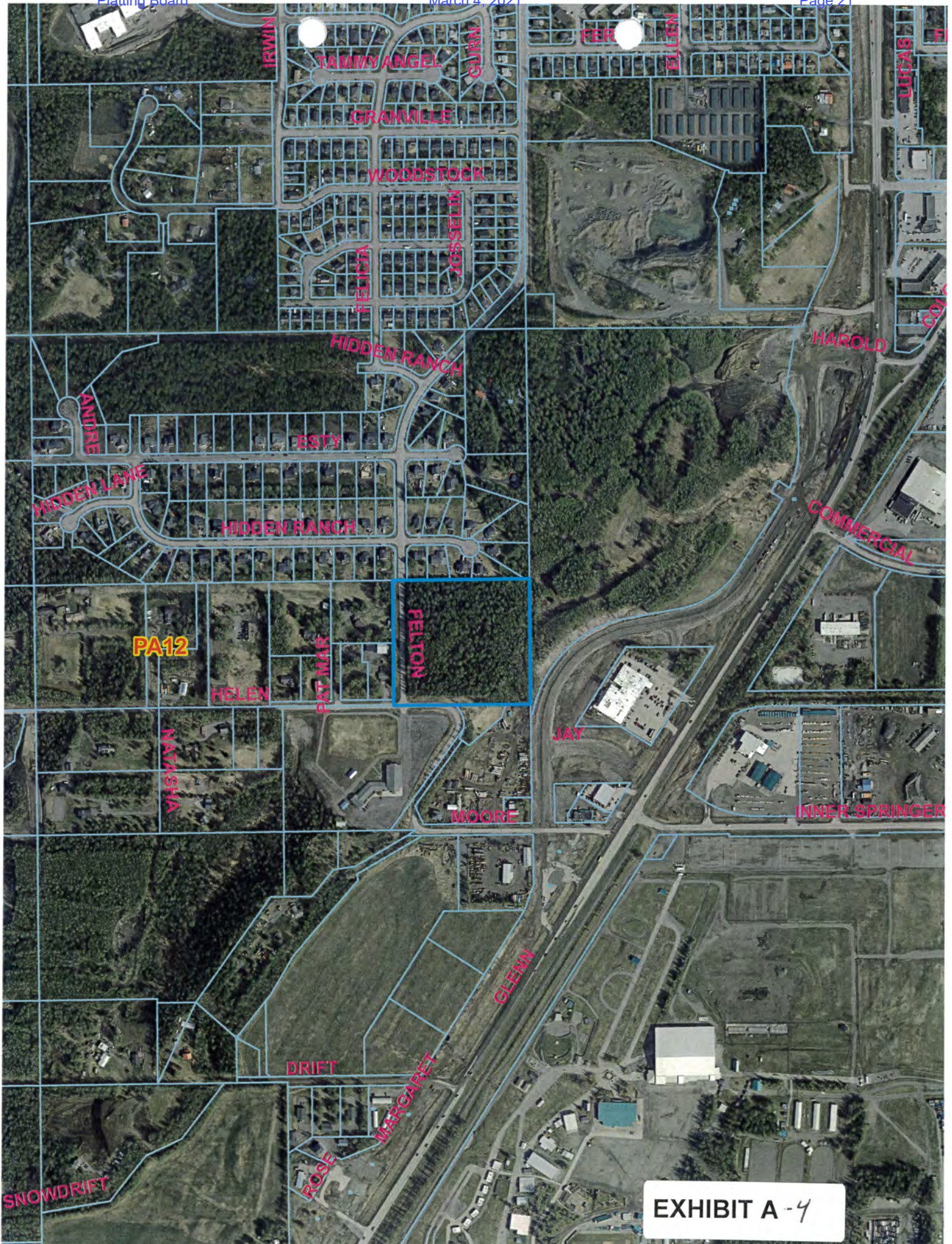
HELEN

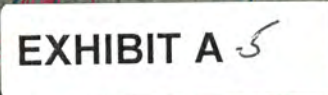
JAY

MARGARET

EXHIBIT A-2









DATE: 20-2426
 DESIGN: CEN
 DRAWN BY: ELP
 SCALE: 1"=80'
 22x34.1" x 40"
 RE: 09-21-20

PALMER, ALASKA
 GREEN ACRES
 SITE PLAN - EXISTING CONDITIONS
 PROJECT OVERVIEW

NOTES
 1. THE IMAGE SHOWN HEREIN IS DERIVED FROM PUBLISHED DATA OF THE ALASKA SUSITNA BROADWAY IMPROVEMENT PROJECT OF 2019.
 2. THE HORIZONTAL DATUM IS NAD83 (CORRESPONDING 2011.0)







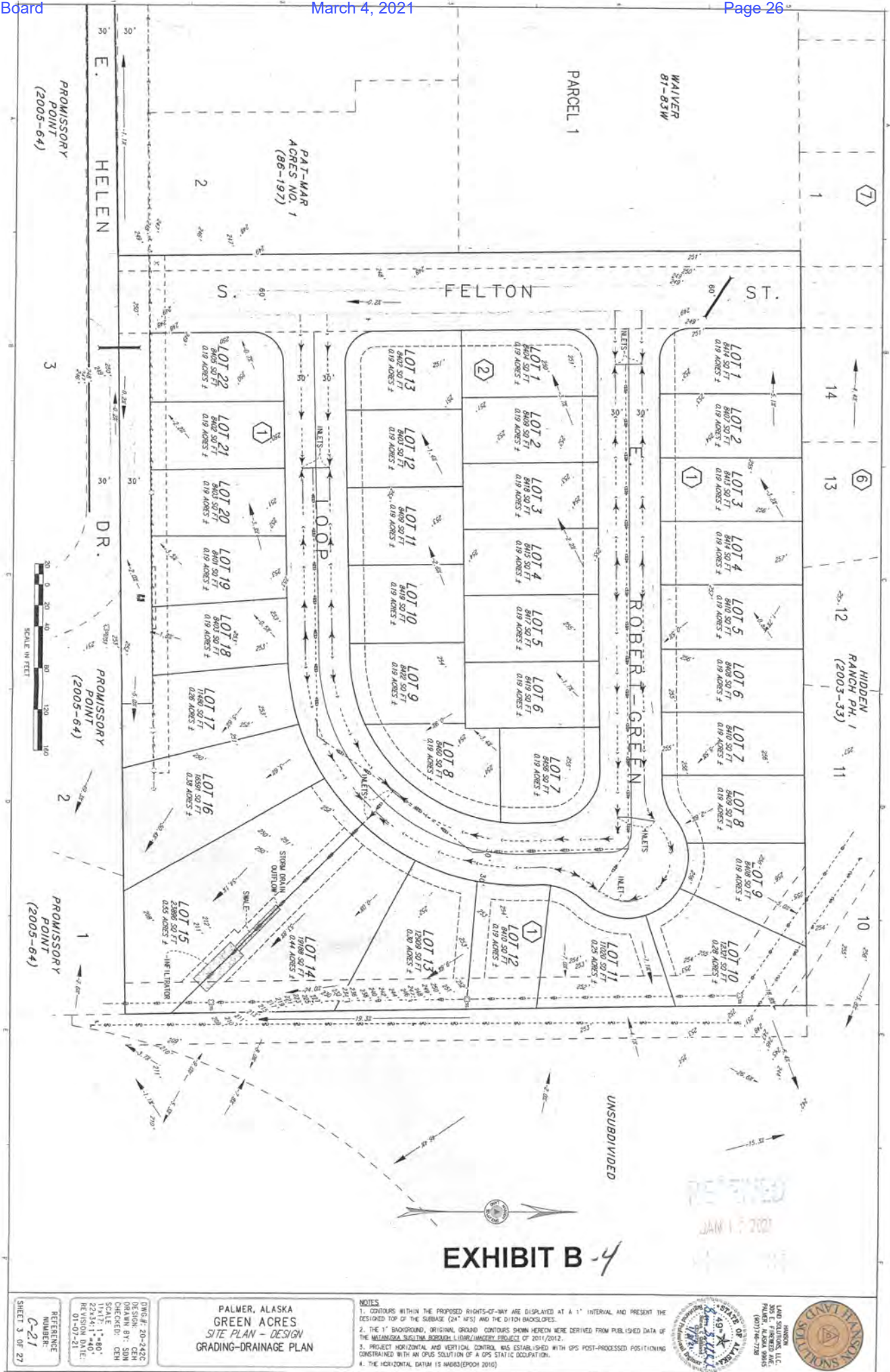


EXHIBIT B-5



PLAN SET GREEN ACRES

SHEETS

1. C-1.0 COVER SHEET
2. C-2.0 PROJECT OVERVIEW
3. C-2.1 DRAINAGE PLAN
4. C-3.0 TYPICAL ROAD CROSS SECTION
- 5-7. C-3.1 - C-3.3 ROAD PLAN & PROFILE
- 8-14. U-1.1 - U-1.7 WATER LINE PLAN AND PROFILE
- 15-19. U-2.1 - U-2.5 SEWER PLAN AND PROFILE
- 20-26. U-3.1 - U-3.7 STORM DRAIN PLAN AND PROFILE
27. V-1.0 SURVEY CONTROL

LEGEND

✱ RECOVERED BRASS CAP MONUMENT	⊞ ELECTRIC TRANSFORMER BOX
⊙ RECOVERED PLASTIC CAP ON 1/2" REBAR	⊞ WATER VALVE
● RECOVERED 1/2" REBAR	— FENCE
MEASURED DATA	--- OVERHEAD ELECTRIC
① BLOCK	— 24" CULVERT
⊙ WATER WELL	□ ASPHALT ROAD/DRIVEWAY
⊙ PEDESTAL, TELEPHONE	⊞ CATCH BASIN
⊙ FIRE HYDRANT	■ BOLLARD
⊙ SIGN, PUBLIC	--- SANITARY SEWER
⊙ MANHOLE, SEWER	--- WATER PIPE, UNDERGROUND
⊙ MANHOLE, STORM DRAIN	--- STORM DRAIN PIPE, UNDERGROUND
⊙ ANCHOR GUY	--- FLOWLINE, GUTTER
⊙ UTILITY POLE	

SPECS

1. ONLY LEAD-FREE PIPE, FLUX, AND SOLDER WILL BE USED IN CONSTRUCTION, AS REQUIRED BY 18 AAC 80.500;
2. DISINFECTION OF SYSTEM PORTIONS NOT OUTLINED IN STANDARD SPECIFICATIONS SHALL BE COMPLETED AS A SIMILAR MANNER AS PRACTICABLE TO AWWA STANDARD C651 WITH EQUAL DETENTION AND FLUSHING STANDARDS BEING APPLIED. THESE PORTIONS INCLUDE BUT ARE NOT LIMITED TO INDIVIDUAL WATER SERVICE CONNECTS.
3. HDPE PIPE SHALL BE INSTALLED AND WELDED AND TESTED PER MANUFACTURER RECOMMENDATION PURSUANT TO FALLING WITHIN STANDARD SPECIFICATIONS. TESTING, QA/QC, AND EQUIPMENT CERTIFICATION FOR WELDS SHALL BE PER STANDARD SPECIFICATIONS.
4. HDPE WELDER CERTIFICATES SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL SEVEN (7) DAYS PRIOR TO COMMENCEMENT OF WELDING.

WATER SYSTEM NOTES

1. INSTALL THRUST BLOCKS AT ALL LOCATIONS SPECIFIED IN STANDARD SPECIFICATIONS PER DETAIL 60-2.
2. INSTALL HYDRANT GUARD POSTS AT EACH LOCATION PER DETAIL 60-8.
3. INSTALL WATER SERVICE CONNECTS 1" AT ALL SERVICE CONNECTION LOCATIONS IN PLANS PER DETAIL 60-10.
4. INSTALL AN 8" HDPE CONDUIT/RACEWAY FOR THE WATER LINE TO BE RUN THROUGH FOR 10 FT. ON EITHER SIDE OF THE STORM DRAIN CROSSING (STATION 116+10.30 TO 116+30.30) TO PROVIDE ADDITIONAL PROTECTION TO THE WATERLINE FROM POTENTIAL CONTAMINATION. ENDS OF CONDUIT TO BE SEALED BY FILLING THE GAP BETWEEN THE 8" CONDUIT AND THE 6" WATER LINE WITH EXPANDING URETHANE SPRAY FOAM INSULATION FOR A DISTANCE OF 1 FT. IN LENGTH AT EACH END OF THE CONDUIT/RACEWAY.

SEWER SYSTEM NOTES

1. INSTALL SERVICE CONNECTIONS WITH EITHER DETAIL 50-18 OR 50-19 AT DISCRETION OF THE CONTRACTOR.

STORM DRAIN SYSTEM NOTES

1. INSTALL HEADWALL WITH SPLASH LIP AT STORM DRAIN OUTFLOW AT STATION 301+07, DETAIL 55-24.

EXHIBIT C



HUNSON
LAND SOLUTIONS
325 E. FIREWED AVE.
PALMER, ALASKA 99645
(907) 746-1738



RECEIVED
JAN 11 2021
HUNSON LAND SOLUTIONS

PALMER, ALASKA
GREEN ACRES
COVER SHEET

DWG #: 20-242C
DESIGN: CEN
DRAWN BY: SDW
CHECKED: CEN
SCALE
11x17: 1"=
22x34: 1"=
REVISION DATE:
01-08-21

REFERENCE
NUMBER:
C-1.0
SHEET 1 OF 27



EXHIBIT C-2

UNSUBDIVIDED



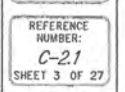
HANDON
LAND SOLUTIONS
305 E. FIREWEED AVE.
PALMER, ALASKA 99645
(907) 740-7738

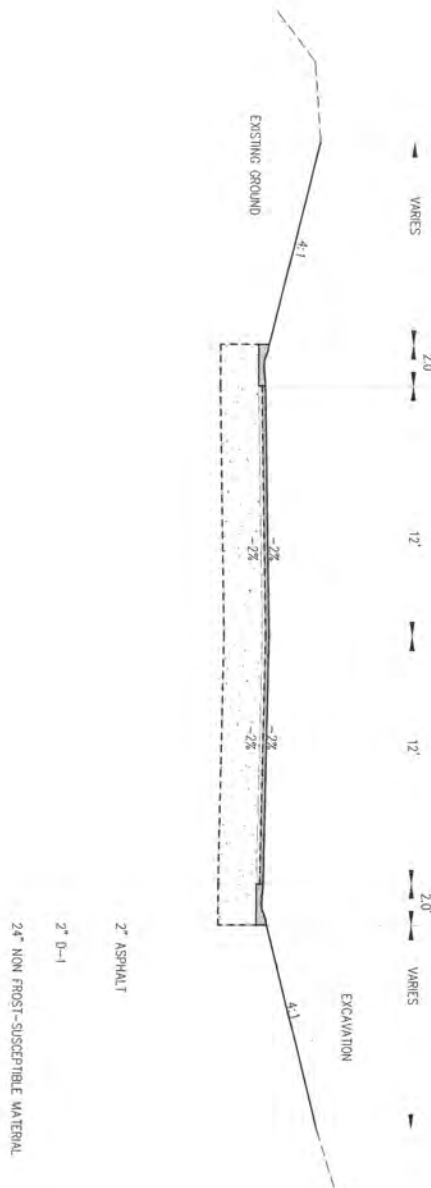


PALMER, ALASKA
GREEN ACRES
PROJECT OVERVIEW

DWG.#: 20-242C
DESIGN: CEH
DRAWN BY: SDN
CHECKED: CEH
SCALE
11x17: 1"=80'
22x34: 1"=40'
REVISION DATE:
01-08-21

REFERENCE
NUMBER:
C-2.0
SHEET 2 OF 27





CITY OF PALMER - RESIDENTIAL
STANDARD PAVED ROAD
WITH CURB AND GUTTER

EXHIBIT C-4

OWG # 20-242C
DESIGN: CEH
CHECKED: CEH
SCALE: 1"=100'
DATE: 12-18-20
REFERENCE
NUMBER:
C-30
SHEET 4 OF 27

PALMER, ALASKA
GREEN ACRES
TYPICAL SECTIONS

NOTES
1. ROAD CONSTRUCTION TO FOLLOW MSB SUBDIVISION
CONSTRUCTION MANUAL, RESIDENTIAL STANDARDS.



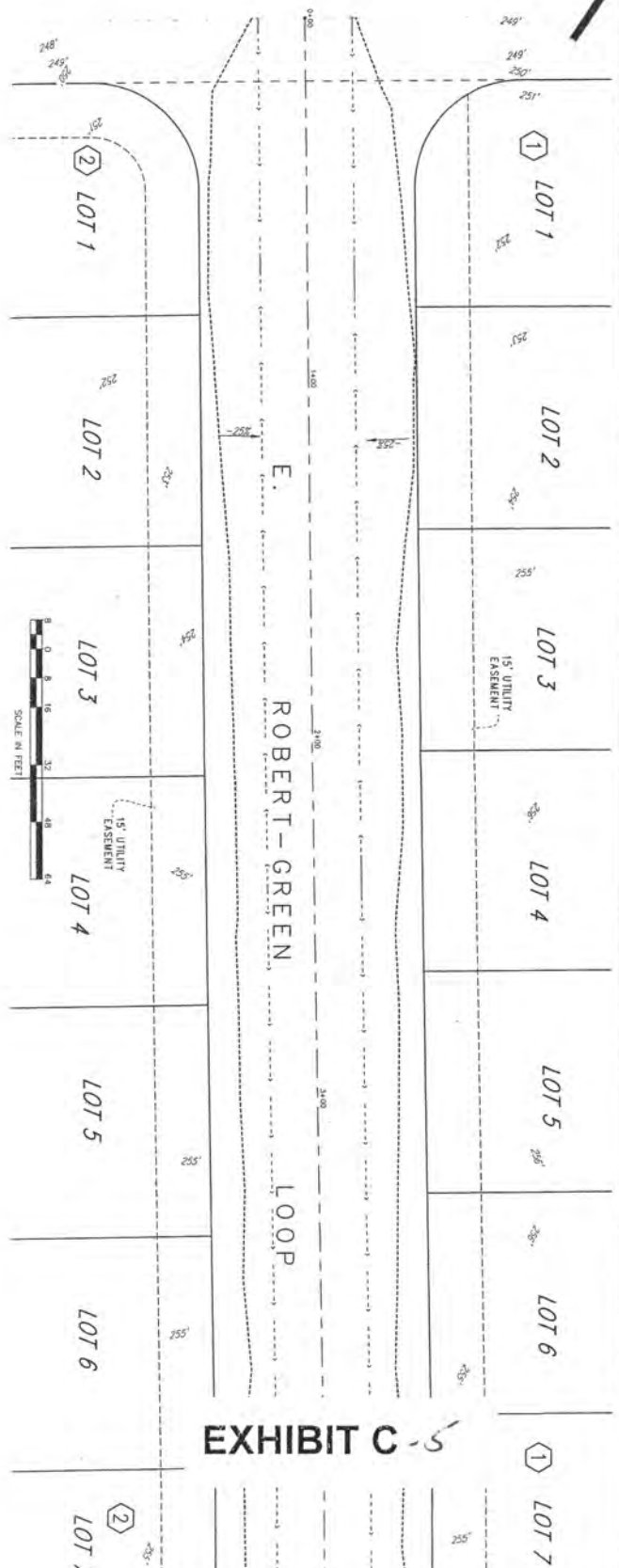
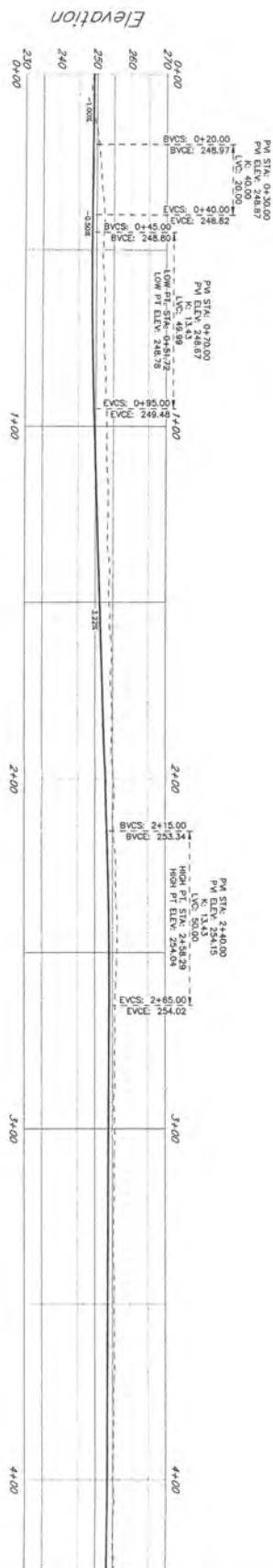


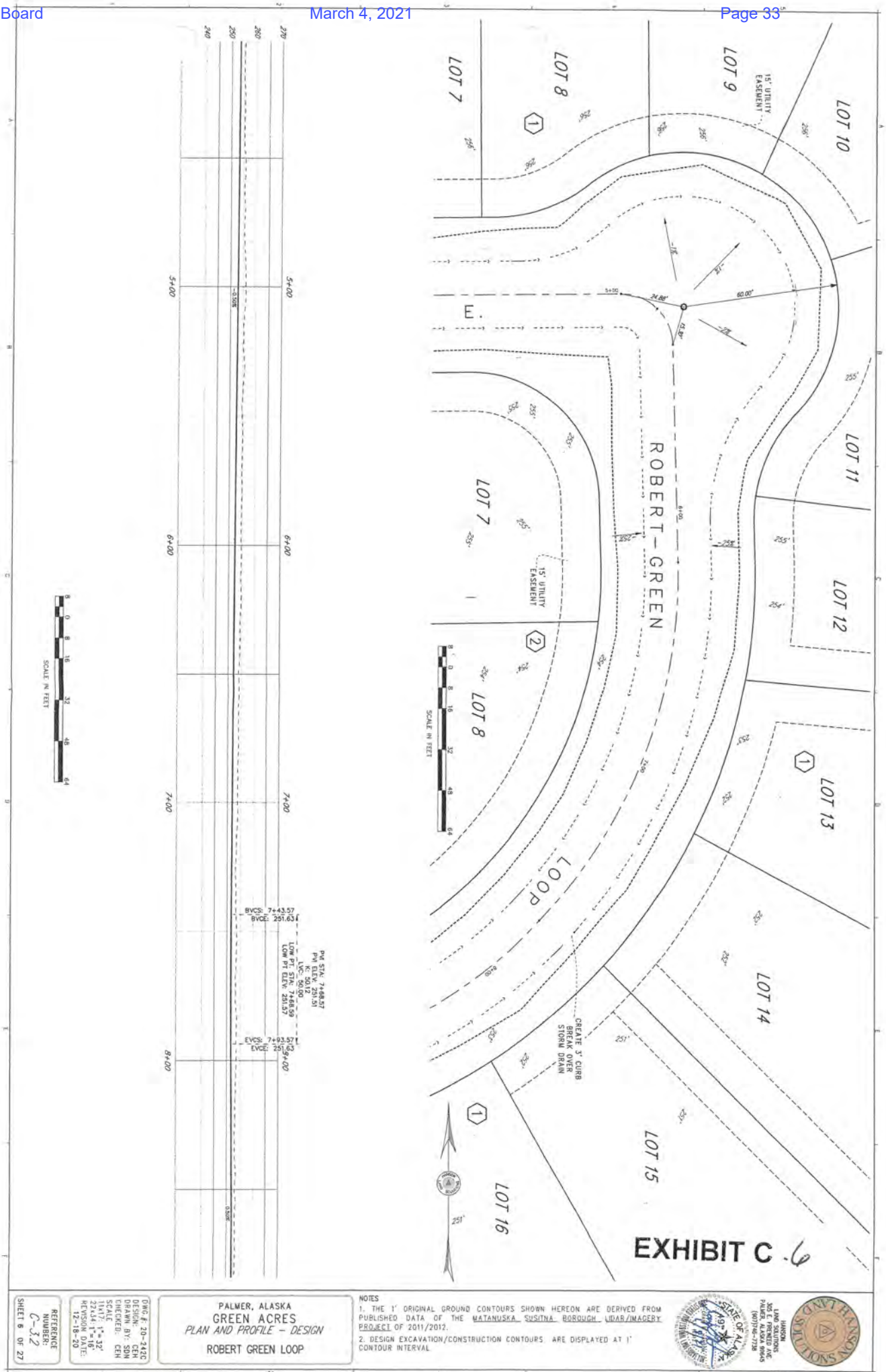
EXHIBIT C-5

DATE: 2-20-2020
 DRAWN BY: SON
 CHECKED: CEH
 SCALE: 1"=32'
 REVISION DATE: 12-18-20
 SHEET 5 OF 27

PALMER, ALASKA
 GREEN ACRES
 PLAN AND PROFILE - DESIGN
 ROBERT GREEN LOOP

NOTES
 1. THE 1" ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE MATANUSKA-SUSITNA BOROUGH LAND/MAGERY PROJECT OF 2011/2012.
 2. DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1' CONTOUR INTERVAL





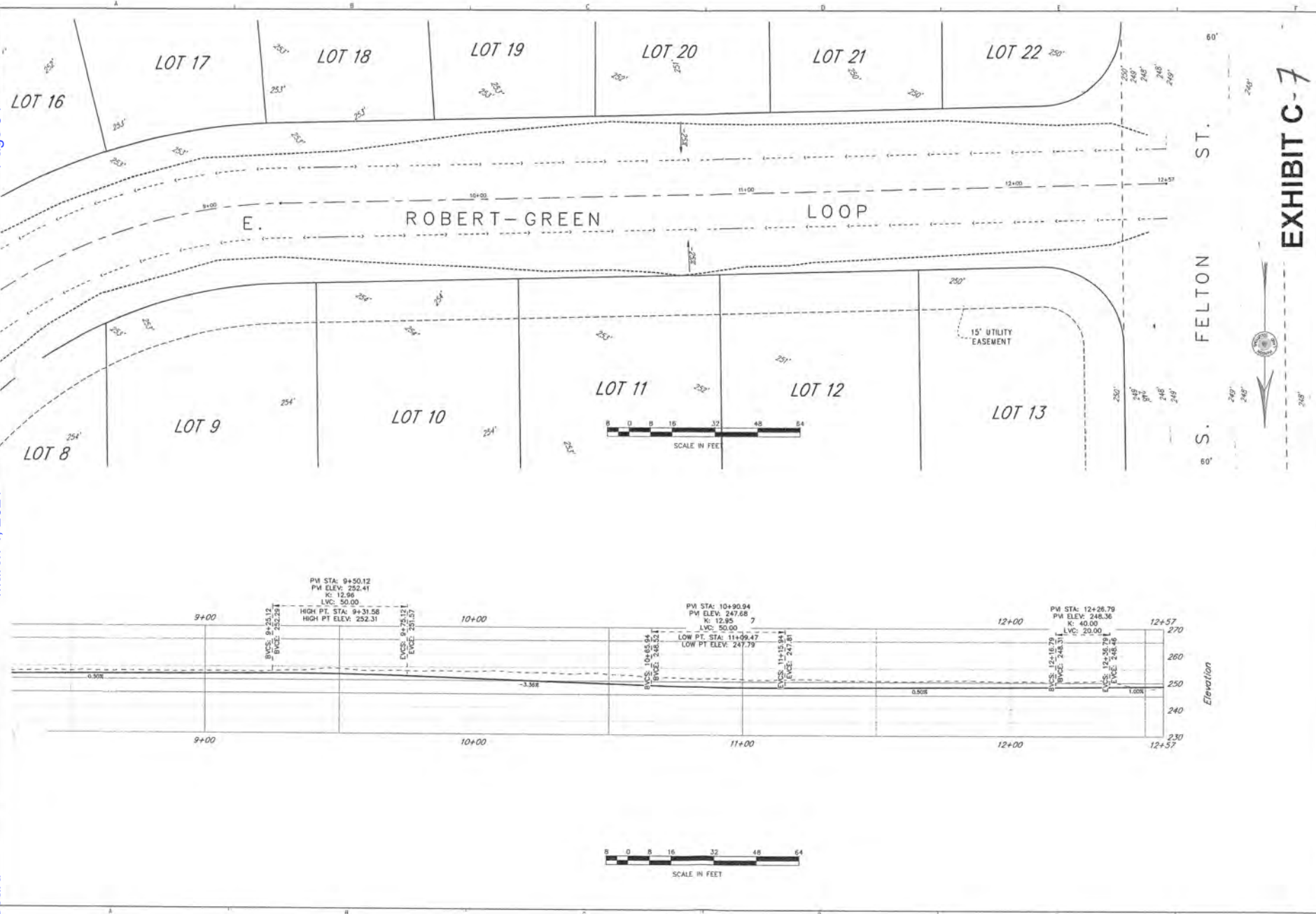


EXHIBIT C-7



NOTES
 1. THE 1" ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE MATANUSKA-SUSTINA, EISENBERG, LOAN/MAGEE PROJECT OF 2011/2012.
 2. DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1' CONTOUR INTERVAL

**PALMER, ALASKA
 GREEN ACRES
 PLAN AND PROFILE - DESIGN
 ROBERT GREEN LOOP**

DWG #: 20-2420
 DESIGN: CER
 DRAWN BY: SDW
 CHECKED: CER
 SCALE
 11x17: 1"=32'
 22x34: 1"=16'
 REVISION DATE:
 12-18-20

REFERENCE
 NUMBER:
C-3.3
 SHEET 7 OF 27

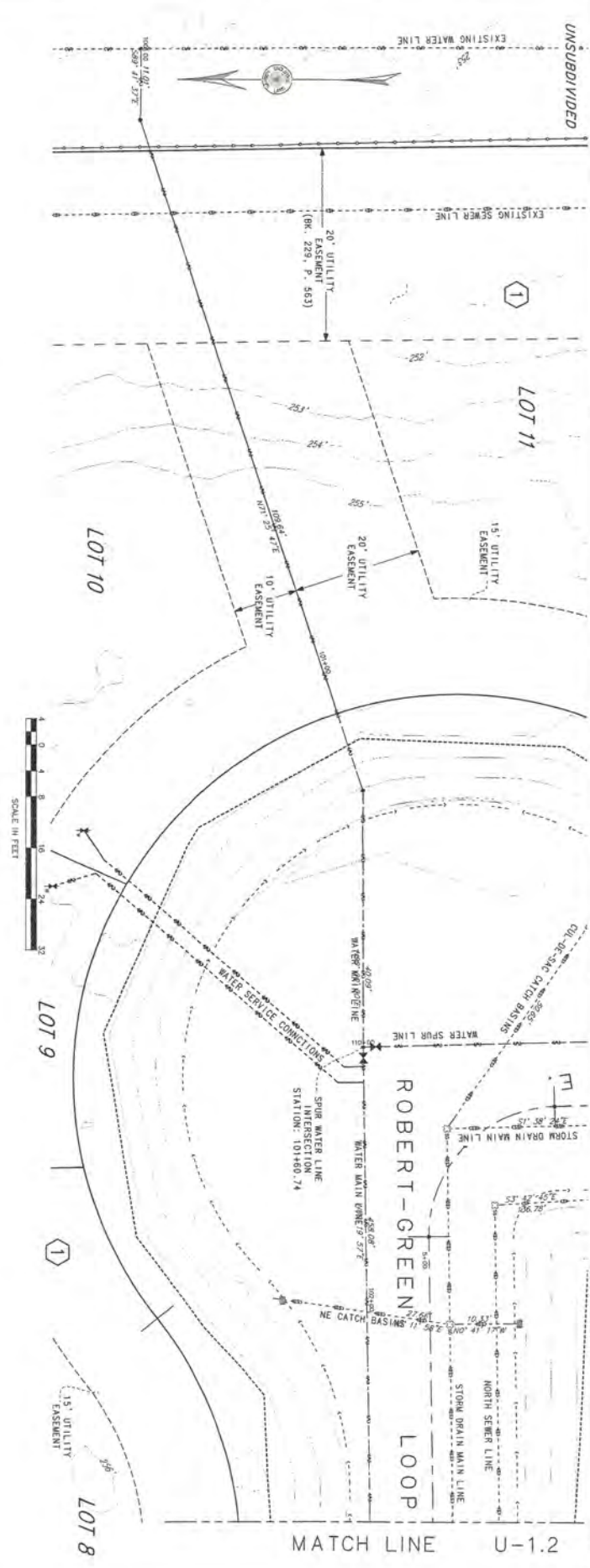


EXHIBIT C-8

MATCH LINE U-1.2

PALMER, ALASKA
GREEN ACRES
PLAN AND PROFILE - DESIGN
WATER MAIN LINE

NOTES

1. THE 1" ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE WATANUSKA, SUSITNA BOROUGH, LIDAR/IMAGERY PROJECT OF 2011/2012.

2. DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1' CONTOUR INTERVAL



REFERENCE
NUMBER:
U-1.1
SHEET 8 OF 27

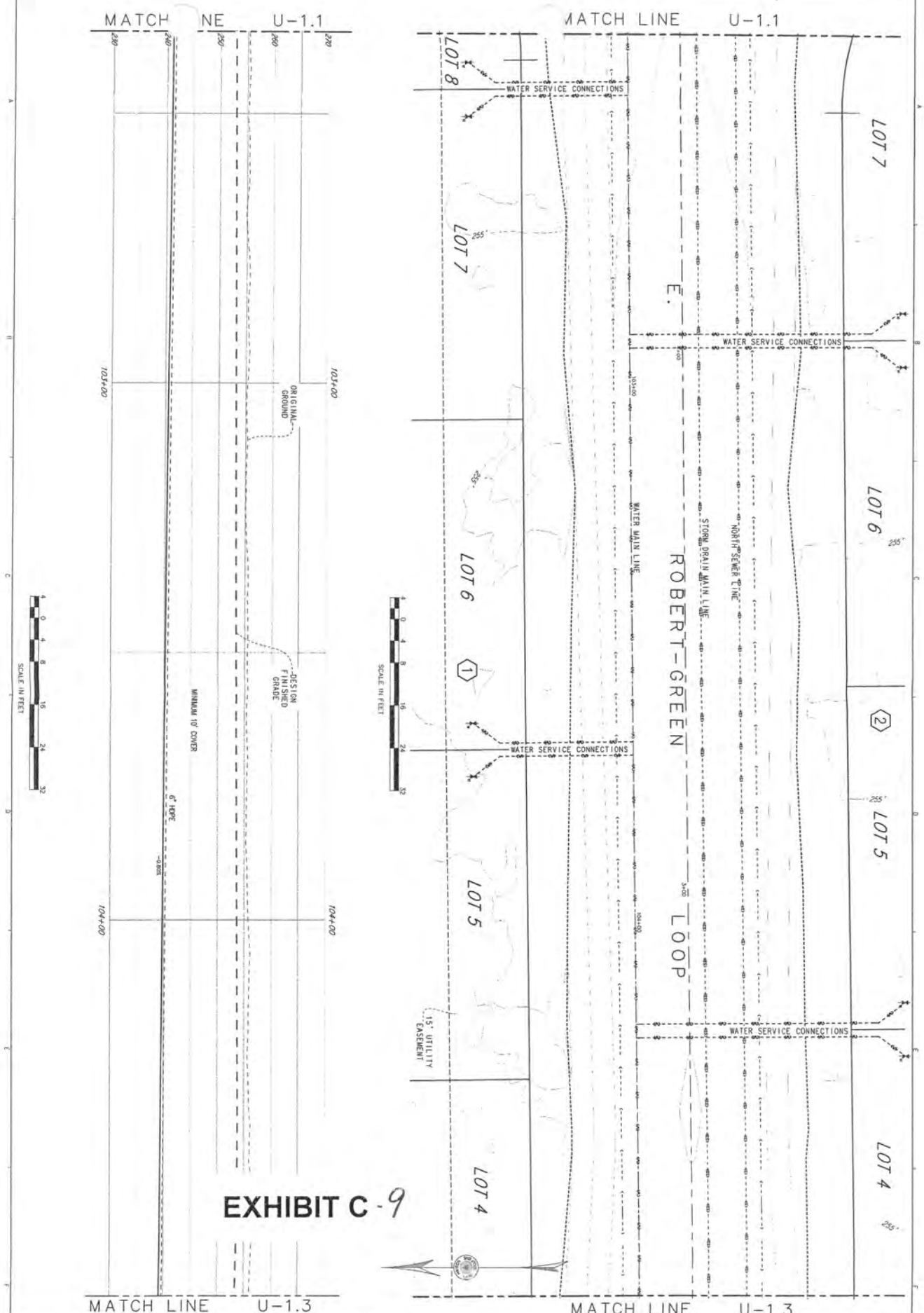
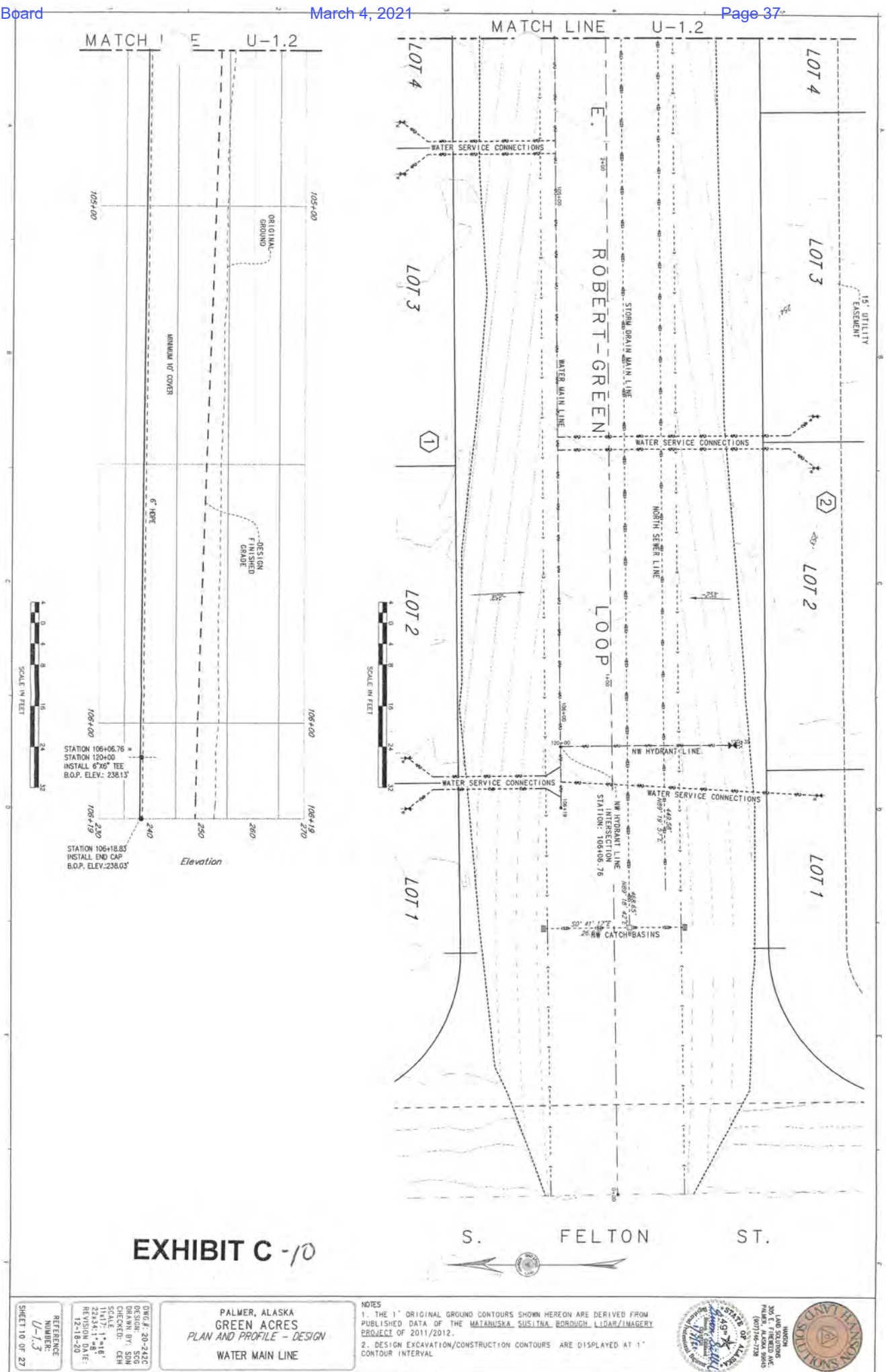


EXHIBIT C-9

<p>REFERENCE NUMBER: U-1.2 SHEET 9 OF 27</p>	<p>DATE: 20-24-20 DRAWN BY: SON CHECKED: CEN SCALE: 1"=16' REVISION DATE: 12-18-20</p>	<p>PALMER, ALASKA GREEN ACRES PLAN AND PROFILE - DESIGN WATER MAIN LINE</p>	<p>NOTES 1. THE 1" ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE MATANUSKA SUSTAINA BOROUGH LIDAR/IMAGERY PROJECT OF 2011/2012. 2. DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1' CONTOUR INTERVAL</p>	<p>STATE OF ALASKA LAND SOLUTIONS PALMER, ALASKA 99645 (907) 746-7138</p>
--	--	---	--	---



ONE 20-242C
DESIGN
DRAWN BY: SON
CHECKED: CEN
SCALE: 1"=16'
22343-1-18
12-18-20

PALMER, ALASKA
GREEN ACRES
PLAN AND PROFILE - DESIGN
WATER MAIN LINE

NOTES

1. THE 1" ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE MATANUSKA-SUSITNA BOROUGH LIDAR/IMAGERY PROJECT OF 2011/2012.

2. DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1" CONTOUR INTERVAL



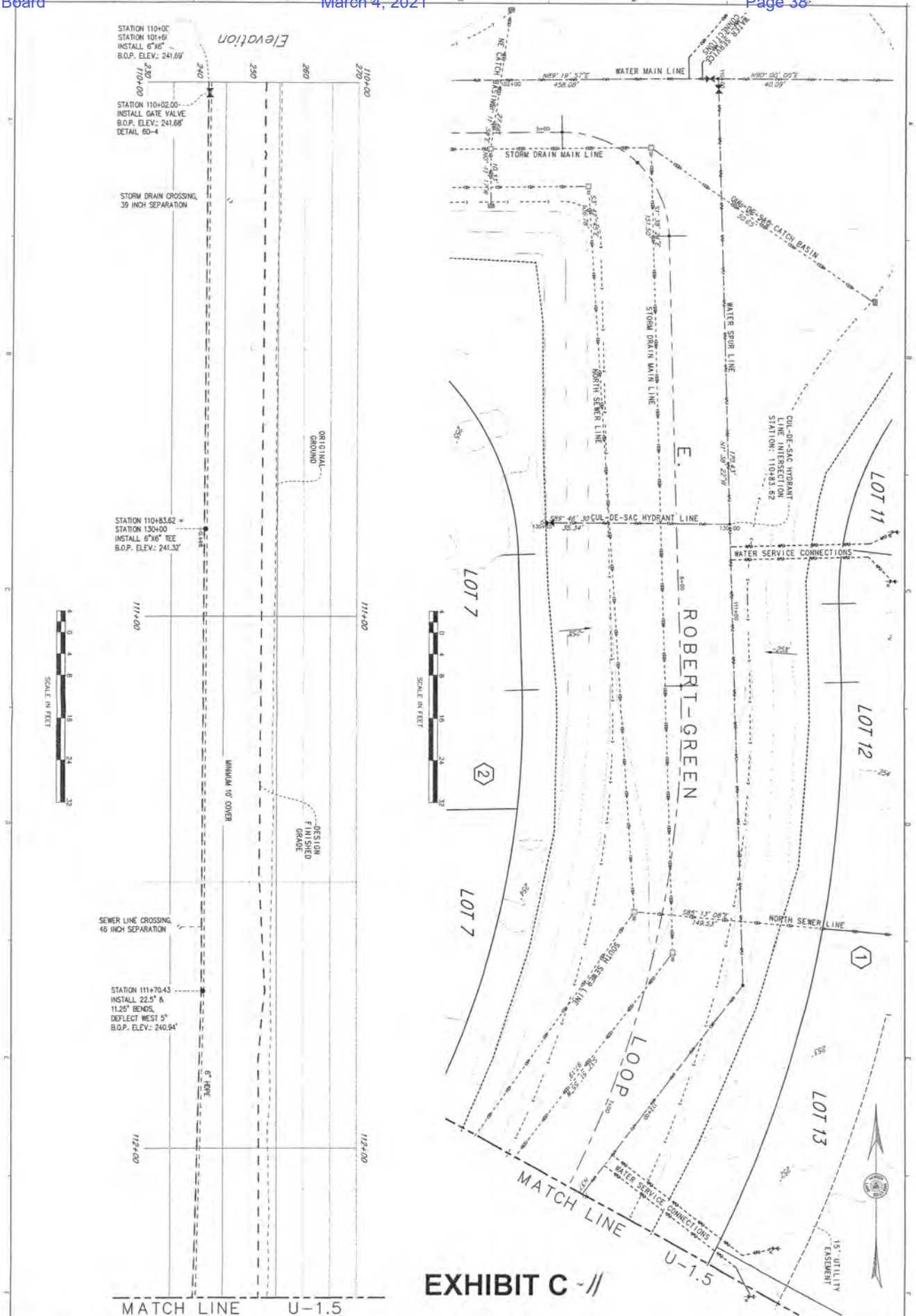


EXHIBIT C

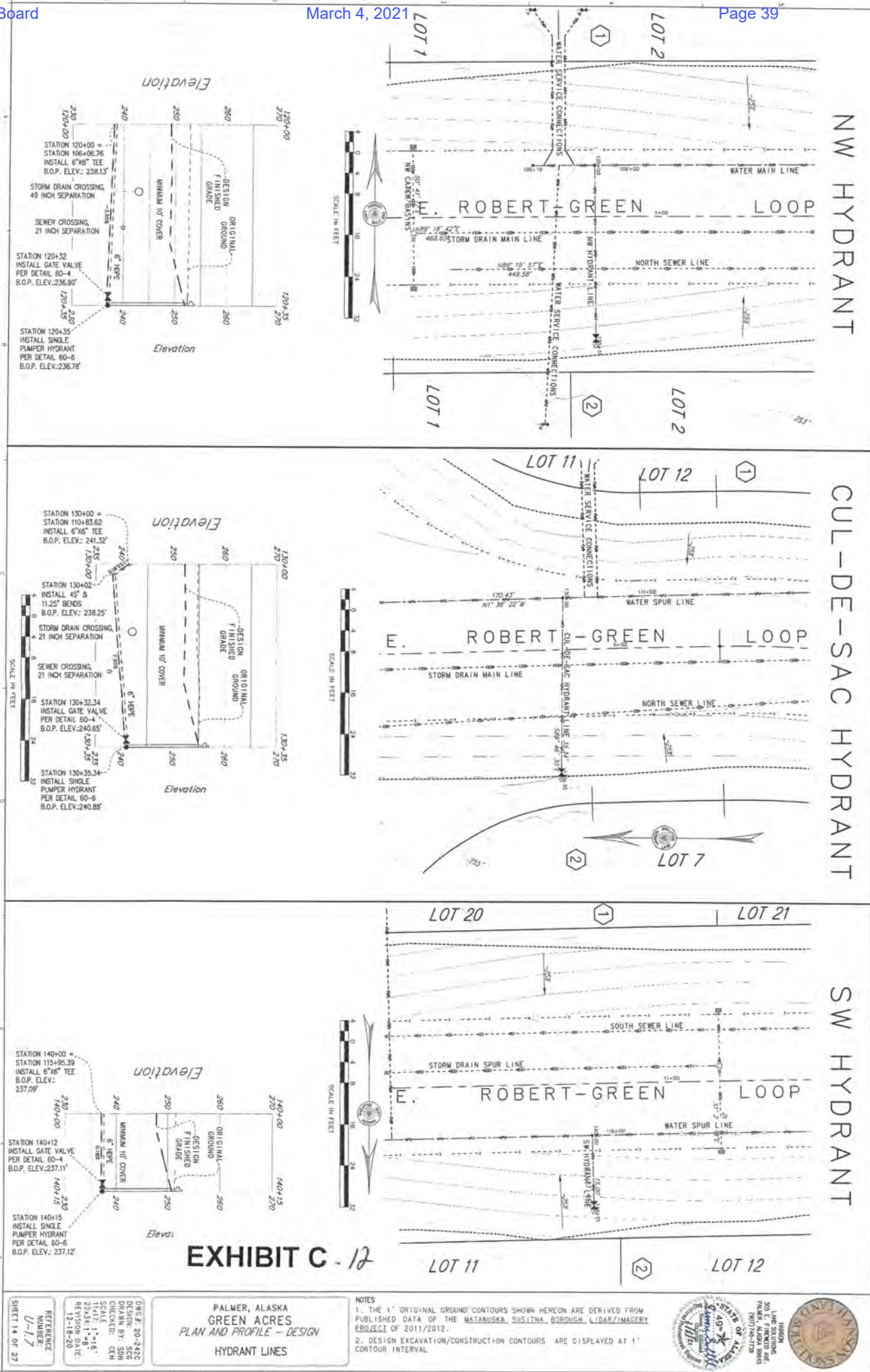
REFERENCE
NUMBER:
U-1.4
SHEET 11 OF 27

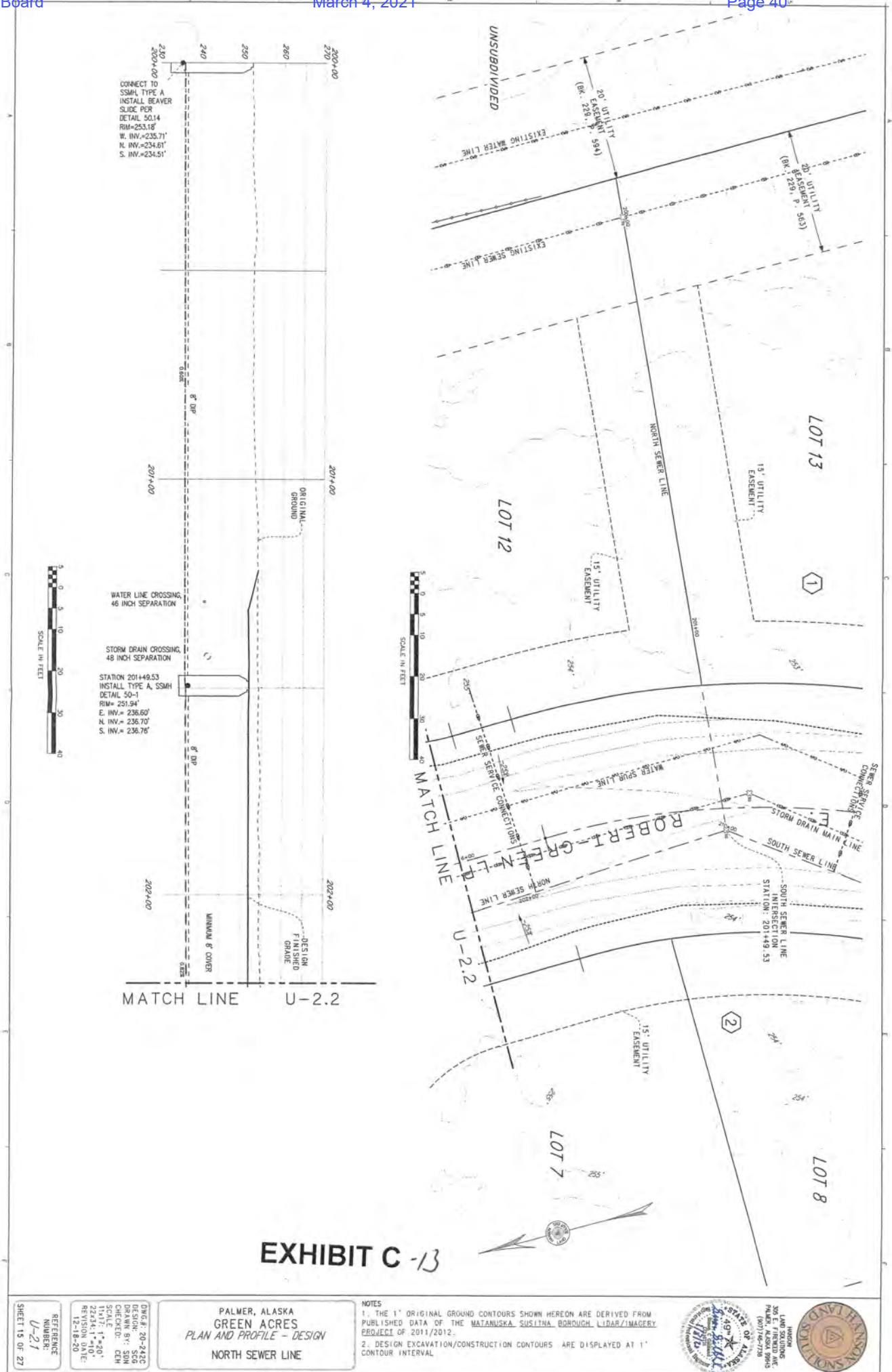
DATE: 12-18-20
CHECKED: CEH
SCALE: 1"=16'
DRAWN BY: SON
PROJECT: 20-242C

PALMER, ALASKA
GREEN ACRES
PLAN AND PROFILE - DESIGN
WATER SPUR LINE

NOTES
1. THE 1" ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE MATANUSKA-SUSITNA BOROUGH LIDAR/MACREY PROJECT OF 2011/2012.
2. DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1" CONTOUR INTERVAL









NOTES:
1. THE 1' ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE MATANUSKA, SUSITNA, GOROUGH, LIDAR/IMAGERY PROJECT OF 2011/2012.
2. DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1' CONTOUR INTERVAL.



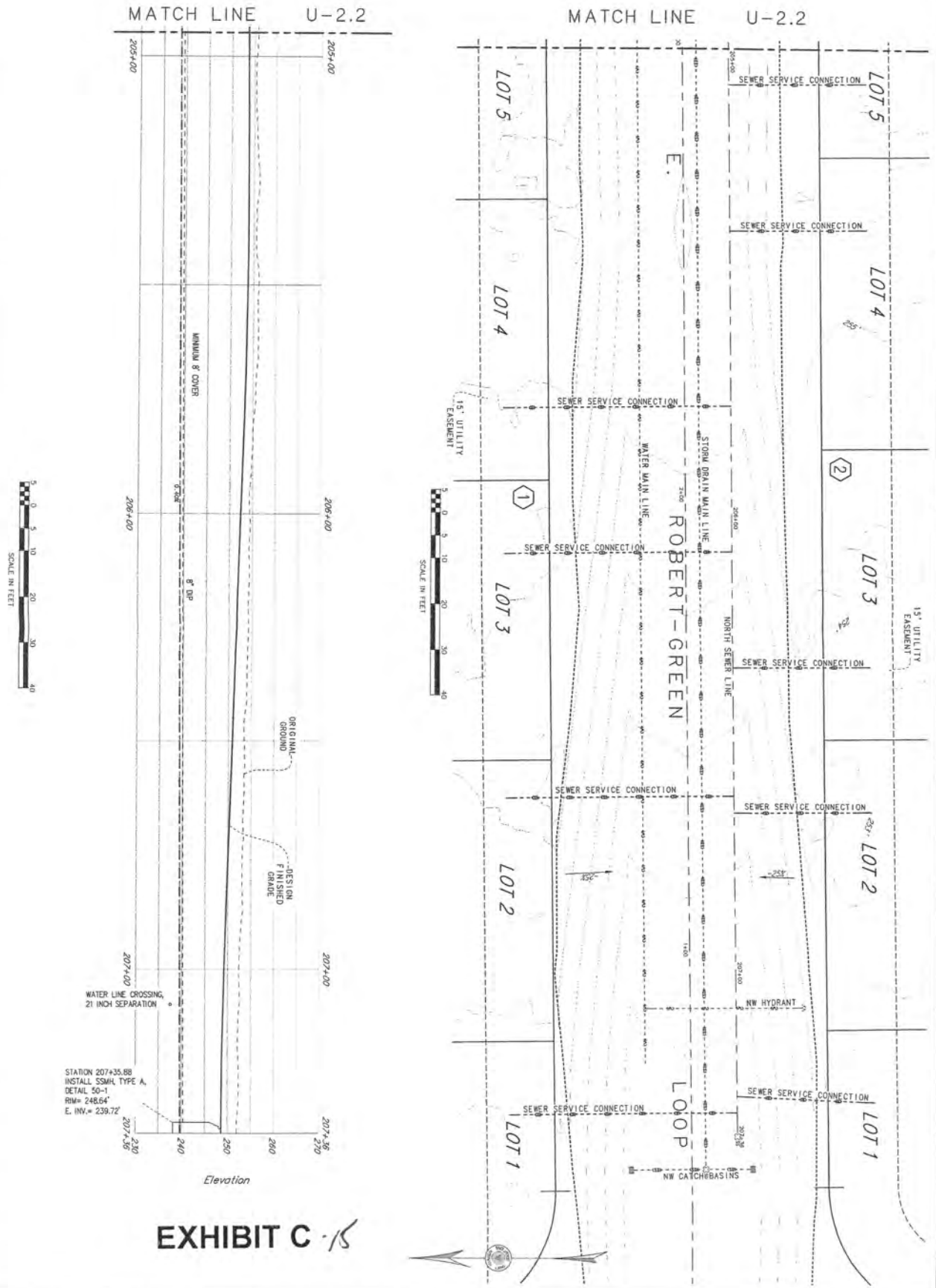


EXHIBIT C

<p>REFERENCE NUMBER: U-2.3 SHEET 17 OF 27</p>	<p>DESIGN: 20-242C DRAWN BY: SGG CHECKED: CEN SCALE: 1"=20' DATE: 12-18-20</p>	<p>PALMER, ALASKA GREEN ACRES PLAN AND PROFILE - DESIGN NORTH SEWER LINE</p>	<p>NOTES 1. THE 1" ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE MATANUSKA-SUSITNA BOROUGH LIDAR/IMAGERY PROJECT OF 2011/2012. 2. DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1' CONTOUR INTERVAL</p>	<p>STATE OF ALASKA SUSITNA BOROUGH LIDAR/IMAGERY PROJECT OF 2011/2012 SHEET 17 OF 27</p>
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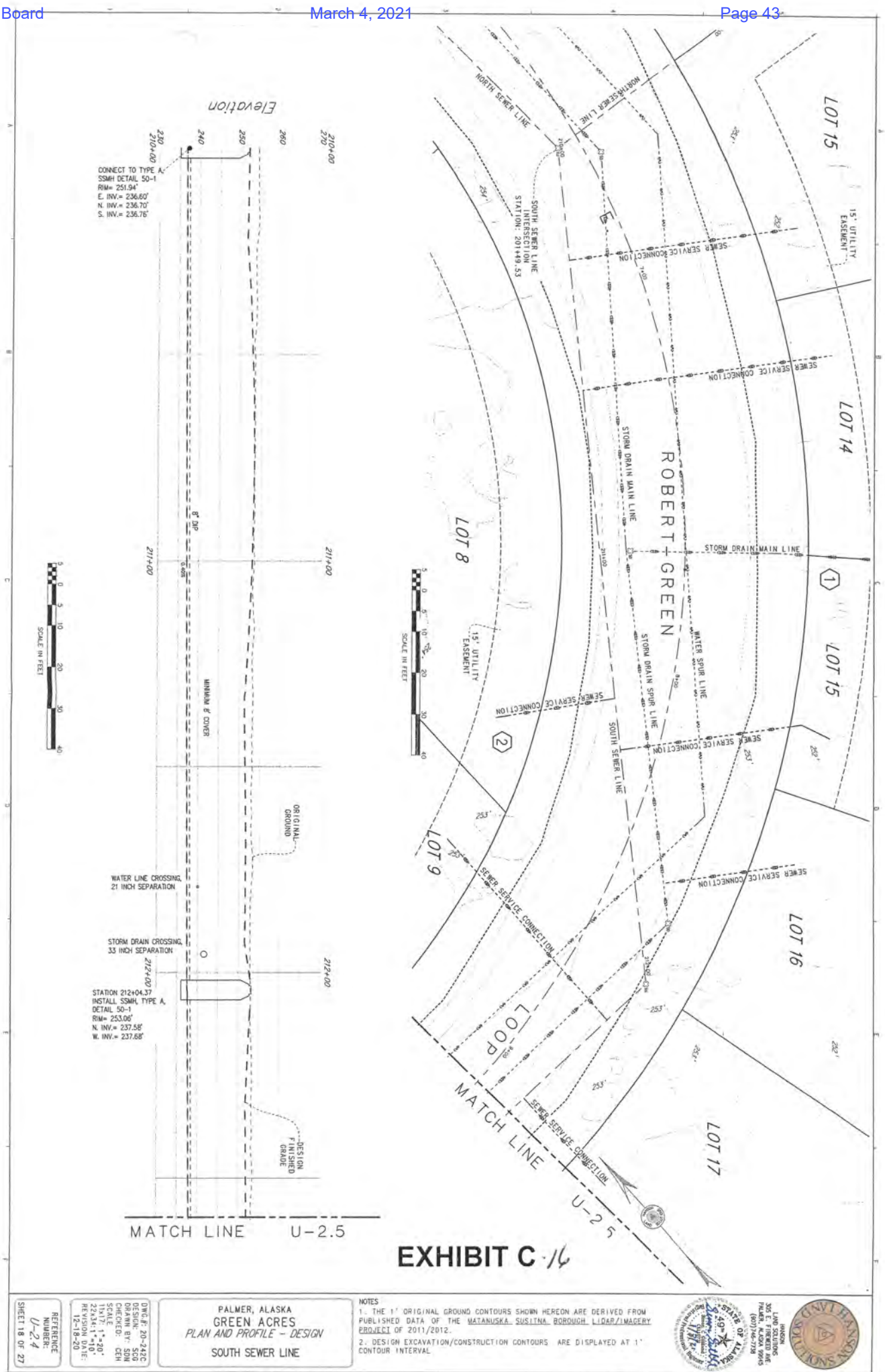


EXHIBIT C-16

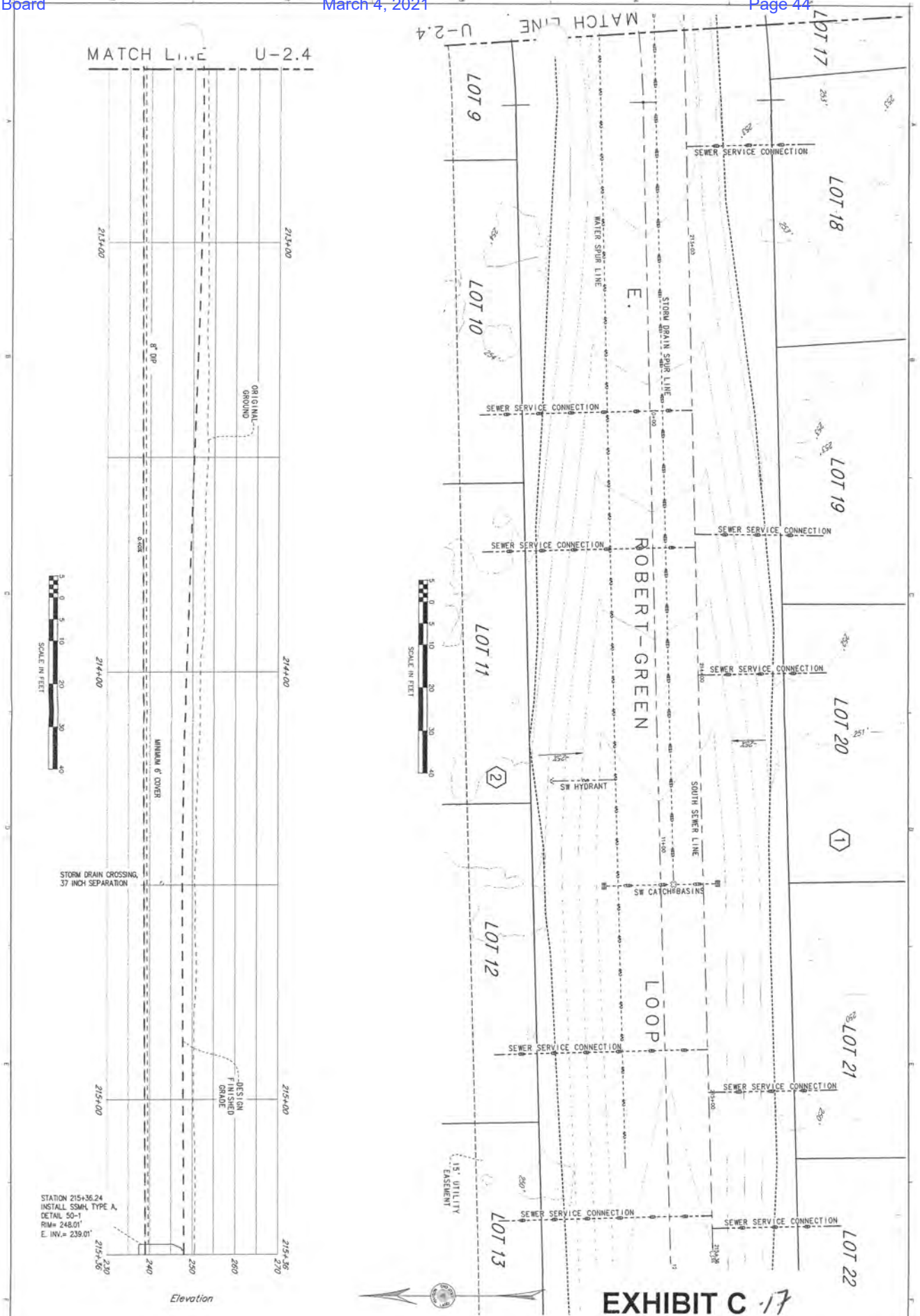
REFERENCE:
U-24
SHEET 18 OF 27

NOTES:

- THE 1" ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE MATANUSKA-SUSITNA BOROUGH LIDAR/IMAGERY PROJECT OF 2011/2012.
- DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1" CONTOUR INTERVAL.

STATE OF ALASKA
DEPARTMENT OF NATURAL RESOURCES
DIVISION OF LAND AND SOLID WASTE
PLANNING AND DESIGN SECTION
PROJECT: 2011-2012

PALMER, ALASKA
GREEN ACRES
PLAN AND PROFILE - DESIGN
SOUTH SEWER LINE



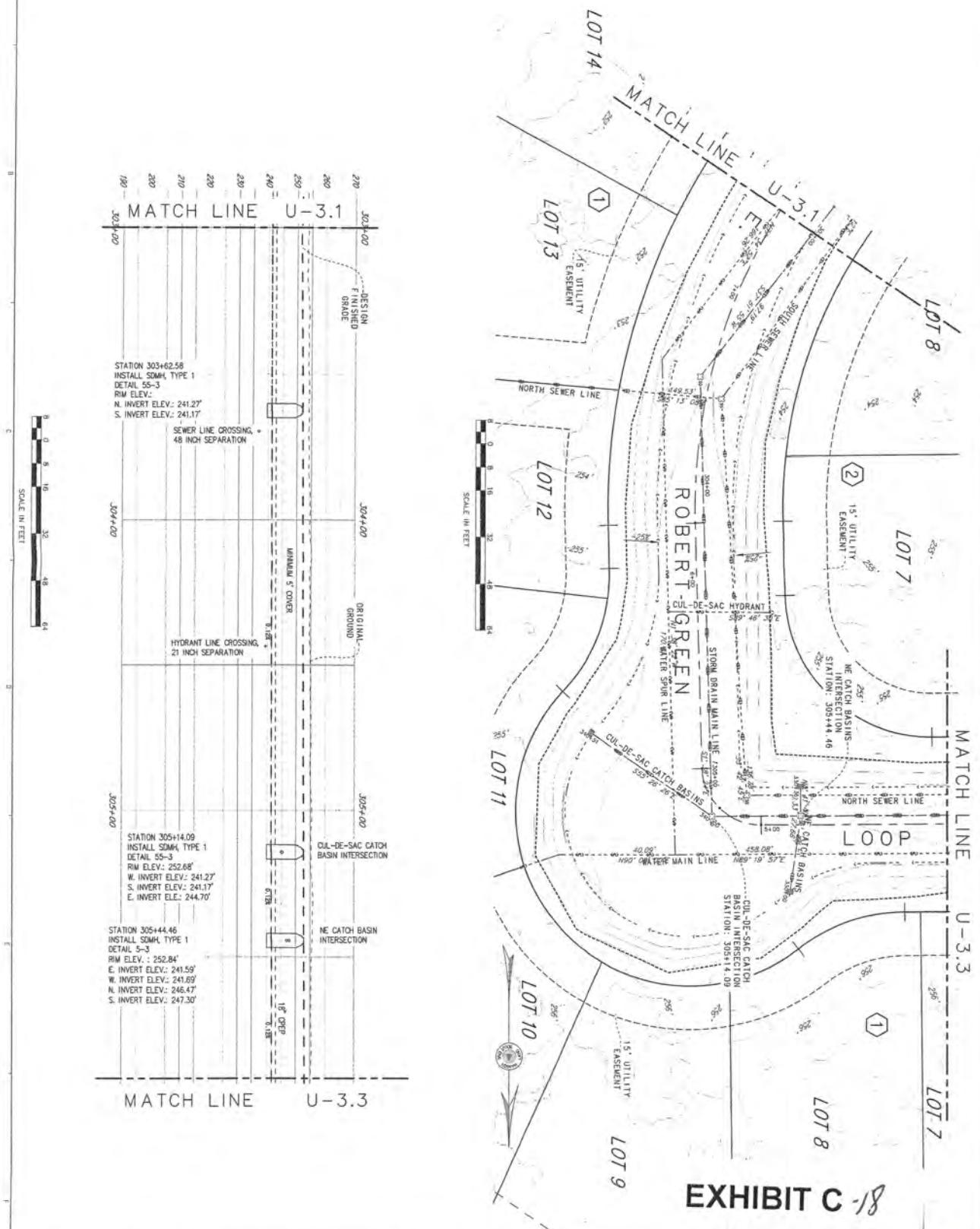


EXHIBIT C-18

REFERENCE
NUMBER:
U-3.2
SHEET 21 OF 27

DWG. # 20-242C
DATE 12-17-20
DRAWN BY: SDH
CHECKED: CFH
SCALE
1"=32'
12-17-20

PALMER, ALASKA
GREEN ACRES
PLAN AND PROFILE - DESIGN
STORM DRAIN MAIN LINE

NOTES
1. THE 1" ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE MATARUSKA, SUSITNA BOROUGH LIDAR/IMAGERY PROJECT OF 2011/2012.
2. DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1" CONTOUR INTERVAL



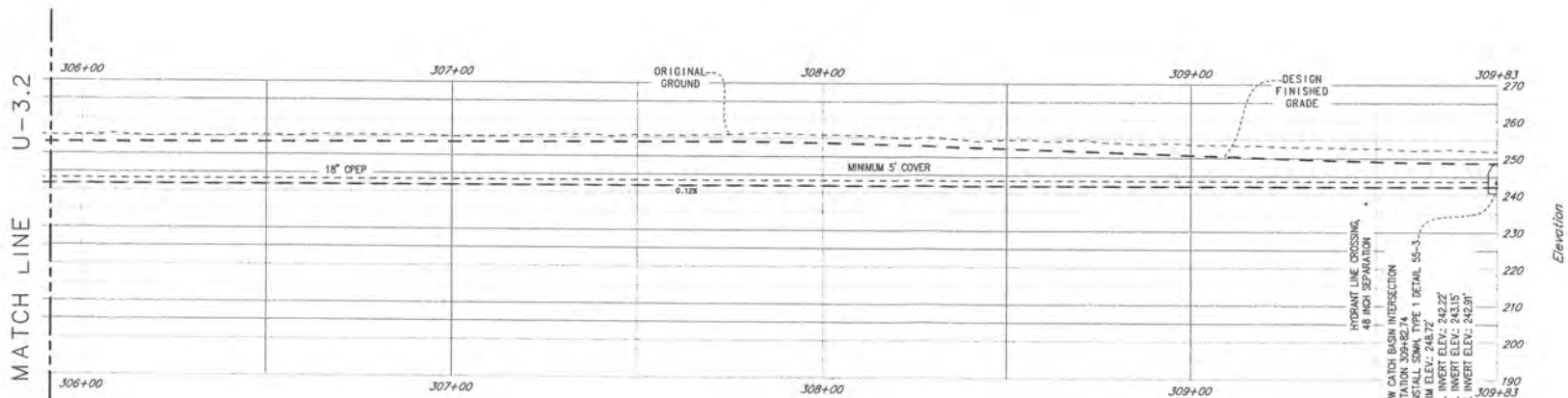
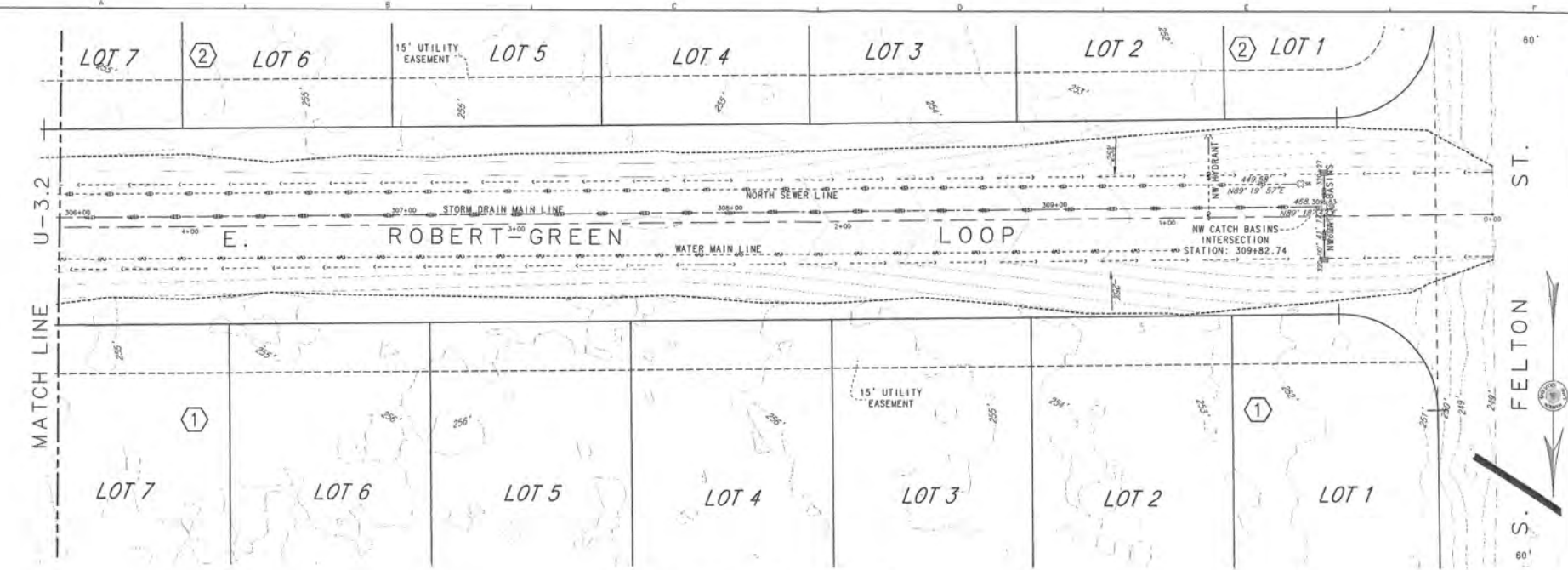


EXHIBIT C-19

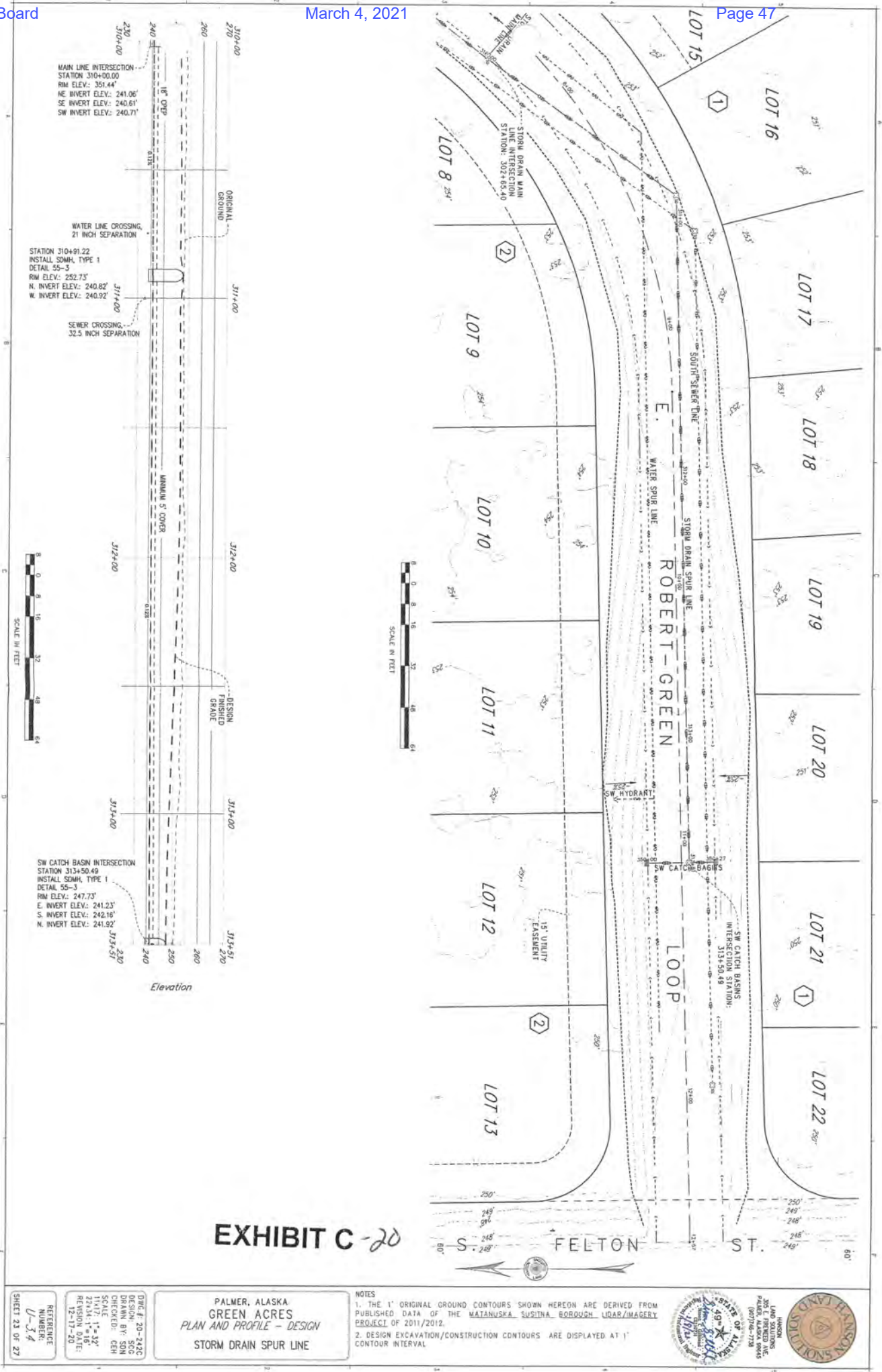


NOTES:
1. THE 1" ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE ALASKA SUSLINA BROADBAND IMAGERY PROJECT OF 2011/2012.
2. DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1' CONTOUR INTERVAL

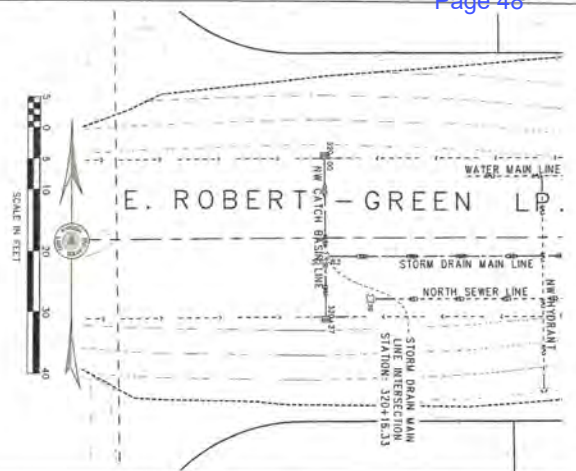
PALMER, ALASKA
GREEN ACRES
PLAN AND PROFILE - DESIGN
STORM DRAIN MAIN LINE

DWG.#: 20-242C
DESIGN: SCG
DRAWN BY: SDN
CHECKED: CEH
SCALE
11x17: 1"=32'
22x34: 1"=16'
REVISION DATE:
12-17-20

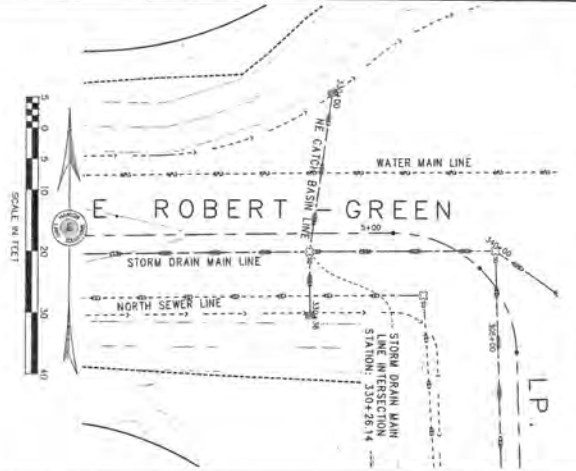
REFERENCE
NUMBER:
U-3.3
SHEET 22 OF 27



NW CATCH BASINS



NE CATCH BASINS



CUL-SE-SAC CATCH BASIN



SW CATCH BASINS

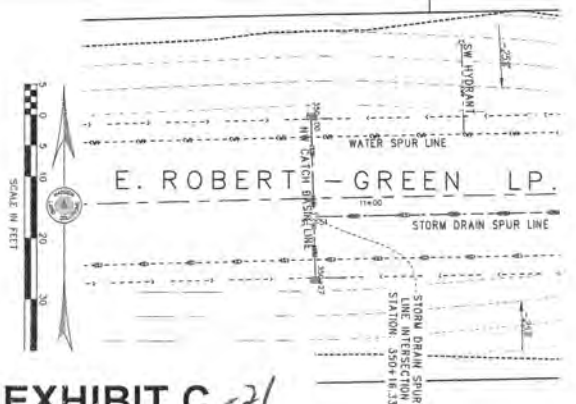
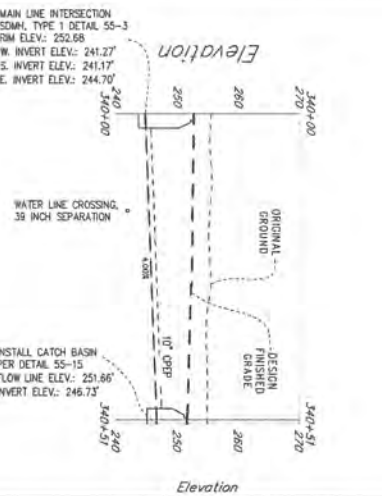
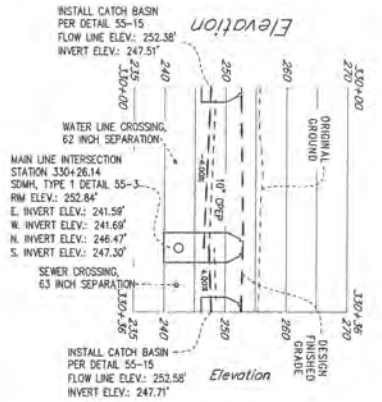
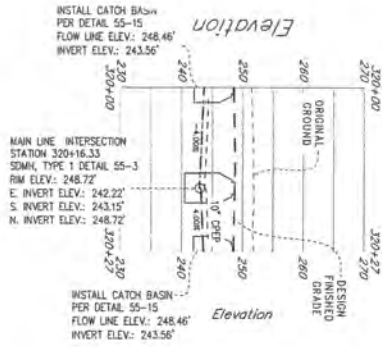


EXHIBIT C-2



- NOTES
1. THE 1" ORIGINAL GROUND CONTOURS SHOWN HEREON ARE DERIVED FROM PUBLISHED DATA OF THE MATANUSKA SUSITNA BOROUGH, U.P.A.R./IMAGERY PROJECT OF 2011/2012
 2. DESIGN EXCAVATION/CONSTRUCTION CONTOURS ARE DISPLAYED AT 1' CONTOUR INTERVAL

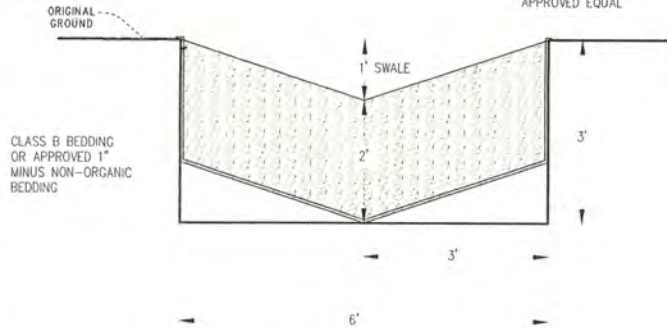
PALMER, ALASKA
GREEN ACRES
PLAN AND PROFILE - DESIGN
STORM DRAIN - CATCH BASIN LINES

DRAWN BY: 20-242C
CHECKED: CEN
SCALE: 1" = 20'
REVISION DATE: 12-17-20
SHEET 24 OF 27



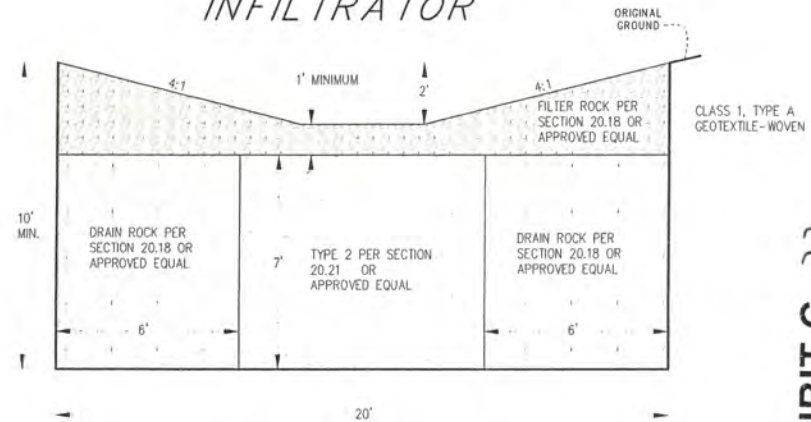
SWALE

CLASS 1, TYPE C
GEOTEXTILE-NON-WOVEN
PER SPECIFICATION 20.25

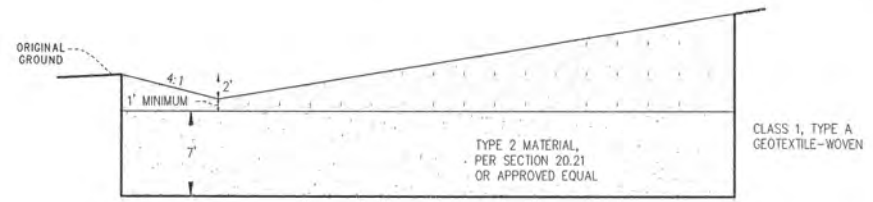


DETAIL 1

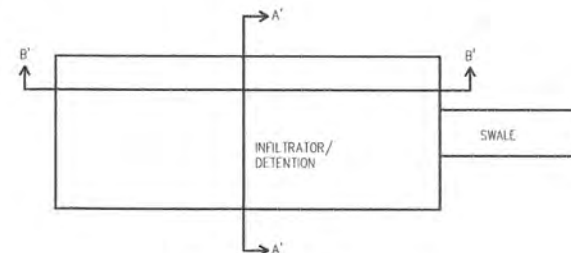
INFILTRATOR



A-A



B-B



DETAIL 2

EXHIBIT C-22



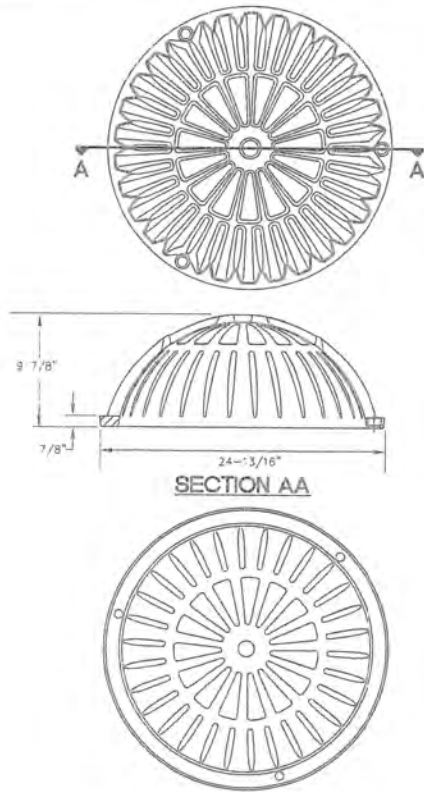
HANSON
LAND SOLUTIONS
305 E. FRICKED AVE.
PALMER, ALASKA 99645
(907) 746-7738



PALMER, ALASKA
GREEN ACRES
CROSS SECTION - DESIGN
SWALE AND INFILTRATOR DETAILS

DWG. #: 20-242C
DESIGN: SCC
DRAWN BY: SDN
CHECKED: CEH
SCALE
11x17: XXX
22x34: XXX
REVISION DATE:
12-17-20

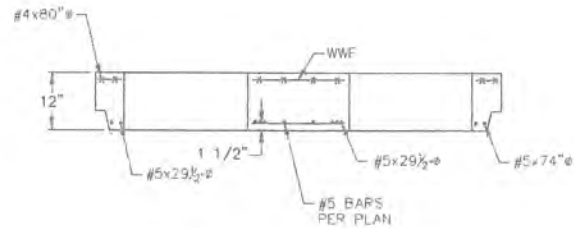
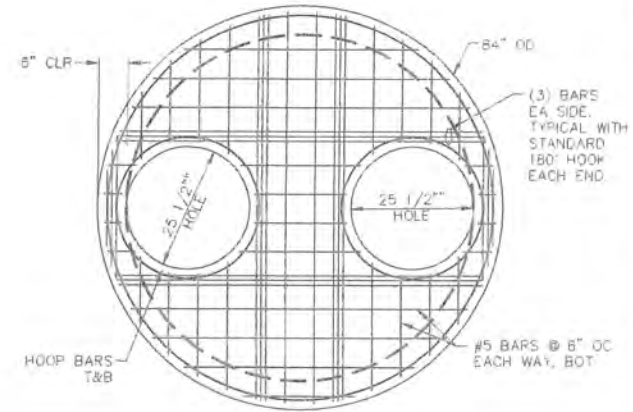
REFERENCE
NUMBER:
U-3.6
SHEET 25 OF 27



SECTION AA

MUNICIPALITY OF ANCHORAGE	SCALE: NTS APPROVED: REVISED: 10/06	SECTION # 55.05 DETAIL # 55-9
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STORM DRAIN
BEEHIVE INTAKE COVER



REVISION: 1/15 REDUCED LUGS RING FROM ACCESS OPENING

MUNICIPALITY OF ANCHORAGE	SCALE: NTS APPROVED: REVISED: 1/15	SECTION # 55.05 DETAIL # 55-13
------------------------------	---	---

PRECAST CONCRETE TWO
HOLE REDUCING SLAB
(72" TO TWO 25 1/2')

EXHIBIT C-23



HANSON
LAND SOLUTIONS
305 E. FREED AVE.
PALMER, ALASKA 99645
(907) 746-7738



PALMER, ALASKA
GREEN ACRES
CROSS SECTION - DESIGN
BEEHIVE INTAKE COVER AND
TWO HOLE REDUCING SLAB

DWG. F: 20-242C
DESIGN: SCG
DRAWN BY: SDN
CHECKED: CEH
SCALE
11x17: XXX
22x34: XXX
REVISION DATE:
12-17-20

REFERENCE
NUMBER:
U-3.7
SHEET 26 OF 27

Amy Otto-Buchanan

From: Jamie Taylor
Sent: Thursday, February 11, 2021 6:18 PM
To: Amy Otto-Buchanan
Subject: RE: RFC Green Ac MSP #21-006

Ensure storm drain and sewer manholes are not in the vehicle wheel paths.

Jamie Taylor, PE
Civil Engineer
Matanuska-Susitna Borough
Department of Public Works
Operations & Maintenance
t: 907-861-7765 c: 907-355-9810
jamie.taylor@matsugov.us
<http://www.matsugov.us/>

From: Amy Otto-Buchanan <Amy.Otto-Buchanan@matsugov.us>
Sent: Friday, January 15, 2021 10:45 AM
To: adam.dubour@alaska.gov; regpagemaster@usace.army.mil; pamelaj.melchert@usps.gov; dmeneses@palmerak.org; bahanson@palmerak.org; Nichole Degner <ndegner@palmerak.org>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Stephanie Nowers <stephanienowersdistrict2@gmail.com>; Fire Code <Fire.Code@matsugov.us>; Jill Irsik <Jill.Irsik@matsugov.us>; Eric Phillips <Eric.Phillips@matsugov.us>; msb.hpc@gmail.com; Brad Sworts <Brad.Sworts@matsugov.us>; Cindy Corey <Cindy.Corey@matsugov.us>; Terry Dolan <Terry.Dolan@matsugov.us>; Jim Jenson <James.Jenson@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Mark Whisenhunt <Mark.Whisenhunt@matsugov.us>; Theresa Taranto <Theresa.Taranto@matsugov.us>; Andy Dean <Andy.Dean@matsugov.us>; mearow@matanuska.com; row@mtasolutions.com; andrew.fraiser@enstarnaturalgas.com; 'Cassie Acres' <Cassie.Acres@enstarnaturalgas.com>; row@enstarnaturalgas.com; 'OSP Design Group' <ospdesign@gci.com>
Subject: RFC Green Ac MSP #21-006

The following contains a link for a Request for Comments, Green Acres MSP, #21-006. Comments are due by **February 11, 2021**. Please let me know if you have any questions. Thanks, A.

https://matsugovus-my.sharepoint.com/:f/g/personal/amy_otto-buchanan_matsugov_us/Ek9XplziGQ1OsT7AZQqsDEBhq4y55NcODUMWO_NmTY9nw?e=Fij11d

Please open in Chrome or copy & paste. Opening in Microsoft Edge create viewing issues.

Amy Otto-Buchanan
Platting Technician
amy.otto-buchanan@matsugov.us
861-7872

Amy Otto-Buchanan

From: Adam Bradway
Sent: Monday, February 8, 2021 1:23 PM
To: Amy Otto-Buchanan
Cc: Karol Riese
Subject: RE: RFC Green Ac MSP #21-006

Thank you,

I also have no comments to make on the Plat at this level.

Adam Bradway
Matanuska-Susitna Borough: Planner II
E Dahlia Ave, Palmer, Alaska
(907) 861-8608

From: Amy Otto-Buchanan <Amy.Otto-Buchanan@matsugov.us>
Sent: Monday, February 8, 2021 1:11 PM
To: Adam Bradway <Adam.Bradway@matsugov.us>
Subject: RE: RFC Green Ac MSP #21-006

You had no comments at the preapp level. See attached. A.

From: Adam Bradway <Adam.Bradway@matsugov.us>
Sent: Monday, February 8, 2021 1:07 PM
To: Amy Otto-Buchanan <Amy.Otto-Buchanan@matsugov.us>
Subject: RE: RFC Green Ac MSP #21-006

Amy,

I know I looked at this plat as a preapp, but I can't find if I made any comments. Are you able to send me them if I did?
Thanks for your help.

Adam Bradway
Matanuska-Susitna Borough: Planner II
E Dahlia Ave, Palmer, Alaska
(907) 861-8608

From: Amy Otto-Buchanan <Amy.Otto-Buchanan@matsugov.us>
Sent: Friday, January 15, 2021 10:45 AM
To: adam.dubour@alaska.gov; regpagemaster@usace.army.mil; pamela.j.melchert@usps.gov; dmeneses@palmerak.org; bahanson@palmerak.org; Nichole Degner <ndegner@palmerak.org>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Stephanie Nowers <stephanienowersdistrict2@gmail.com>; Fire Code <Fire.Code@matsugov.us>; Jill Irsik <Jill.Irsik@matsugov.us>; Eric Phillips <Eric.Phillips@matsugov.us>; msb.hpc@gmail.com; Brad Sworts <Brad.Sworts@matsugov.us>; Cindy Corey <Cindy.Corey@matsugov.us>; Terry Dolan

Amy Otto-Buchanan

From: Fire Code
Sent: Tuesday, February 9, 2021 2:06 PM
To: Amy Otto-Buchanan
Subject: RE: RFC Green Ac MSP #21-006

Amy,
Fire and Life Safety has no issue with this.



Donald Cuthbert
Fire Marshal
Fire & Life Safety Division
Central Mat-Su Fire Department
(907) 861-8030
FireCode@matsugov.us

From: Amy Otto-Buchanan <Amy.Otto-Buchanan@matsugov.us>
Sent: Friday, January 15, 2021 10:45 AM
To: adam.dubour@alaska.gov; regpagemaster@usace.army.mil; pamelaj.melchert@usps.gov; dmeneses@palmerak.org; bahanson@palmerak.org; Nichole Degner <ndegner@palmerak.org>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Stephanie Nowers <stephanienowersdistrict2@gmail.com>; Fire Code <Fire.Code@matsugov.us>; Jill Irsik <Jill.Irsik@matsugov.us>; Eric Phillips <Eric.Phillips@matsugov.us>; msb.hpc@gmail.com; Brad Sworts <Brad.Sworts@matsugov.us>; Cindy Corey <Cindy.Corey@matsugov.us>; Terry Dolan <Terry.Dolan@matsugov.us>; Jim Jenson <James.Jenson@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Mark Whisenhunt <Mark.Whisenhunt@matsugov.us>; Theresa Taranto <Theresa.Taranto@matsugov.us>; Andy Dean <Andy.Dean@matsugov.us>; mearow@matanuska.com; row@mtasolutions.com; andrew.fraiser@enstarnaturalgas.com; 'Cassie Acres' <Cassie.Acres@enstarnaturalgas.com>; row@enstarnaturalgas.com; 'OSP Design Group' <ospdesign@gci.com>
Subject: RFC Green Ac MSP #21-006

The following contains a link for a Request for Comments, Green Acres MSP, #21-006. Comments are due by **February 11, 2021**. Please let me know if you have any questions. Thanks, A.

https://matsugovus-my.sharepoint.com/:f/g/personal/amy_otto-buchanan_matsugov_us/Ek9XplziGQ1O5T7AZQqssDEBhq4y55NcODUMWO_NmTY9nw?e=Fij11d

Please open in Chrome or copy & paste. Opening in Microsoft Edge create viewing issues.

Amy Otto-Buchanan
Platting Technician
amy.otto-buchanan@matsugov.us
861-7872



DEPARTMENT OF COMMUNITY DEVELOPMENT

Brad Hanson
DirectorDavid Meneses
Building InspectorBeth Skow
Library Director**MEMORANDUM**

TO: Fred Wagner, Chief of Platting
FROM: Nichole Degner, Community Development
DATE: February 8, 2021
SUBJECT: Green Acres Master Plan

☒ Inside City Limits☐ Outside City Limits

We have distributed the pre-application packet for the subject project and have received the following comments from the following departments:

1. City Manager: No comments.
2. Building Inspector: No changes necessary.
3. Community Development: No changes necessary.
4. Fire Chief: No changes necessary.
5. Public Works: No comments.
6. Planning and Zoning Commission: The proposed platting action is scheduled to be reviewed at the February 18, 2021 Planning & Zoning Commission meeting; any additional comments will be forwarded at that time.

Amy Otto-Buchanan

From: Holly Sparrow <hsparrow@mtasolutions.com>
Sent: Friday, January 15, 2021 3:23 PM
To: Amy Otto-Buchanan
Subject: RE: RFC Green Ac MSP #21-006

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Amy,

MTA has reviewed the plat for Green Acres. MTA has no comments.

Thank you for the opportunity to comment.

Holly Sparrow, Right of Way Agent

MTA | 1740 S. Chugach Street | Palmer, Alaska 99645
 office: 907-761-2599 | www.mtasolutions.com



Life. Technology. Together.

From: Amy Otto-Buchanan <Amy.Otto-Buchanan@matsugov.us>
Sent: Friday, January 15, 2021 10:45 AM
To: adam.dubour@alaska.gov; regpagemaster@usace.army.mil; pamelaj.melchert@usps.gov; dmeneses@palmerak.org; bahanson@palmerak.org; Nichole Degner <ndegner@palmerak.org>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Stephanie Nowers <stephanienowersdistrict2@gmail.com>; Fire Code <Fire.Code@matsugov.us>; Jill Irsik <Jill.Irsik@matsugov.us>; Eric Phillips <Eric.Phillips@matsugov.us>; msb.hpc@gmail.com; Brad Sworts <Brad.Sworts@matsugov.us>; Cindy Corey <Cindy.Corey@matsugov.us>; Terry Dolan <Terry.Dolan@matsugov.us>; Jim Jenson <James.Jenson@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Mark Whisenhunt <Mark.Whisenhunt@matsugov.us>; Theresa Taranto <Theresa.Taranto@matsugov.us>; Andy Dean <Andy.Dean@matsugov.us>; mearow@matanuska.com; Right of Way Dept. <row@mtasolutions.com>; andrew.fraiser@enstarnaturalgas.com; 'Cassie Acres' <Cassie.Acres@enstarnaturalgas.com>; row@enstarnaturalgas.com; 'OSP Design Group' <ospdesign@gci.com>
Subject: RFC Green Ac MSP #21-006

The following contains a link for a Request for Comments, Green Acres MSP, #21-006. Comments are due by **February 11, 2021**. Please let me know if you have any questions. Thanks, A.



ENSTAR Natural Gas Company
 A DIVISION OF SEMCO ENERGY
 Engineering Department, Right of Way Section
 401 E. International Airport Road
 P. O. Box 190288
 Anchorage, Alaska 99519-0288
 (907) 277-5551
 FAX (907) 334-7798

February 4, 2021

Matanuska-Susitna Borough, Platting Division
 350 East Dahlia Avenue
 Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural gas company has reviewed the following preliminary plats and has no comments or recommendations.

- **Green Acres Master Plan**
 (MSB Case # 2021-006)
- **Starboard Cove RSB B/4 L/2 & 3**
 (MSB Case # 2021-007)
- **Destiny Estates**
 (MSB Case # 2021-011)

If you have any questions, please feel free to contact me at 907-334-7911 or by email at skylar.shaw@enstarnaturalgas.com.

Sincerely,

Skylar Shaw
 ROW & Compliance Technician
 ENSTAR Natural Gas Company

**MATANUSKA-SUSITNA BOROUGH
PLATTING DIVISION**
350 EAST DAHLIA AVENUE
PALMER, ALASKA 99645



U.S. POSTAGE >> PITNEY BOWES

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55678B07L002 18
CLEMMONS NICHOLAS R & KAYTLIN B
1202 E HIDDEN RANCH LOOP
PALMER AK 99645

FIRST CLASS

NOTIFICATION OF PUBLIC HEARING

The Matanuska-Susitna Borough Platting Board will consider the following:

PETITIONER/OWNER: WM CONSTRUCTION LLC

REQUEST: The request is to create 35 lots, by a three-phase master plan, from Tax Parcel C30, to be known as **GREEN ACRES MASTER PLAN**, containing 11.06 acres +/- . The plat is located north of E. Helen Drive and east of S. Felton Street, within the city limits of Palmer (Tax ID # 117N02E05C030); within the SW ¼ Section 05, Township 17 North, Range 02 East, Seward Meridian, Alaska. Community Council: NA and in Assembly District #2 Stephanie Nowers

The Matanuska-Susitna Borough Platting Board will hold a public hearing in the Assembly Chambers at the Dorothy Swanda Jones Building, 350 E. Dahlia Avenue, Palmer, Alaska on the proposed Subdivision. The public hearing is scheduled for March 4, 2021, starting at 1:00 p.m. We are sending you this notice as required by State Law and Borough Ordinances.

For comments regarding the proposed action, this form may be used for your convenience by filling in the information below and mail this notice to the MSB Platting Division, 350 E. Dahlia, Palmer, Alaska 99645 or e-mail: platting@matsugov.us. Comments received from the public after the platting board packet has been written and sent to the Board will be given to the Platting Board in a "Hand-Out" the day of the meeting. Please do not send comments or questions directly to Platting Board members. Board members may not receive or engage in ex-parte contact with the applicant, other parties interested in the application, or members of the public concerning the application or issues presented in the application. **All public comments are due one (1) day prior, by 12:00 p.m.** To request additional information please contact the Platting Technician, Amy Otto-Buchanan at (907) 861-7872.

To view the agenda or meeting packet please go to the following link: www.matsugov.us/boards/platting. Please follow all public protocols in relation to the mandates regarding Covid-19 for public participation.

[] No Objection [X] Objection [] Concern

Name: Kaytlin & Nicholas Clemmons Address: 1202 E Hidden Ranch Loop

Comments: With the amount of lots this will drive the connecting neighborhood value down. this will also cause more traffic issues that we already have. Having that many house can also raise crime rates being this close to the fairgrounds.

MATANUSKA-SUSITNA BOROUGH
PLATTING DIVISION
 350 EAST DAHLIA AVENUE
 PALMER, ALASKA 99645



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 1356 E HIDDEN RANCH LOOP
 PALMER AK 99645

FIRST CLASS

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[] No Objection [X] Objection [] Concern

Name: Bobbi Orion Luben Address: 1356 E Hidden Ranch LP.

Comments: There are too many lots in a small area. 35 lots will cause even more traffic issues in an area that already struggles. I would be fine with 1/2 acre lots like Hidden Ranch, but this is too dense!
I spoke with a few realtors and this

Case # 2021-006 AOB

Note: Vicinity map Located on Reverse Side

EXHIBIT I -2

Drop

Will
 our home
 values!!

Amy Otto-Buchanan

From: Bobbi L <bobbiluben@gmail.com>
Sent: Thursday, February 11, 2021 2:43 PM
To: MSB Platting
Subject: objection to Subdivision- LUBEN- 1356 E HIDDEN RANCH LP -99645
Attachments: OBJECTION TO SUBDIVISION - LUBEN - 1356 E HIDDEN RANCH LP 99645.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

I have attached my objection for the subdivision going into our area.

My reasons are as follows:

1. It will DROP my homes value according to multi realtors. Which is greedy of this builder.
2. There is not an appropriate traffic flow for this area which has been complained about MULTI times and there are meetings with the mayor as well.

Amy Otto-Buchanan

From: Dylan Kaupe <dylankaupe@icloud.com>
Sent: Tuesday, February 16, 2021 12:50 PM
To: MSB Platting
Subject: Green Acres proposal

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Please see below for the reasons I believe this project is a poor idea for the neighborhood and community surrounding.

- ° 35 housing units is much denser than any of the newer streets in the neighborhood creating overcrowding on E. Robert-Green Loop.
- ° There will be inadequate parking spaces available for a typical 2 car family.
- ° Property values based on comparable sized lots will be inconsistent devaluing surrounding property values.
- ° E. Robert Green Loop both access S. Felton St. within the same block making congestion inevitable.
- ° S. Felton St. is narrow for the only access block to E. Robert-Green Loop.
- ° S. Felton St. does not have pedestrian side walks or Bicycle paths on either side of the roadway causing a hazardous exposure to pedestrian and bicyclists.
- ° E. Helen Dr. to E. Moore Rd. has a very narrow and steep gradient hill that is difficult for ordinary passenger vehicles and school buses to navigate from the end of S. Felton St. which would be the route of choice for access to the Glenn Hwy and Service road.
- ° High traffic movement at certain times of the day would make for difficult congestion on E. Robert-Green Loop.

Amy Otto-Buchanan

From: Lindsay Coultas <daisyrun@live.com>
Sent: Wednesday, February 17, 2021 1:25 PM
To: MSB Platting
Subject: Objections to Green Acres

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

My name is Lindsay Coultas and I own a home in Hidden Ranch. I have objections to the proposed building proposal for Green Acres. My objections are:

- ° 35 housing units is much denser than any of the newer streets in the neighborhood creating overcrowding on E. Robert-Green Loop.
 - ° There will be inadequate parking spaces available for a typical 2 car family.
 - ° Property values based on comparable sized lots will be inconsistent devaluing surrounding property values.
 - ° E. Robert Green Loop both access S. Felton St. within the same block making congestion inevitable.
 - ° S. Felton St. is narrow for the only access block to E. Robert-Green Loop.
 - ° S. Felton St. does not have pedestrian side walks or Bicycle paths on either side of the roadway causing a hazardous exposure to pedestrian and bicyclists.
 - ° E. Helen Dr. to E. Moore Rd. has a very narrow and steep gradient hill that is difficult for ordinary passenger vehicles and school buses to navigate from the end of S. Felton St. which would be the route of choice for access to the Glenn Hwy and Service road.
 - ° High traffic movement at certain times of the day would make for difficult congestion on E. Robert-Green Loop.
- Thank you for listening to my objections.
Lindsay Coultas

Sent from my iPhone

EXHIBIT I -5

MATANUSKA-SUSITNA BOROUGH
PLATTING DIVISION
350 EAST DAHLIA AVENUE
PALMER, ALASKA 99645

RECEIVED

FEB 7 2 2021

PLATTING

57737B03L005 52
LAPKA TARAS A & KIMBERLEY
1243 E ETSY DR
PALMER AK 99645



U.S. POSTAGE & PAYMENT SERVICE
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FIRST CLASS

99645\$3554 H007



NOTIFICATION OF PUBLIC HEARING

The Matanuska-Susitna Borough **Platting Board** will consider the following:

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[] No Objection [X] Objection [X] Concern

Name: TARAS LAPKA Address: 1243 E. ETSY DR.

Comments: FELTON ST. AND HELEN DR. CANNOT HANDLE THIS HUGE INCREASE IN TRAFFIC. THE AVERAGE AMERICAN HOME HAS 2 CARS, THIS WOULD BE A SIGNIFICANT STRESS ON FELTON, SINCE MOST OF THE TRAFFIC WOULD GO NORTH ON FELTON TO REACH THE CORE PALMER AREA.

Case # 2021-006 AOB

Note: Vicinity map Located on Reverse Side

EXHIBIT I - 6

MATANUSKA-SUSITNA BOROUGH
PLATTING DIVISION
 350 EAST DAHLIA AVENUE
 PALMER, ALASKA 99645



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57737B05L006
 TONEY WILLIAM
 1322 E ESTY DR
 PALMER AK 99645

83

FIRST CLASS

NOTIFICATION OF PUBLIC HEARING

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[] No Objection [X] Objection [] Concern

Name: William M TONEY Address: 1322 E. Esty Dr Palmer AK 99645

Comments: Size of Lots far too small for the rest of the Neighborhood

Developer is attempting to put 35 lots on an area the same size that only has 20 for the rest of the neighborhood.

PLANNING & LAND USE DIRECTOR'S CERTIFICATE

I CERTIFY THAT THIS SUBDIVISION PLAT HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSITNA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLATTING AUTHORITY BY PLAT RESOLUTION NUMBER _____, DATED _____, 20____, AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE RECORDER IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THE PLAT IS LOCATED

PLANNING AND LAND USE DIRECTOR _____

DATE _____

ATTEST: _____
(PLATTING CLERK)

CERTIFICATE OF PAYMENT OF TAXES

I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS, THROUGH _____, 20____, AGAINST THE PROPERTY, INCLUDED IN THE SUBDIVISION OR RESUBDIVISION, HEREON HAVE BEEN PAID.

TAX COLLECTION OFFICIAL
(MATANUSKA-SUSITNA BOROUGH)

DATE _____

HIDDEN RANCH PH. 1
(2003-33)

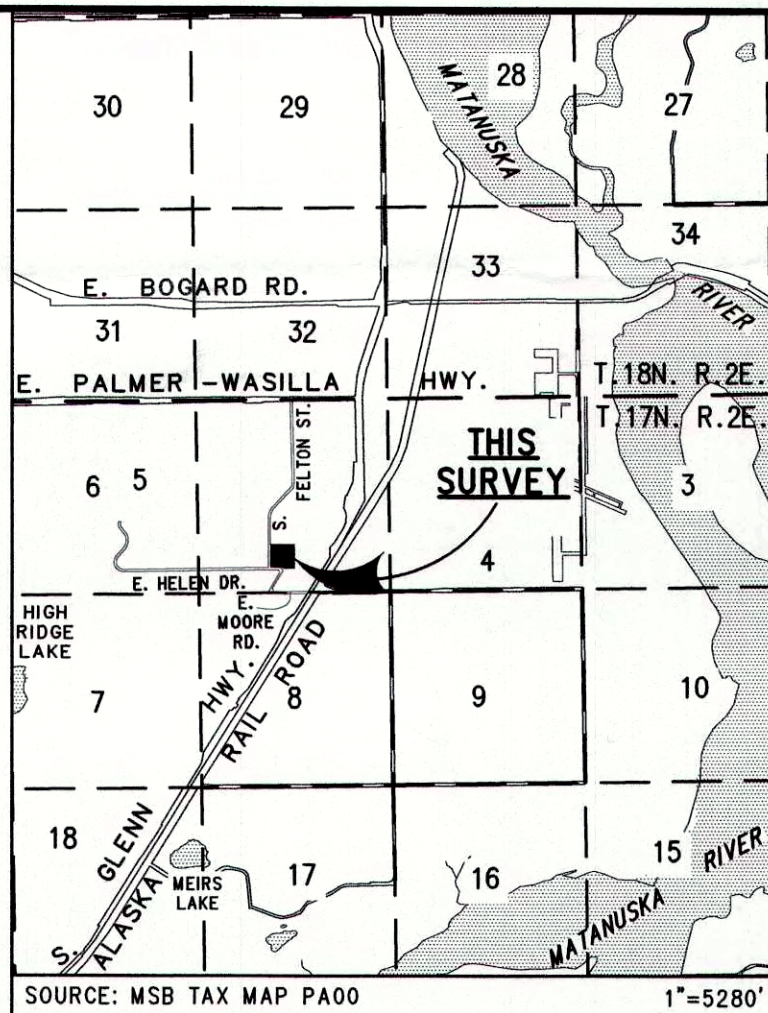
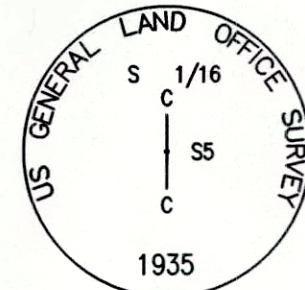
LEGEND

- ⊕ RECOVERED 2½" GLO BRASS CAP ON IRON PIPE
- ⊙ RECOVERED PLASTIC CAP ON ½" REBAR
- RECOVERED ½" REBAR
- SET 2½" ALUMINUM POST MONUMENT
- ⊥ SET PLASTIC CAP ON ½" REBAR AT ALL LOT CORNERS, PC'S AND PT'S
- N74°58'11"W 255.65' MEASURED DATA (N74°45'W) (254.70') RECORD PER PLAT (86-197)
- [N74°45'W] [254.70'] RECORD PER PLAT (2003-33)

1 BLOCK NUMBER



TYPICAL SET
1½" PLASTIC
CAP



CERTIFICATE OF OWNERSHIP AND DEDICATION

WE HEREBY CERTIFY THAT WE ARE THE OWNERS OF THE PROPERTY SHOWN AND DESCRIBED IN THIS PLAN AND THAT WE ADOPT THIS PLAN OF SUBDIVISION BY OUR FREE CONSENT, DEDICATE ALL RIGHTS-OF-WAY TO THE MAT-SU BOROUGH, AND GRANT ALL EASEMENTS TO THE USE SHOWN.

MIKE THOMPSON (OWNER) _____ DATE _____
WM CONSTRUCTION, LLC
P.O. BOX 4042
PALMER, AK 99645

NOTARY ACKNOWLEDGEMENT

SUBSCRIBED AND SWORN BEFORE ME THIS _____

DAY OF _____, 202____.

FOR _____

NOTARY FOR THE STATE OF ALASKA
MY COMMISSION EXPIRES: _____

CURVE TABLE						
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING	TANGENT
C1	31.08	20.00	89°02'53"	28.05	N45° 24' 06"W	19.67
C2	307.13	195.00	90°14'36"	276.36	N44° 14' 39"E	195.83
C3	46.85	30.00	89°28'31"	42.23	N44° 37' 43"E	29.73
C4	4.85	225.00	1°14'06"	4.85	N88° 44' 54"E	2.43
C5	60.62	225.00	15°26'08"	60.43	N80° 24' 47"E	30.49
C6	58.60	225.00	14°55'16"	58.43	S65° 14' 04"W	29.46
C7	57.66	225.00	14°40'59"	57.50	S50° 25' 57"W	28.99
C8	62.55	225.00	15°55'39"	62.35	S35° 07' 38"W	31.48
C9	63.35	225.00	16°07'54"	63.14	N19° 05' 51"E	31.89
C10	46.77	225.00	11°54'33"	46.68	S5° 04' 37"W	23.47
C11	10.38	60.00	9°54'53"	10.37	S4° 04' 47"W	5.20
C12	36.37	60.00	34°43'43"	35.81	N26° 24' 05"E	18.76
C13	64.24	60.00	61°20'35"	61.21	N13° 05' 40"E	35.59
C14	43.20	60.00	41°15'01"	42.27	S38° 12' 14"E	22.58
C15	45.67	60.00	43°36'43"	44.58	N80° 38' 11"W	24.01
C16	26.33	60.00	25°08'20"	26.11	N64° 59' 18"E	13.38
C17	39.43	60.00	37°39'20"	38.73	N71° 14' 48"E	20.46
C18	47.03	30.00	89°48'58"	42.36	N45° 01' 03"W	29.90
C19	47.23	30.00	90°12'16"	42.50	S44° 58' 19"W	30.11
C20	77.71	50.00	89°02'53"	70.12	S45° 24' 06"E	49.18
C21	169.71	165.00	58°55'58"	162.33	N36° 24' 37"E	93.22
C22	67.64	165.00	23°29'21"	67.17	S77° 37' 16"W	34.30
C23	47.40	30.00	90°31'29"	42.62	N45° 22' 19"W	30.28

LINE TABLE		
LINE #	LENGTH	BEARING
L1	24.88	S78° 18' 59"E
L2	15.30	S16° 41' 09"W
L3	12.73	S89° 21' 57"W
L4	5.10	S89° 43' 51"W
L5	5.42	S89° 55' 32"E
L6	14.75	S0° 52' 39"E
L7	30.00	N0° 14' 34"W

NOTES

- ALL DISTANCES SHOWN ARE GROUND DISTANCES.
- THE BASIS OF BEARING ON THIS PLAT IS TRUE NORTH WITH RESPECT TO THE LONGITUDINAL MERIDIAN THROUGH THE NORTHEAST CORNER OF LOT 10, BLOCK 1, A G.L.O. BRASS CAP WITH A NETWORK GNSS GEODETIC POSITION OF 61°35'18.96"N 149°0'59.74"W
- ALL LOTS ARE SERVED BY MUNICIPALITY OF PALMER WATER AND SEWER.
- THERE MAY BE FEDERAL, STATE, AND LOCAL REQUIREMENTS GOVERNING LAND USE. THE INDIVIDUAL PARCEL OWNER SHALL OBTAIN A DETERMINATION WHETHER THESE REQUIREMENTS APPLY TO THE DEVELOPMENT OF PARCELS SHOWN ON THE PLAT TO BE RECORDED.
- THIS SUBDIVISION IS SUBJECT TO A M.T.A BLANKET EASEMENT RECORDED ON SEPTEMBER 30, 1977 IN BOOK 149, PAGE 651.

HIDDEN RANCH PH. 1
(2003-33)

MSB WAIVER
81-42-PWD
(81-83W)

PARCEL 1

PAT-MAR
ACRES NO. 1
(86-197)



7

6

1

2

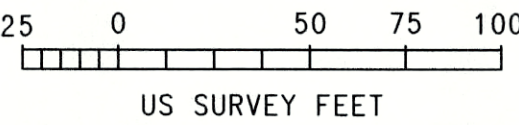
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1

2

2

1



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Agenda Copy



I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA, AND THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE MONUMENTS SHOWN ON THE PLAT ACTUALLY EXIST AS DESCRIBED AND THAT ALL DIMENSIONAL AND OTHER DETAILS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

REGISTERED LAND SURVEYOR

A PLAT OF
GREEN ACRES

A SUBDIVISION OF
A PORTION OF THE SE¼ SW¼
WARRANTY DEED
2020-023299-0

PALMER RECORDING DISTRICT
STATE OF ALASKA

LOCATED WITHIN
SW¼ SEC. 5, T.17N. R.2E. SM, AK
CONTAINING 11.06 ACRES MORE OR LESS

**HANSON
LAND SOLUTIONS**
305 EAST FIREWEED AVENUE
PALMER, ALASKA, 99645
(907)746-7738