

MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION AGENDA

Vern Halter, Mayor

PLANNING COMMISSION
Mary Anderson, Vice-Chair, District 1
Vacant, District 2
Patricia Chesbro, District 3
Colleen Vague, Chair, District 4
Chris Elder, District 5
Stafford Glashan, District 6
Sassan Mossanen, District 7



Michael Brown, Borough Manager

PLANNING & LAND USE
DEPARTMENT
Alex Strawn, Planning & Land Use Director
Kim Sollien, Planning Services Manager
Jason Ortiz, Development Services
Manager
Fred Wagner, Platting Officer
Karol Riese, Planning Clerk

*Assembly Chambers of the
Dorothy Swanda Jones Building
350 E. Dahlia Avenue, Palmer*

July 19, 2021
REGULAR MEETING
6:00 p.m.

Ways to participate in Planning Commission meetings:

IN PERSON: Should you wish to testify in person, please adhere to a 6-foot distance between yourself and others.

IN WRITING: You can submit written comments to the Planning Commission Clerk at planning@matsugov.us.

TELEPHONIC TESTIMONY:

- Dial 1-855-290-3803; you will hear “joining conference” when you are admitted to the meeting.
- You will be automatically muted and able to listen to the meeting.
- When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, “Your hand has been raised.”
- When it is your turn to testify, you will hear, “Your line has been unmuted.”
- State your name for the record, spell your last name, and provide your testimony.

FACEBOOK LIVE:

The Planning Commission meetings are now being streamed on Facebook Live.

- Questions will not be answered on Facebook Live. If you have a comment or concern, please call the number above.

I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM

II. APPROVAL OF AGENDA

III. PLEDGE OF ALLEGIANCE

IV. CONSENT AGENDA

Items on the consent agenda are considered routine and non-controversial by the Commission and will be approved by one motion. There will be no separate discussion of these items unless a Commission Member so requests, in which case the item will be removed from the Consent Agenda and considered in its normal sequence on the agenda.

A. MINUTES

1. June 21, 2021, Regular Meeting Minutes.

B. INTRODUCTION FOR PUBLIC HEARING: QUASI-JUDICIAL MATTERS

1. **Resolution PC 21-15**, An application under MSB 17.65 – Variances, has been submitted by Richard Toussaint for a variance to the minimum 25-foot setback to a public right-of-way and to the minimum 75-foot shoreline setback requirements under MSB 17.55. Located at 3874 South Wolverine Drive, Tax ID #62580000L004, within Township 17 North, Range 3 West, Section 28, Seward Meridian. Public Hearing: August 2, 2021, (Applicant: Richard Toussaint; Staff: Peggy Horton).

C. INTRODUCTION FOR PUBLIC HEARING: LEGISLATIVE MATTERS

V. COMMITTEE REPORTS

VI. AGENCY/STAFF REPORTS

VII. LAND USE CLASSIFICATIONS

VIII. AUDIENCE PARTICIPATION (*three minutes per person, for items not scheduled for public hearing*)

IX. PUBLIC HEARING: QUASI-JUDICIAL MATTERS (*public hearings shall not begin before 6:15 p.m.*)

Commission members may not receive or engage in ex-parte contact with the applicant, other parties interested in the application, or members of the public concerning the application or issues presented in the application.

The Planning Commission members may submit questions or request more information to the Planning Commission Clerk concerning the following matters at the time of introduction. All questions and requests submitted by the Commission shall be in writing, and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing.

- A. **Resolution PC 21-14**, A Conditional Use Permit in accordance with MSB 17.30—Conditional Use Permit (CUP) for Earth Materials Extraction Activities, for the extraction of approximately 2,000,000 cubic yards of earth material from a 105-acre site within a 160-acre parcel, located within Township 17 North, Range 2 West, Section 10, Tax Parcel C001; 17N02W10C001, Seward Meridian (Applicant: UMIAQ Environmental, on behalf of Colaska Inc. (dba QAP); Staff: Mark Whisenhunt).

In order to be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for the definition of “Interested Party.” The procedures governing appeals to the Board of Adjustment & Appeals are contained in MSB 15.39.010-250, available on the Borough website, www.matsugov.us, Borough Clerk’s office, or at various libraries within the Borough.

- X. PUBLIC HEARING: LEGISLATIVE MATTERS
- XI. CORRESPONDENCE & INFORMATION
- XII. UNFINISHED BUSINESS
- XIII. NEW BUSINESS
- XIV. COMMISSION BUSINESS
- A. Upcoming Planning Commission Agenda Items
- XV. DIRECTOR AND COMMISSIONER COMMENTS
- XVI. ADJOURNMENT (*Mandatory Midnight*)

Disabled persons needing reasonable accommodation in order to participate at a Planning Commission Meeting should contact the Borough ADA Coordinator at 861-8432 at least one week in advance of the meeting.

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MINUTES

June 21, 2021

(Pages 5-11)

MINUTES

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION MINUTES**

**REGULAR MEETING
June 21, 2021**

The regular meeting of the Matanuska-Susitna Borough Planning Commission was held on June 21, 2021, at the Matanuska-Susitna Borough Assembly Chambers, 350 E. Dahlia Avenue, Palmer, Alaska. The meeting was called to order at 6:00 pm by Chair Colleen Vague.

I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM

Planning Commission members present and establishing a quorum:

Ms. Mary Anderson, Assembly District #1, Vice-Chair*
Vacant, Assembly District #2
Ms. Patricia Chesbro, Assembly District #3
Ms. Colleen Vague, Assembly District #4, Chair
Mr. Chris Elder, Assembly District #5*
Mr. Stafford Glashan, Assembly District #6
Mr. Sassan Mossanen, Assembly District #7*

Staff in attendance:

Mr. Alex Strawn, Planning & Land Use Director
Ms. Denise M, Assistant Borough Attorney
Ms. Kim Sollien, Planning Services Manager
Mr. Adam Bradway, Planner II
Ms. Nancy Cameron,
Mr. Brad Sworts,
Ms. Karol Riese, Planning Commission Clerk

*Indicates that the individual attended telephonically.

II. APPROVAL OF AGENDA

Chair Vague inquired if there were any changes to the agenda.

GENERAL CONSENT: The agenda was approved without objection.

III. PLEDGE OF ALLEGIANCE

Mr. Josh Cross, Chair of the Transportation Advisory Board, led the pledge of allegiance.

IV. CONSENT AGENDA

A. Minutes

1. June 7, 2021, regular meeting minutes

B. INTRODUCTION FOR PUBLIC HEARING: QUASI-JUDICIAL MATTERS
(None)

C. INTRODUCTION FOR PUBLIC HEARING: LEGISLATIVE MATTERS
(None)

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION MINUTES**

**REGULAR MEETING
June 21, 2021**

V. COMMITTEE REPORTS

(There were no committee reports.)

VI. AGENCY/STAFF REPORTS

(There were no Agency/Staff Reports.)

VII. LAND USE CLASSIFICATIONS

- A. **Resolution PC 21-13**, A Resolution Of The Matanuska-Susitna Borough Planning Commission Approval Of The Land Classification Of Certain Borough-Owned Lands Proposed For Inclusion In Future Land Sales And One Parcel For Public Retention And Forwarding Recommendation To The Matanuska-Susitna Borough Assembly For Approval (MSB007737) (Staff: Nancy Cameron, Land Management Agent).

Chair Vague read the resolution title into the record.

Ms. Cameron provided a staff report:

- Staff recommended approval of the resolution.

Commissioners questioned staff regarding:

- Bidding process; Parcel 21-15; price listing; appraisal of three properties; tax assessed value of three properties in comparison to the appraisal; the ability of commissioners to give input; Parcel 21-24 – how do we separate one parcel; \$2M value is assessed value that will be taxed;

Chair Vague invited the staff to provide an overview of their application.

Chair Vague opened the public hearing.

The following persons spoke regarding Resolution PC 21-13: (Time: 6:25)

Ms. Kathleen Weeks regarding parcel 21-25.

Chair Vague invited staff to respond to questions and statements from the audience.

Ms. Cameron responded to statements from members of the audience.

Commissioner Glashan asked if ADFG still has a program for boat launches. Mr. Sworts stated that he believed it was still available.

There being no one else to be heard, Chair Vague closed the public hearing, and the discussion moved to the Planning Commission.

MOTION: Commissioner Glashan moved to approve Resolution PC 21-13. The motion was seconded.

Discussion ensued

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION MINUTES**

**REGULAR MEETING
June 21, 2021**

MOTION: Commissioner Glashan moved a primary amendment to remove parcel 21-25. The motion was seconded.

Add a 7th Whereas, the PC recommends retaining parcel 21-25; and add Now, therefore, be it resolved...

VOTE: The primary amendment Passes without objection.

VOTE: The main motion passed without objection as amended.

MOTION: Commissioner Anderson moved a secondary amendment to remove 21-24 from items of parcels for sales because of the trails.
Eighth whereas, to read as follows:

WHEREAS, the PC agrees with dual classifications of Parcel 21-24 North half for general purpose; south half for public recreation. The general purpose classification be only forwarded for sale once the trails are surveyed.

VOTE: The secondary amendment passes without objection.

VOTE: The main motion passed without objection as amended.

VIII. AUDIENCE PARTICIPATION (Three minutes per person.)

(There were no persons to be heard.)

IX. PUBLIC HEARING: QUASI-JUDICIAL MATTERS

(None)

X. PUBLIC HEARING LEGISLATIVE MATTERS

- A. **Resolution PC 21-12**, A Resolution Of The Matanuska-Susitna Borough Planning Commission Requesting The Assembly Adopt And Fund A Transportation Infrastructure Package That Includes Projects Listed In The MSB Long Range Transportation Plan (LRTP), The MSB Official Streets And Highways Plan (OSHP), The MSB/MSBSD Safe Routes To Schools Plan And To Complete The Projects Approved By Voters In The 2013 & 2018 Bond Packages, As Well As Other Prioritized Projects, All Of Which Will Reduce Traffic Congestion, Support Economic Development, Improve Connectivity, Enhance Pedestrian And Vehicle Safety, Increase Reliability, And Provide Transportation Choices For Residents (Staff: Kim Sollien, Planning Services Manager and Brad Sworts, Pre-Design and Engineering Division Manager).

Chair Vague read the resolution title into the record.

Ms. Sollien provided a staff report:

- staff recommended approval of the resolution.

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION MINUTES**

**REGULAR MEETING
June 21, 2021**

Commissioners questioned staff regarding:

- RSA Lucille Road, Seldon to Church not being extended into the package.
- Seward Meridian to Seldon Ext. – that is an SOA project – this should be going out to bid this fall.

Chair Vague opened the public hearing.

The following persons spoke in favor of Resolution PC 21-12:

Mr. Josh Cross, Chair of the Transportation Advisory Board. Provided a broad overview of the process the Transportation Advisory Board did regarding their resolution.

There being no one to be heard, Chair Vague closed the public hearing, and discussion moved to the Planning Commission.

MOTION: Commissioner Chesbro moved to approve Resolution PC 21-12. The motion was seconded.

Discussion ensued

VOTE: The main motion passed without objection.

XI. CORRESPONDENCE AND INFORMATION
(There was no correspondence and information.)

XII. UNFINISHED BUSINESS
(There was no unfinished business.)

XIII. NEW BUSINESS
(There was no new business.)

XIV. COMMISSION BUSINESS

- A. Adjudicatory
- B. Upcoming Planning Commission Agenda Items *(Staff: Alex Strawn)*

XV. DIRECTOR AND COMMISSIONER COMMENTS

Alex Strawn:

- Facebook Live

Commissioner Chesbro:

- Enjoy the Solstice, and now it is going to get darker.

Commissioner Glashan:

- I was excited to be part of the team that set the Guinness records for the longest resolution name.

Commissioner Vague:

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION MINUTES**

**REGULAR MEETING
June 21, 2021**

- I want to thank the staff, I know you work hard, and we send things out your way. The nature of being understaffed, you have put together really good packages. And I like the big map I can read.

XVI. ADJOURNMENT

The regular meeting adjourned at 7:14 pm.

COLLEEN VAGUE, Planning Commission
Chair

ATTEST:

KAROL RIESE, Planning Commission Clerk

Minutes approved: _____

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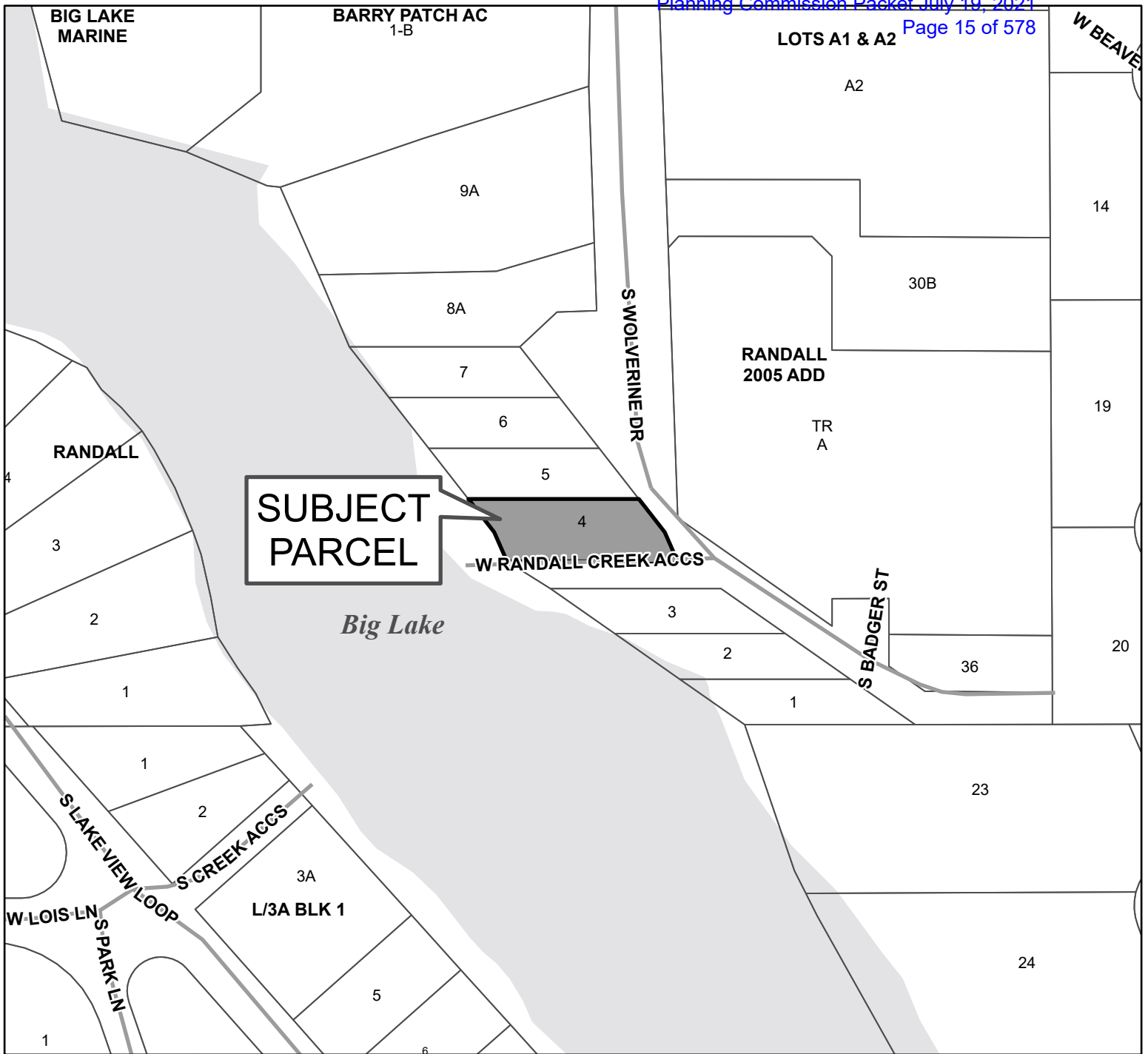
INTRODUCTION FOR PUBLIC HEARING QUASI-JUDICIAL

Resolution No. PC 21-15

Richard Toussaint

(Pages 13-34)

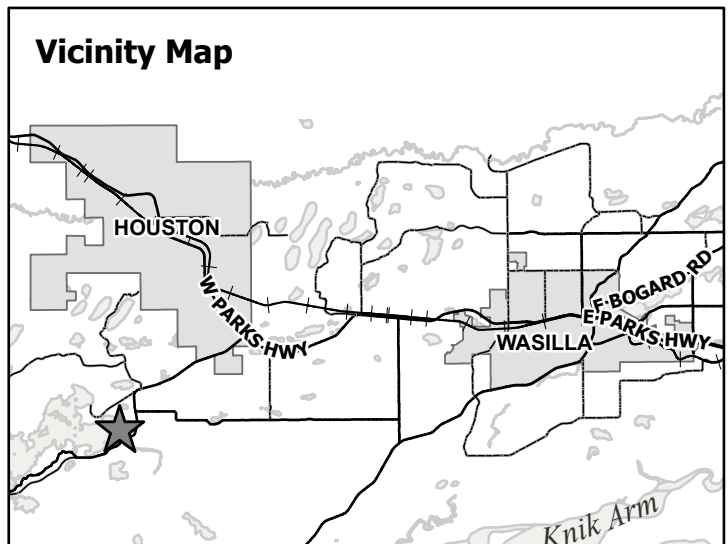
INTRODUCTION FOR PUBLIC HEARING



6258000L004



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7858.





MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

Matanuska-Susitna Borough
Development Services

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-7876

Email: PermitCenter@matsugov.us

APR - 5 2021

Received

APPLICATION FOR A VARIANCE – MSB 17.65

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

Application fee must be attached:

☒ \$1,000 for Variance

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made **prior** to the application presentation before the Borough Planning Commission.

Subject Property Township: 17N, Range: 3W, Section: 28, Meridian S

MSB Tax Acct # 62580001004

SUBDIVISION: Addition to the RANDALL Sub BLOCK(S): _____, LOT(S): 4

STREET ADDRESS: 3874 S WOLVERINE DR, Big Lake AK 99652

(US Survey, Aliquot Part, Lat. /Long. etc) _____

Ownership A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? ☒ Yes ☐ No ☐ N/A

Name of Property Owner

RICHARD TOUSSAINT

Address: 2200 Colony Loop
ANCHORAGE AK 99507

Phne: Hm _____ Fax _____

Wk _____ Cell 303 229 3171

E-mail TOUSSAINTRW@YAHOO.COM

Name of Agent/ Contact for application

GARY LORUSSO

Address: PO Box 2216
PALMER AK 99645

Phne: Hm _____ Fax 907.376.5780

Wk 907.376.7811 Cell _____

E-mail gary@mtaonline.net

Description	Attached
A variance from MSB 17.55 is being applied for and is specifically described.	<input checked="" type="checkbox"/>
Provide a detailed written description as to why the variance is required.	<input checked="" type="checkbox"/>

Drawings	Attached
A boundary survey and site plan of the proposed and/or existing development, of the particular parcel or parcels affected. (See attached survey standards checklist). The survey must be submitted under the seal of an Alaska registered professional land surveyor.	<input checked="" type="checkbox"/>
Structural elevation drawing(s) for the purpose of indicating the proposed height and bulk, view and other dimensions of the subject structure.	<input checked="" type="checkbox"/>

In order to grant a variance from MSB Title 17, the Planning Commission must find that each of the following requirements has been met (17.65.020). Explain how the request meets each requirement. Include information such as physical surroundings, shape or topographical conditions of the property which would support the granting of a variance.	Attached X
1. What unusual conditions or circumstances apply to the property for which the variance is sought?	X
2. How the strict application of the provisions of this title will deprive you of the rights commonly enjoyed by other properties under the terms of this title.	X
3. Why the granting of the variance will not be injurious to nearby property, nor harmful to the public welfare.	X
4. How will the granting of the variance be in harmony with the objectives of this title and any applicable comprehensive plans?	X
5. How the deviation from the requirements of this title as permitted by the variance will be no more than is necessary to permit a reasonable use of the property.	X

A variance may <u>not</u> be granted if any of the conditions listed below are true. Explain why each condition is <u>not</u> applicable to this application.	Attached
1. The special conditions that require the variance are caused by the person seeking the variance.	X
2. The variance will permit a land use in a district in which that use is prohibited.	X
3. The variance is sought solely to relieve pecuniary hardship or inconvenience.	X

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax parcel ID #(s) 62580001004 and,
I hereby apply for approval a setback variance on that property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.55 and MSB 17.65 and with all other applicable borough, state or federal laws.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

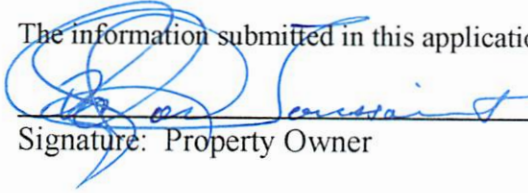
I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I understand that this permit and zoning status may transfer to subsequent owners of this land and that it is my responsibility to disclose the requirements of this status to the buyer when I sell the land.

I understand that changes from the approved variance may require further authorization by the Borough Planning Commission. I understand that failure to provide applicable documentation of compliance with approved requirements, or violation of such requirements will nullify legal status, and may result in penalties.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.


Signature: Property Owner

Richard Toussaint
Printed Name

4/5/21
Date

Signature: Agent

Printed Name

Date

Letter of Authorization

APR - 5 2021

Received

This letter authorizes Gary LoRusso of Keystone Surveying & Mapping to be a Contact for Application in order to assist me in processing my Application for a Variance for Lot 4 Addition to the Randall Subdivision located at 3874 S. Wolverine Drive in Big Lake AK. Gary's contact information is contained in my Application.

If you need additional information or authorization, please contact me.

Sincerely,



Richard Toussaint, Owner

303/229-3171

APR - 5 2021

Received

VARIANCE APPLICATION DESCRIPTION AND REASONS WHY A VARIANCE IS REQUIRED

This is an Application for a variance from two setbacks in order to allow the construction of a cabin.

I am applying for this Variance because the standard setbacks as applied to Lot 4 of the Addition to the Randall Subdivision do not allow for reasonable use of the property. We are seeking to construct a cabin behind the existing garage. Neither structure will be particularly large. The proposed cabin will be 29' X 32'. The existing garage is 26' X 36'. Lot 4 is quite narrow, as are most of the lots in this part of this Subdivision. There is a 30' public right of way that borders the Lot on the entire east side. Given the requirement of a 25' setback from that right of way the lot is too narrow to legally accommodate the cabin or the garage. Please see the attached drawing. In addition, the 75' setback from Fish Creek cannot be met on the south east corner of the cabin due to the creek edge jutting north on the property just east of the subject Lot. Again, please see the drawing. The house has been located up and away from Fish Creek as far as is practical, but the SE corner falls within the setback.

The cabin is for our family use especially in the summer. The garage was built in 1974 and has been and will be used to protect furniture, equipment and other personal property, since we will not be residing in the cabin full time. If the lot would accommodate the cabin and garage within the normal setbacks, a variance would not be required nor requested.

APR 12 2021

REQUIREMENTS

Received

1. UNUSUAL CONDITIONS

The lots within this portion of the Addition to the Randall Subdivision are very narrow causing issues for setbacks for many owners. Lot 4 of the Addition to the Randall Subdivision is quite narrow and has a public right of way running along its entire eastern border. Although this public access has not been used for many years, and has trees and bushes grown up at both ends, this variance will not affect future use by the public. The 25 foot set back from this right of way makes the buildable portion of the lot extremely narrow.

The other unusual condition is that the water line of Fish Creek just east of Lot 4 juts several feet to the north, creating difficulties to construct a cabin 75 feet away from the water's edge.

The attached drawing graphically demonstrates these conditions.

2. DEPRIVATION OF COMMON RIGHTS

The Big Lake area is a wonderful place for recreation, and second homes. People from all over Alaska enjoy their properties and homes as well as the surrounding amenities offered in the Mat-Su valley. Unfortunately, since many cabins are not used full time, personal property needs to be stored properly in buildings such as garages in order that such property remains at the Lot and is not vandalized or damaged. The strict application of the setbacks will prevent our family from constructing a modest cabin. Such a cabin, along with the existing garage, is an ideal place from which my family can enjoy this beautiful area and still protect our property when it is not in use.

The strict application of Title 17 to Lot 4 of the Addition to the Randall Subdivision, as currently situated, virtually eliminates the possibility of a lake cabin on the lot. We are seeking to build a 2 story cabin with approximately 1500 square feet which we will use along with the existing garage as a parttime residence. The setbacks from the public right of way, and from Fish Creek, and

the needed existing garage, create an unworkable footprint for the construction of such a cabin on Lot 4.

3. NONINJURIOUS TO NEARBY PROPERTY

The construction of a cabin on Lot 4 of the Addition to the Randall Subdivision will not cause injury to surrounding properties. No view from neighboring properties will be blocked or impeded. Lot 3 to the south of Lot 4 (and adjoining the public access on south side of the road) is not built upon and is used as a buffer lot for the residence located on Lot 2. Their view is to the south and to the west. Lot 5 to the north has a small one story cabin with a view to the north and to west (toward the lake). There are no homes to the north of South Wolverine Drive. Currently, all of that property is used for boat and RV storage. Neighbors across Fish Creek will be able to enjoy their views of the creek with the only real difference being a cabin in front of the existing garage.

The driveway to the property already exists so no new driveway cut is required. Lot 4 is being developed as a parttime residence so there should be no discernable amount of additional traffic on South Wolverine Drive which dead ends approximately 50 feet east of Lot 4.

The cabin will be built by a licensed reputable contractor located in the Mat-Su Valley. All land use and building codes will be followed and only new building materials will be used. The cabin is being designed to fit in with its surroundings (please see the elevation drawings).

4. VARIANCE WILL BE HARMONIOUS WITH LAND USE

Title 17 and the Big Lake Comprehensive Plan stress the public interest and environmental protection while being respectful of the of the rights of property owners. This variance will not damage nor diminish those objectives and will attempt to help fulfill them.

The Big Lake Comprehensive Plan anticipates the development of a recreational and residential community. The goals of the Big Lake Comprehensive Plan include strengthening the Big Lake Economy, providing for the freedom to enjoy our properties, protecting Big Lake for the future, and protecting the Natural

environment. The granting of this variance will further all of these goals. The Big Lake economy depends heavily upon the residents and visitors to the area, and the further development of this lot will bring additional commerce to the area. Obviously, allowing a cabin to be built on Lot 4 will add immensely to the enjoyment of the property. Protecting the Big Lake area and the natural environment are extremely important to us. We are developing this lot in such a way as to not cause degradation to the area including the Lake, the neighborhood, and the Natural environment. We are limiting the size of the development to fit the lot. Water quality will be protected by a modern individual sewage disposal system and use of an existing well. The leach field is located at the east end of Lot 4, as far from the water's edge as possible. We will control any erosion during and after the construction. The lot is quite flat so this Variance will not increase erosion during construction or occupation on the lot. Please review the attached site drawing. We will use natural gas and electricity to heat and power the buildings in order to reduce air pollution. The lot has a beautiful shoreline including natural vegetation which will be maintained and enhanced. We anticipate only miniscule impact on both the dark skies and the noise pollution in the area. If this Variance is granted there will be minimal impact to the surroundings or on the area water bodies.

The requirement to stay 75 feet from the high water mark is based on both aesthetic and conservation principles: Aesthetically, requiring houses and structures away from water's edge gives a better view from the water and from the air. It also helps preserve the look of an undisturbed Alaskan body of water. The 75 foot setback requirement also helps maintain water quality by keeping erosion or other human disturbances and wastes out of the water. The application requests a reduction for just a portion of the cabin from the point where the high water line of Fish Creek juts into the adjoining property to the east (downstream). It must be noted that this reduction in the setback from Fish Creek will not negatively change the aesthetic appeal from the water or the air if the 75 foot requirement is adjusted in this case. Fish Creek curves as it snakes to the dam making an appealing idyllic scene. Houses line Fish Creek and the pleasant views will remain if the Variance is granted.

The requirement to stay 25 feet from public rights of way can have many benefits including aesthetics, safety and ease of use. This right of way is not currently utilized by the public due to its location on a dead end road without easy access

to the water due to trees and bushes. Also, there are many other nearby public access points including a public park which includes parking, permanent structures and amenities, as well as easy access to the creek for water sports. Given its location and lack of use there are no safety concerns that will be jeopardized by a decrease of part of the 25 foot setback. The aesthetics will not change regardless if the setback is 25 feet or less. The current driveway is located in part of the setback and will remain there to serve Lot 4. It is likely that the aesthetics will be improved by landscaping once a cabin is built. It is important to note that the 30 foot right of way will remain unchanged and useable by the Public even if this Variance is granted.

5. THE REQUESTED VARIANCE IS NO MORE THAN NECESSARY

The requested variance is required to allow us to construct the reasonably sized cabin in a compact building footprint. The cabin is modest, and we are not seeking extra space for “possible” future development. The cabin is designed to be a basic single family dwelling focused on seasonal use. We have tried various building footprints that would allow us to have a reasonable parttime residence with protective storage in the garage. In order to minimize the size of the building footprint we have chosen a 2 story design. Given our ages and health conditions, the main floor needs to have a bedroom with bathroom. The building configuration could allow a total square footage of 1856 square feet, but we anticipate making the useable square footage substantially smaller. Please see the elevation drawings which depict our current plans. The interior design is not finished.

The ten to eleven foot space between the garage and the cabin was designed for life safety reasons in case of fire. A sufficient buffer allows safe egress from the bedrooms, creates a fire break, and gives fire fighters room to work if only one of the buildings is involved. Arguably, if the width of this buffer was reduced, and the cabin was constructed closer to the garage, then a smaller variance could be requested, but we do not feel that would be as safe as the buffer as designed.

An open air, wooden deck is planned along the creekside (west side) of the building. Currently we anticipate the deck to run along the 28 feet length of the west wall, and extend approximately 8 feet to the west.

INAPPLICABLE CONDITIONS

CAUSE

The Applicant has not caused any of the conditions that require the variance. Applicant purchased the property in February 2021. The public access was created by the plat decades ago. The high water line is a natural phenomenon based upon water flow in Fish Creek since it was dammed by the Federal government.

USE IS NOT PROHIBITED

This variance seeks to allow the construction of a single family residence within a platted residential lot which is zoned for such a use. Single family residences surround the subject property and are the norm in this area.

REASONS FOR THIS VARIANCE

This variance is sought solely to allow the construction of a family cabin. The Applicant is not attempting to be relieved of any pecuniary hardship or inconvenience.

Matanuska-Susitna Borough
Development Services

APR 12 2021

Received



HALL QUALITY HOMES

(907) 746-2757

THE -TOUSSAINT-
L 4, Randall Subdivision

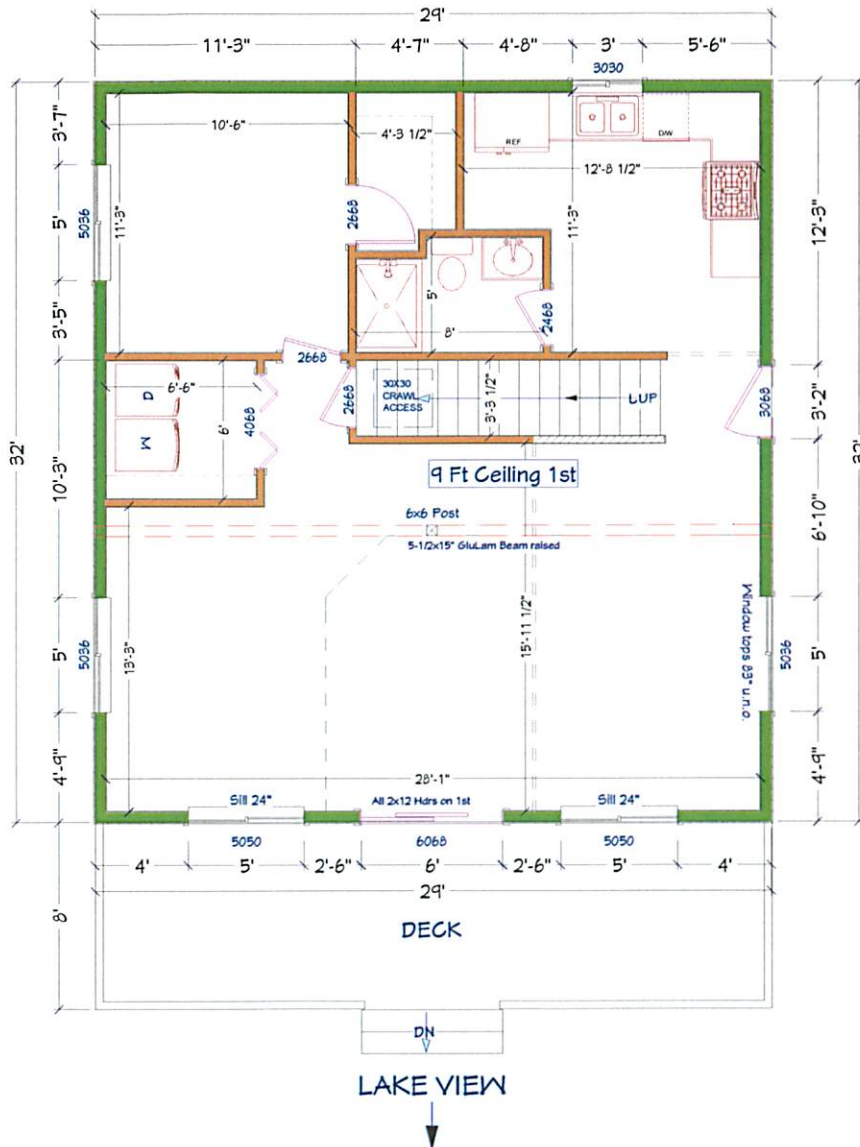
1623 SQ. FT. LIVING
0- SQ. FT. GARAGE

Drawn By:
HQH
Scale:
As Noted

1

12:11:38
4/6/2021

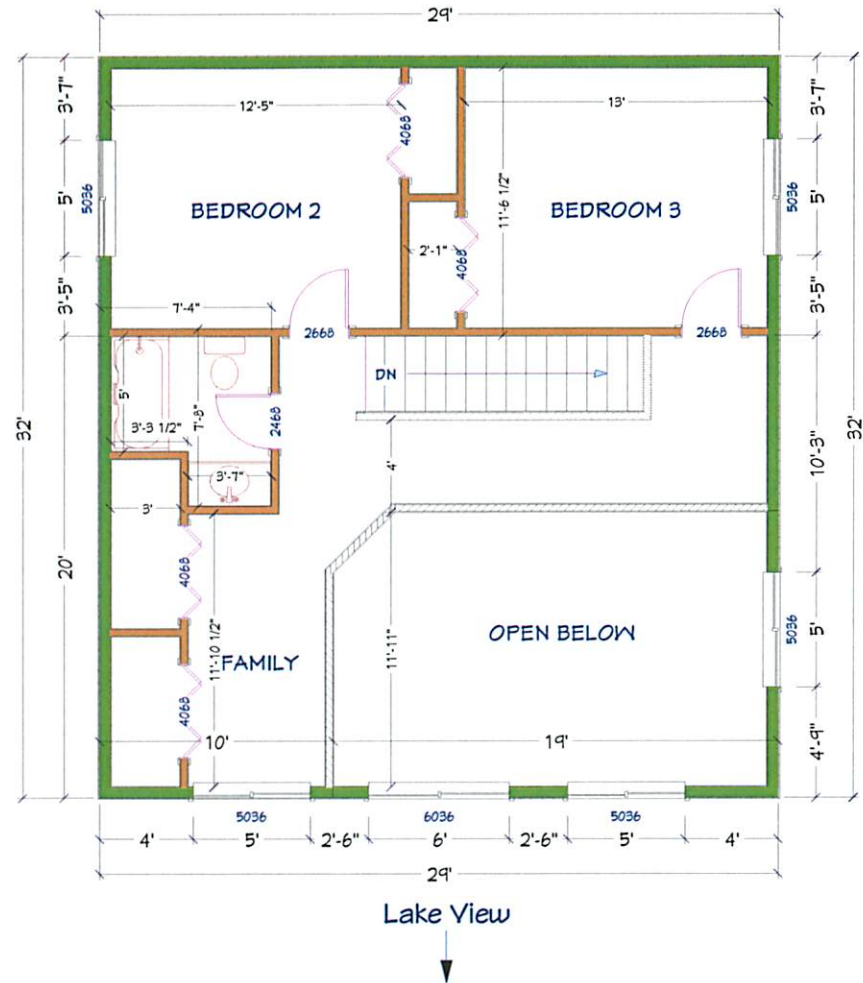
NOT FOR CONSTRUCTION



FIRST FLOOR PLAN

Scale: 1/8" on 8.5x11 & 1/4" on 18x24

928 SF LIVING



SECOND FLOOR PLAN

Scale: 1/8" on 8.5x11 & 1/4" on 18x24

695 SF LIVING

NOT FOR CONSTRUCTION



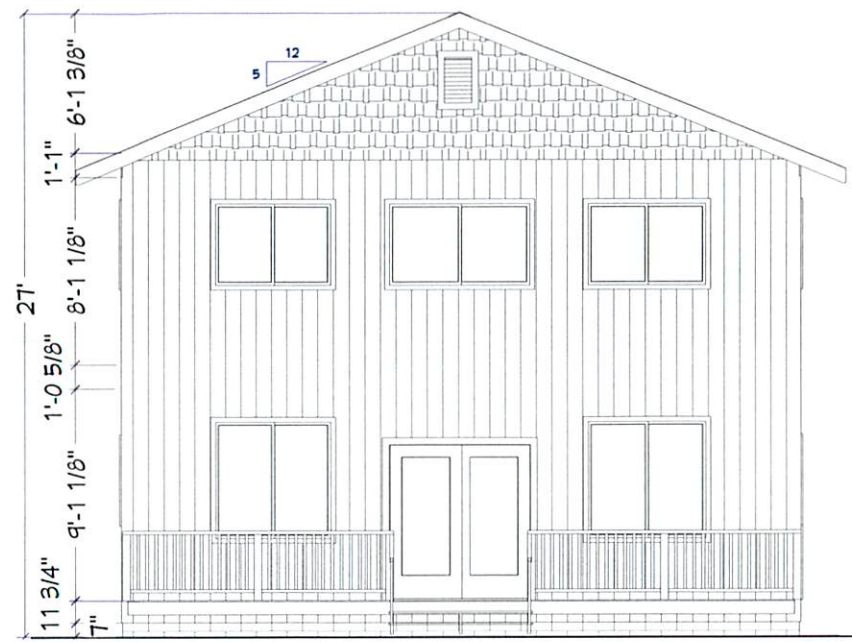
HALL QUALITY HOMES
(907) 746-2757

THE -TOUSSAINT-
L 4, Randall Subdivision

1623 SQ. FT. LIVING
0- SQ. FT. GARAGE

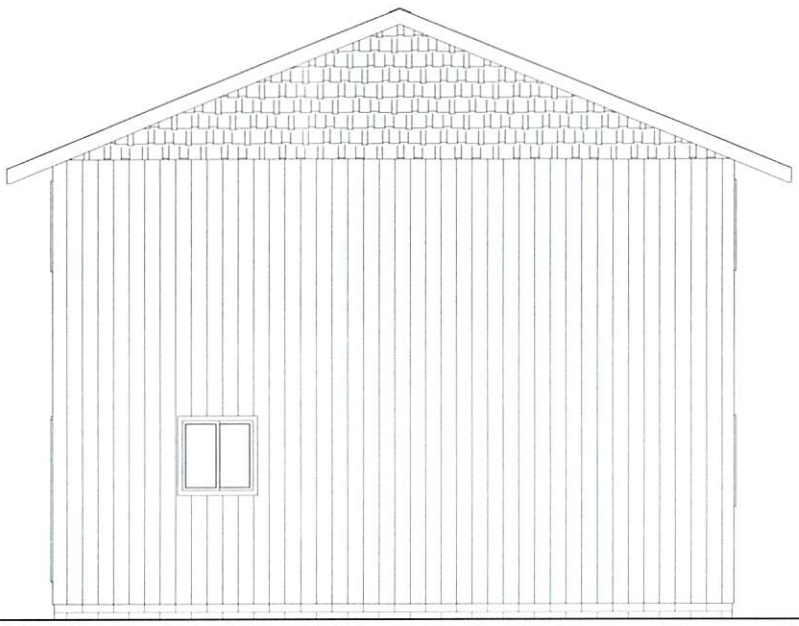
Drawn By:
HQH
Scale:
As Noted

3
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4/6/2021



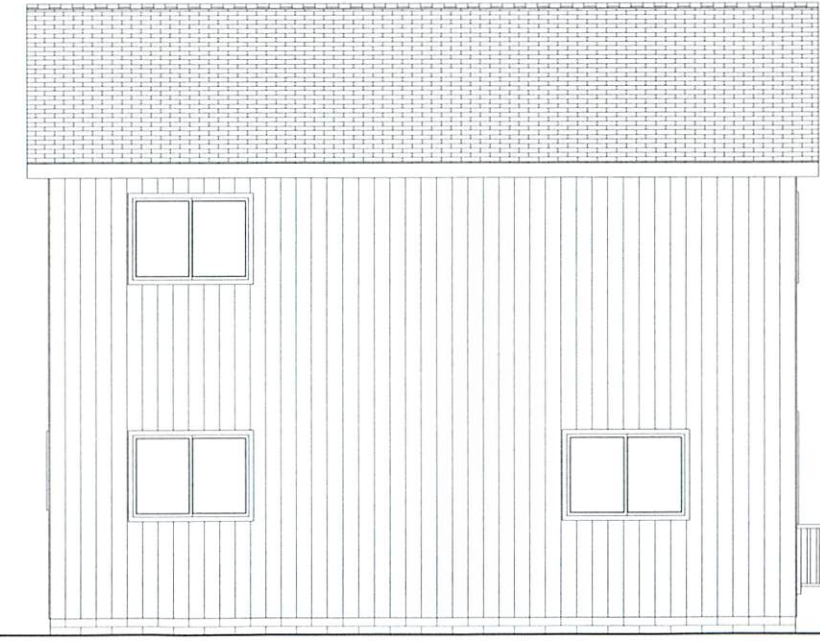
FRONT ELEVATION - Lake View

SCALE: 1/8" = 1'-0"



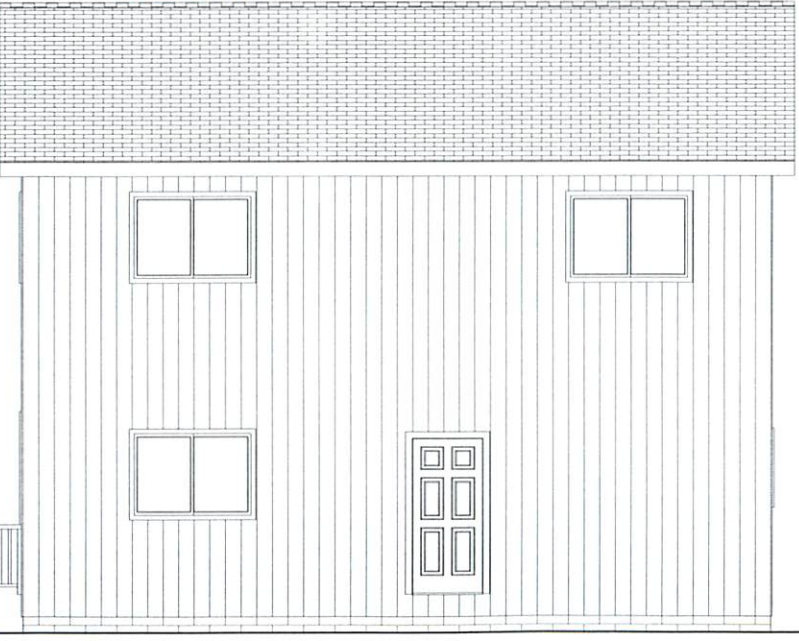
REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

NOT FOR CONSTRUCTION



HALL QUALITY HOMES
(907) 746-2757

THE -TOUSSAINT-
L 4, Randall Subdivision

1623 SQ. FT. LIVING
0- SQ. FT. GARAGE

Drawn By:
HQH
Scale:
As Noted

4

12:11:39
4/6/2021

NOT FOR CONSTRUCTION



HALL QUALITY HOMES
 (907) 746-2757

THE -TOUSSAINT-
 L 4, Randall Subdivision

1623 SQ. FT. LIVING
 0- SQ. FT. GARAGE

Drawn By:
 HQH
 Scale:
 As Noted

5

12:11:39
 4/6/2021

NOT FOR CONSTRUCTION



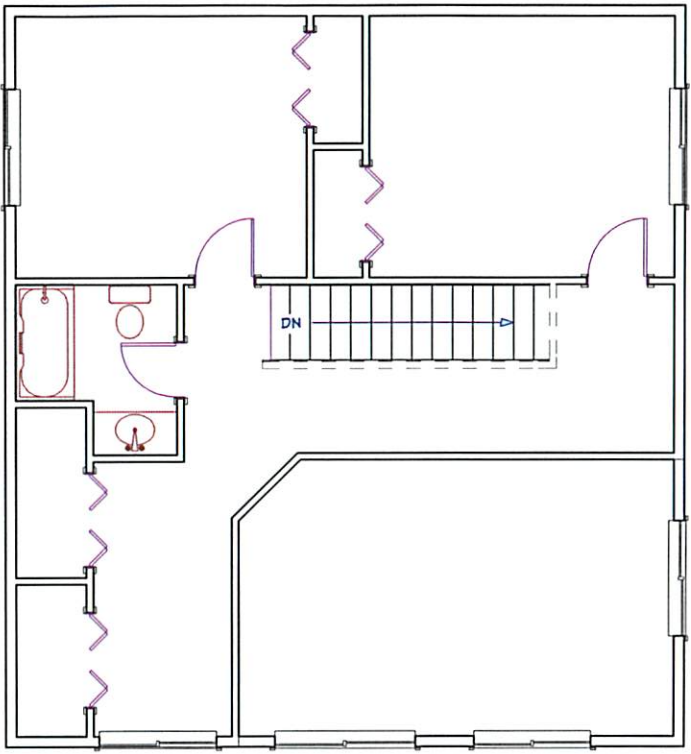
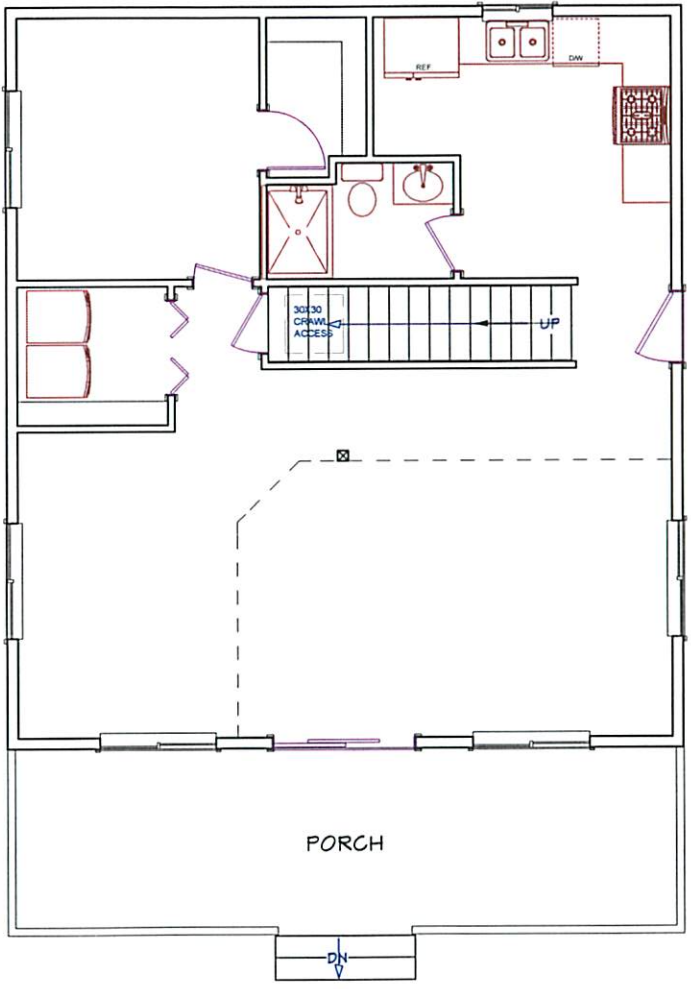
HALL QUALITY HOMES
(907) 746-2757

THE -TOUSSAINT-
L 4, Randall Subdivision

1623 SQ. FT. LIVING
0- SQ. FT. GARAGE

Drawn By:
HQH
Scale:
As Noted

6
12:11:39
4/6/2021



NOT FOR CONSTRUCTION



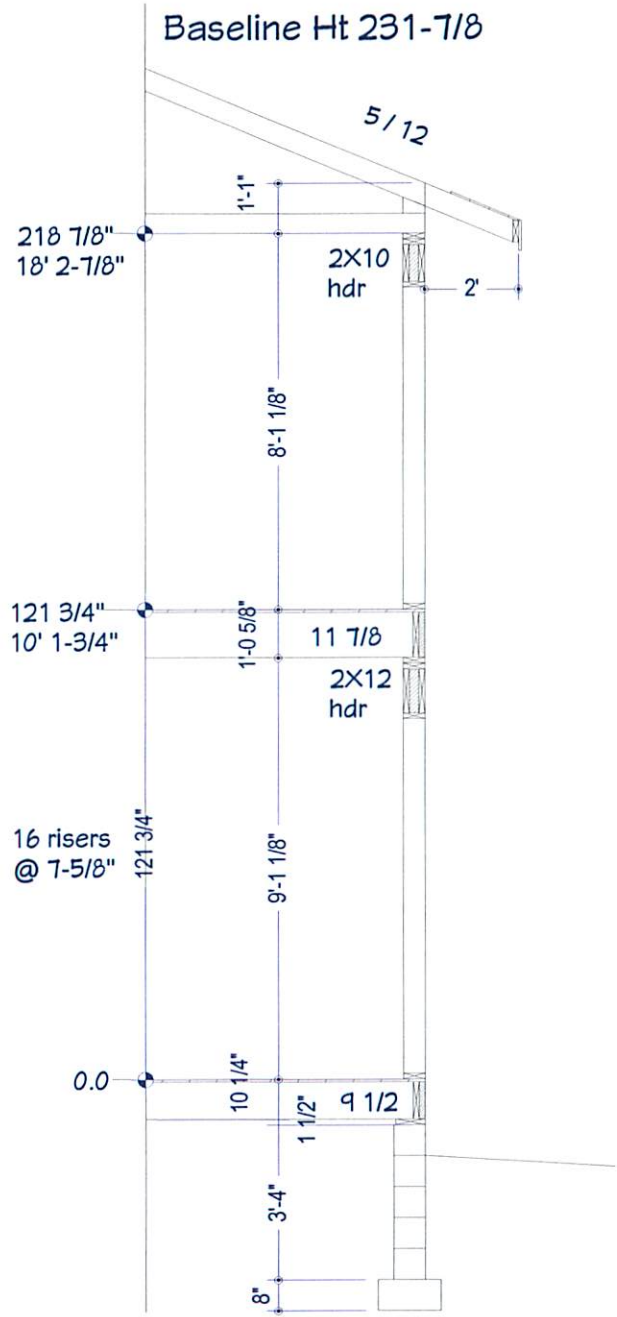
HALL QUALITY HOMES
(907) 746-2757

THE -TOUSSANT-
L 4, Randall Subdivision

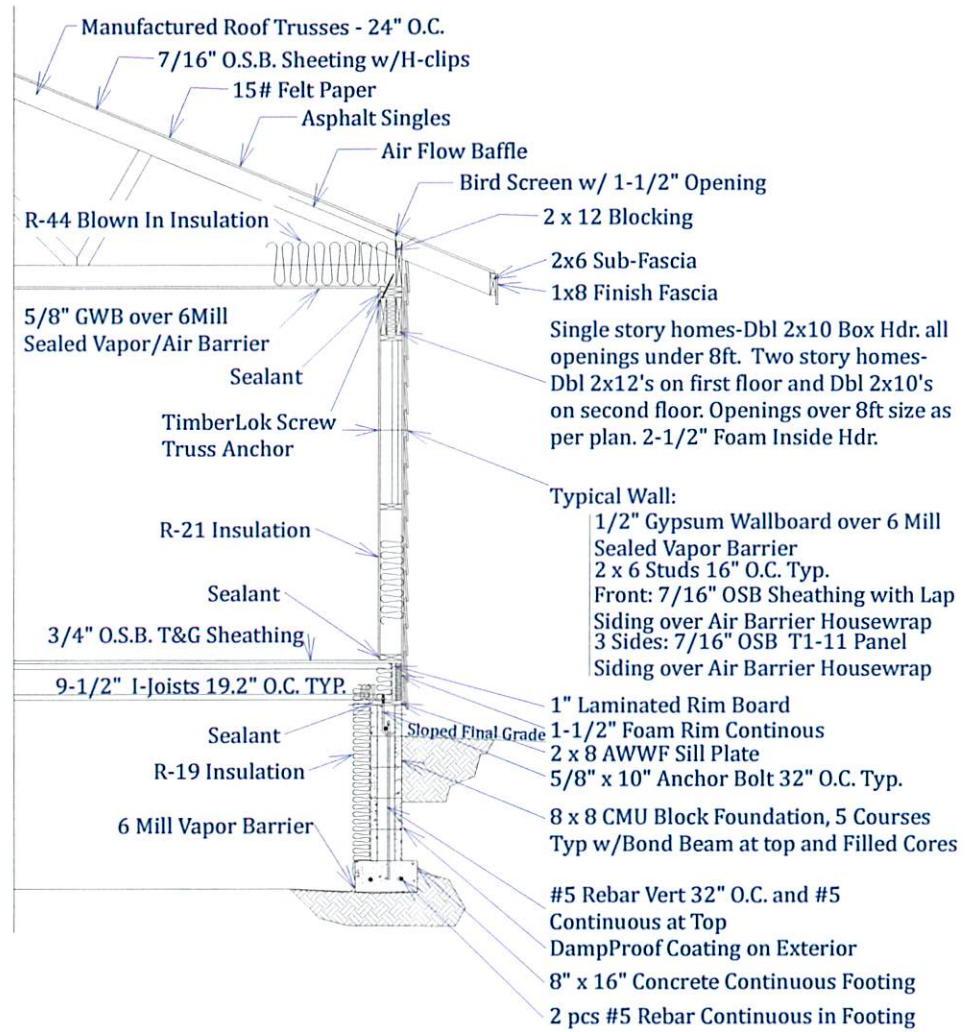
1623 SQ. FT. LIVING
0- SQ. FT. GARAGE

Drawn By:
HQH
Scale:
As Noted

7
12:11:40
4/6/2021



2 Story w/ 9' ceiling on
1st & 11-7/8 joist on 2nd

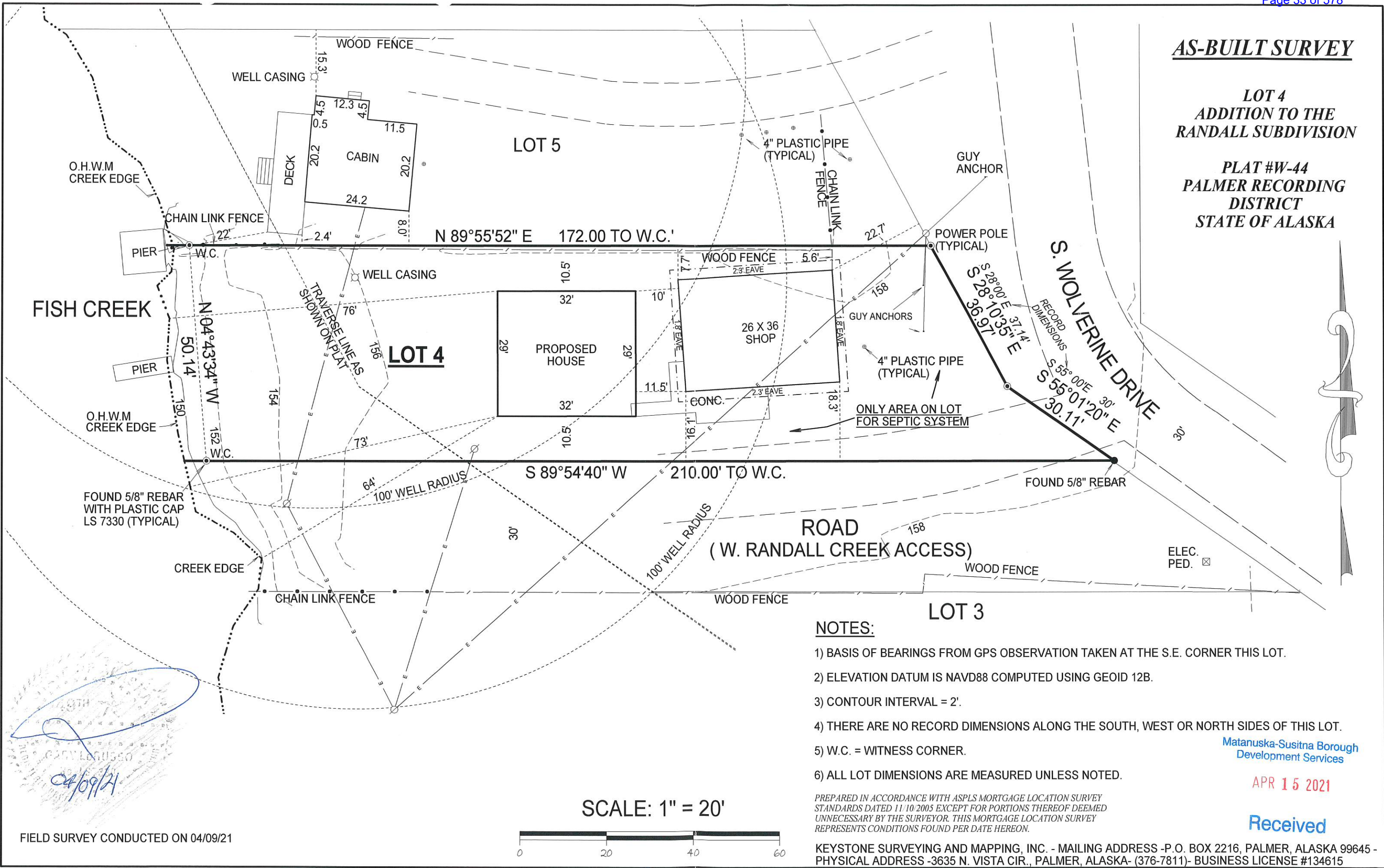


NOT FOR CONSTRUCTION

AS-BUILT SURVEY

**LOT 4
ADDITION TO THE
RANDALL SUBDIVISION**

**PLAT #W-44
PALMER RECORDING
DISTRICT
STATE OF ALASKA**



FIELD SURVEY CONDUCTED ON 04/09/21

SCALE: 1" = 20'



Matanuska-Susitna Borough
Development Services

APR 15 2021

Received

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PUBLIC HEARING QUASI- JUDICIAL

Resolution No. PC 21-14

UMIAQ Environmental, on behalf of
Colaska, Inc. (dba QAP)

(Pages 35-572)

PUBLIC HEARING



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-7876

www.matsugov.us

DEVELOPMENT SERVICES DIVISION STAFF REPORT

Date: July 8, 2021

File Number: 173020210002

Applicant: UMIAQ Environmental, on behalf of Colaska (dba QAP)

Property Owner: Alaska Mental Health Trust Authority

Request: Planning Commission Resolution 21-14 & 21-19
Request for Earth Materials Extraction Conditional Use Permit in accordance with MSB Chapter 17.30 – Conditional Use Permit (CUP) for Earth Materials Extraction Activities

Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian

Size of Property: 160 acres

Size of Mining Site: Approximately 105 acres

Reviewed By: Jason Ortiz, Development Services Manager *J.O.*

Staff: Mark Whisenhunt, Planner II *MW*

Staff Recommendation: Denial

EXECUTIVE SUMMARY

The Conditional Use Permit will allow for the removal of approximately 2,000,000 cubic yards. The permit application has been submitted on the above referenced parcel where earth material removal is proposed to supply gravel for local road projects. The application specifically requests to remove approximately 2,000,000 cubic yards of material from a 105-acre mining area within the previously mentioned parcel, which is 160 acres in size. Mining is expected to end in 2041.

A Conditional Use Permit for material extraction is required under MSB 17.30 – Conditional Use Permit (CUP) for Earth Materials Extraction Activities. The subject parcel is located in Assembly District 7 and within the Meadow Lakes Community Council planning boundary.

LAND USE

Existing Land Use:

The subject parcel is 160 acres in size and is heavily forested land with no development within its boundaries. The parcel also contains wetlands, which bisect the northern two-thirds of the parcel from the southern one-third. Historical data indicates an unnamed stream travels through the wetlands. However, data from 2011 does not show a stream on the parcel. Staff did not observe a stream during a June 28, 2021 site visit.

Surrounding Land Uses:

Lands to the north, east, and south are developed with single-family homes. The lots to the north, east, and south range in size from .17 acres to 20 acres. However, most lots are one to five acres in size. A subdivision to the west is developed with singled family homes. The lots range from three to six acres. Eight lots within this subdivision have direct access to an airstrip. Lands to the west/northwest are sandwiched between the Parks Highway and Sylvan Road. These lands are developed with commercial and industrial uses such as, a truss plant, storage facilities, and restaurants. Lands to the north, which abut the Parks Highway, are primarily commercial. A private charter school occupies a portion of a commercial building located at the intersection of Sylvan Road and the Parks Highway.

REVIEW OF APPLICABLE CRITERIA AND FINDINGS

MSB 17.03 – Public Notification

Notices were mailed to all property owners within a half-mile radius of the property and to the Meadow Lakes Community Council (MLCC). A total of 271 notices were mailed on May 14, 2021. The permit application notification was published in the May 14, 2021 issue of the Frontiersman newspaper. The application material was posted on the Borough website for public review on May 12, 2021. A request for comments was emailed to the MLCC on May 12, 2021.

The Meadow Lakes Community Council submitted a letter in opposition to the proposed used. The letter stated the proposed use is “in contradiction to major articles of the Meadow Lakes Comprehensive Plan.” It also notes concerns with the traffic associated with the proposed use and potential negative impacts to the adjacent residential homes.

Three comments from the public were in general support of the proposed use. Staff received 134 comments from the public in opposition to the proposed use. Their concerns in general are:

- Close proximity to residential homes
- Conflicting use with existing residential homes
- Inconsistent with Meadow Lake Comprehensive Plan
- Traffic danger to pedestrians / children / school bus stops
- Sylvan Road is too small (no shoulders or turn lanes) to accommodate proposed traffic

- Sylvan Road, Parks Highway intersection poorly accommodates current traffic load, additional traffic from proposed will make it even worse.
- Negative health impact on local residents due to excessive noise, dust, fumes and odor
- Negative impact on land sales/property values
- Does not meet standards of MSC 17.30.060
- Potential negative impact to neighboring wells and septic systems
- Negative environmental impact (loss of habitat)
- Negative effect on local businesses due to large amount (1,000 trips per day) truck traffic
- Lack of reclamation of old gravel pits by QAP
- Proposed 24-hour operation having a negative mental health impact on neighbors
- 10-foot tall earthen berms are insufficient noise barriers
- Will cause additional noise and air pollution
- An Environment Impact Study (EIS) should be completed to assess full impact

The MSB Operations and Maintenance Division Manager provided comments, which expressed concerns about potential damage to the road due the high volume and weight of the loaded trucks from the proposed use. The MSB Operations and Maintenance Division Manager suggested establishing a service area tax for the subject parcel to pay for repair and maintenance of Sylvan Road.

17.30.055 REQUIRED COMPLIANCE WITH STATE AND FEDERAL LAWS.

(A) All applicants for permit for earth material extraction are required to demonstrate compliance with state and federal law. Prior to final approval of the permit, the applicant or agent shall provide written documentation of compliance with the following:

- (1) mining license as required by the Alaska State Department of Revenue, pursuant to A.S. 42.65;*
- (2) mining permit as required by the Alaska State Department of Natural Resources (ADNR) if extraction activities are to take place on state land;*
- (3) reclamation plan as required by ADNR, pursuant to A.S. 27.19;*
- (4) notice of intent for construction general permit or multi-sector general permit and storm water pollution prevention plan, and other associated permits or plans required by the Department of Environmental Conservation (DEC) pursuant to the Alaska Pollutant Discharge Elimination System (APDES) requirements; and*
- (5) United States Army Corps of Engineers permit pursuant to Section 404 of the Clean Water Act, 33 U.S.C. 1344, if material extraction activity is to take place within wetlands, lakes and streams.*

Findings of Fact:

1. An Alaska State Department of Revenue mining license is not required for this application because Alaska law was amended in 2012; rock, sand and gravel quarries are now exempt from the requirement.
2. According to the applicant, an application for an Alaska State Department of Natural Resources (ADNR) mining permit has been submitted to the State.
3. A copy of the reclamation plan and bond as required by ADNR is been provided.
4. According to the application material, a Storm Water Pollution Prevention Plan (SWPPP) will be developed prior to beginning operations.

5. A United States Army Corps of Engineers permit pursuant to Section 404 of the Clean Water Act is not required for the proposed mining activities.

Conclusion of Law: The State Mining Permit, Storm Water Pollution Prevention Plan (SWPPP), and notice of intent (NOI) for construction general permit as required Department of Environmental Conservation (DEC) pursuant to the Alaska Pollutant Discharge Elimination System (APDES) requirements must still be provided (MSB 17.30.055(A)).

Section 17.30.060 General Standards for Approval

(A) In granting a conditional use permit, the commission must make the following findings:

(1) that the use is not inconsistent with the applicable comprehensive plan;

Findings of Fact:

1. The subject parcel is located within the Meadow Lakes Community Council boundaries and is subject to the Meadow Lakes Comprehensive Plan.
2. The Matanuska-Susitna Borough Comprehensive Development Plan (2005) applies to all parcels within the Matanuska-Susitna Borough.
3. Land Use Goal Three of the Meadow Lakes Comprehensive Plan states: “Create a Pedestrian-Oriented, Mixed-Use Town Center. A town center was established as a clear priority for the community during both the workshops and survey. Desired uses in the town center include public spaces to meet friends and neighbors, venues for events and community meetings, and commercial services like a bank, Post Office, grocery, restaurants. A successful town center can improve resident quality of life, attract spending from people traveling through the community, and help develop a stronger, positive image for Meadow Lakes.”
4. Land Use Goal Four of the Meadow Lakes Comprehensive Plan states: “The community wants to maintain the natural, rural character of the community, and to protect the quality of residential neighborhoods. At the same time, the community recognizes the value of creating opportunities for employment, and increasing the local tax base, for example, through sand and gravel extraction. The balance point between these goals is to accept economic development activities, but also to establish rules to minimize the off-site impacts of such activities. This goal focuses on uses with significant impacts, such as large-scale resource development like coal-bed methane and gravel extraction, but also is intended to limit impacts of more modest uses such as auto storage/junk yards.
5. Meadow Lakes Comprehensive Plan outlines "Standards for commercial, industrial or other development with significant off-site impacts (for uses ranging from large scale sand and gravel operations to smaller-scale commercial)."
6. One development standard within the Meadow Lakes Comprehensive Plan states: “Impacts On Environment – Activities creating off site impacts on surface and subsurface water quality and quantity, and air quality are not permitted.”
7. Meadow Lakes Comprehensive Plan identifies discouraged uses within Town Center Pedestrian Core. It states: “Uses that disrupt opportunities to create a pedestrian-oriented commercial district. Uses that deaden a town center include large parcels devoted to a single function, e.g., large scale industrial activities, auto sales, storage, junkyards, big box retail stores.”

8. Meadow Lakes Comprehensive Plan identifies the overall objective for the Town Center. It states “Desired uses in the town center include comfortable public spaces to meet friends and neighbors; space for events, community activities and a range of commercial uses; and higher density housing.
9. Meadow Lakes Comprehensive Plan identifies the overall objective for the Town Center. It states: “The town center will have two sub-districts: The core area is intended to be a pedestrian-oriented district, with relatively high density mixed use development, in the spirit of traditional American main streets. Surrounding the core area will be a more spread out commercial and industrial district, providing space for uses that require larger buildings, larger parking lots, and a more auto-oriented character.”
10. Meadow Lakes Comprehensive Plan identifies the overall objective for the Town Center. It states: “The town center is intended to serve as an amenity and convenience to Meadow Lake residents, be a profitable place for local businesses, provide an attractive destination for visitors, and help build a positive image for Meadow Lakes.”
11. Meadow Lakes Comprehensive Plan, in multiple locations, identifies the need and priority to maintain the quality of surface and drinking water within the community.
12. Goal LU-1 of the Matanuska Susitna Borough Comprehensive Development Plan states: “Protect and enhance the public safety, health, and welfare of Borough residents.”
13. Policy LU1-1 of the Matanuska Susitna Borough Comprehensive Development Plan states: “Provide for consistent, compatible, effective, and efficient development within the Borough.”
14. Goal LU-2 of the Matanuska Susitna Borough Comprehensive Development Plan states: “Protect residential neighborhoods and associated property values.”
15. Policy LU2-1 of the Matanuska Susitna Borough Comprehensive Development Plan states: “Develop and implement regulations that protect residential development by separating incompatible uses, while encouraging uses that support such residential uses including office, commercial and other mixed-use developments that are shown to have positive cumulative impacts to the neighborhood.”
16. According to Rutgers Noise Technical Assistance Center, heavy trucks produce approximately 90 decibels (dB) when operating, which falls in the “very loud” category.
17. According to Rutgers Noise Technical Assistance Center, a quiet to noisy home produces sound around 30-60 decibels (dB), which falls in the “faint” and “moderate” categories.
18. MSB 8.52.010(A) declares: “Loud noise and amplified sounds have an adverse effect on the psychological and physiological well-being of persons.”
19. Earth material extraction activities are an industrial use that can cause excessive noise, dust, and heavy truck traffic.
20. According to the application material, the proposed use may operate 24 hours a day.
21. According to the application material, the proposed use may produce up to 1,000 vehicle trips per day.
22. According to the application material, the proposed buffer will be 25 feet of vegetation with a 10-foot tall earthen berm between the mining area and the north and east lot lines. The 10-foot tall earthen berm will abut the section line easement to the west and south.

23. According to the traffic control plan, primary access will be directly across from Marigold Drive, which appears to eliminate a portion of the earthen berm.
24. The closest residential structures from the primary access are approximately 25 and 40 feet to the north.
25. Established quiet residential neighborhoods abut the proposed use to the north, south, east, and west.
26. Lands to the north, east, and south are developed with single-family homes. The lots to the north, east, and south range in size from .17 acres to 20 acres. However, most lots are one to five acres in size.
27. A subdivision to the west is developed with singled family homes. The lots range from three to six acres. Eight lots within this subdivision have direct access to an airstrip.
28. Lands to the west/northwest are sandwiched between the Parks Highway and Sylvan Road. These lands are developed with commercial and industrial uses such as, a truss plant, storage facilities, and restaurants.
29. Lands to the north, which abut the Parks Highway, are primarily commercial. A private charter school occupies a portion of a commercial building located at the intersection of Sylvan Road and the Parks Highway.
30. Production of sound levels, such as 90 decibels (dB) adjacent to a quiet neighborhood would have an adverse impact to its residents.
31. The proposed noise mitigation measures will likely be ineffective in protecting the adjacent residential homes and residential homes along Sylvan Road.
32. Alaska Department of Environmental Conservation has produced a user manual of best management practices to protect surface water and groundwater quality in Alaska.
33. Alaska Department of Environmental Conservation Best Management Practices Manual states: “DEC has established drinking water protection areas and recommended buffer zones for public water system (PWS) sources, which can be found at <http://dec.alaska.gov/das/GIS/apps.htm>. There are also PWS sources for which drinking water protection areas have not yet been delineated. For those PWS sources, it is recommended that the buffer zone be considered a 1,000-foot radius around the source area. It is recommended that excavation limits be restricted to areas outside any PWS source buffer zone. Equipment storage, maintenance, and operation should be as limited as possible within designated buffer zones, and appropriate BMPs should be used to prevent water contamination (see Chapter 6).”
34. Alaska Department of Environmental Conservation Best Management Practices Manual states in part: “Some of the best ways to prevent mining impacts to surface and groundwater quality are to maintain distance between mining operations and the water to be protected, and to monitor water quality. This chapter presents recommended setbacks for mining operations from public water system (PWS) source areas, surface water bodies, and the groundwater table. Where proposed mining is closer to these waters than the recommended setbacks, it is recommended that a detailed hydrogeologic study be performed by a qualified person to evaluate potential impacts and design effective mitigation alternatives.”
35. The proposed use is within the “protection area” for a community drinking water well.

36. A detailed hydrogeologic study to mine within the “protection area” has not been provided.
37. The applicant has not proposed to monitor the water quality.

Discussion: The Meadow Lakes Comprehensive Plan does identify four broad operating standards for “Commercial Sand And Gravel Extraction.” The plan drafted these standards prior to the Borough’s adoption of the Conditional Use Permit standards. Subsequently, the Borough adopted higher, more detailed standards, which are the subject of this report.

The ADEC Best Management Practices Manual mentions drinking water “protection areas.” The protection areas are also referred to as “buffer zones” and “recommended setbacks” for public water systems and the groundwater table.

Conclusion of Law: Based on the above findings, the proposed use is inconsistent with the applicable comprehensive plans (MSB 17.30.060(A)(1)).

(2) that the use will preserve the value, spirit, character, and integrity of the surrounding area;

Findings of Fact:

1. According to Rutgers Noise Technical Assistance Center, heavy trucks produce approximately 90 decibels (dB) when operating, which falls in the “very loud” category.
2. According to Rutgers Noise Technical Assistance Center, a quiet to noisy home produces sound around 30-60 decibels (dB), which falls in the “faint” and “moderate” categories.
3. MSB 8.52.010(A) declares: “Loud noise and amplified sounds have an adverse effect on the psychological and physiological well-being of persons.”
4. Earth material extraction activities are an industrial use that can cause excessive noise, dust, and heavy truck traffic.
5. According to the application material, the proposed use may operate 24 hours a day.
6. According to the application material, the proposed use may produce up to 1,000 vehicle trips per day.
7. According to the application material, the proposed buffer will be 25 feet of vegetation with a 10-foot tall earthen berm between the mining area and the north and east lot lines. The 10-foot tall earthen berm will abut the section line easement to the west and south.
8. According to the traffic control plan, primary access will be directly across from Marigold Drive, which appears to eliminate a portion of the earthen berm.
9. The closest residential structures from the primary access are approximately 25 and 40 feet to the north.
10. Established quiet residential neighborhoods abut the proposed use to the north, south, east, and west.
11. Lands to the north, east, and south are developed with single-family homes. The lots to the north, east, and south range in size from .17 acres to 20 acres. However, most lots are one to five acres in size.

12. A subdivision to the west is developed with singled family homes. The lots range from three to six acres. Eight lots within this subdivision have direct access to an airstrip.
13. Lands to the west/northwest are sandwiched between the Parks Highway and Sylvan Road. These lands are developed with commercial and industrial uses such as, a truss plant, storage facilities, and restaurants.
14. Lands to the north, which abut the Parks Highway, are primarily commercial. A private charter school occupies a portion of a commercial building located at the intersection of Sylvan Road and the Parks Highway.
15. Production of sound levels, such as 90 decibels (dB) adjacent to a quiet neighborhood would have an adverse impact to its residents.
16. The proposed noise mitigation measures will likely be ineffective in protecting the adjacent residential homes and residential homes along Sylvan Road.
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20. The proposed use is within the "protection area" for a community drinking water well.
21. A detailed hydrogeologic study to mine within the "protection area" has not been provided.
22. The applicant has not proposed to monitor the water quality.

Discussion: Staff received a written confirmation from a property owner indicating their home did not sell due to the potential issuance of the proposed Conditional Use Permit. A singular incident is insufficient to confirm a loss in property value.

Conclusion of Law: Based on the above findings, the proposed use will detract from the value, character and integrity of the surrounding area (MSB 17.30.060(A)(2)).

(3) that the applicant has met all other requirements of this chapter pertaining to the use in question;

Finding of Fact:

1. All of the site plan and site development requirements have been provided.

Conclusion of Law: The applicant has met all of the requirements of this chapter (MSB 17.30.060(A)(3)).

(4) that granting the permit will not be harmful to the public health, safety and general welfare;

Findings of Fact:

1. According to Rutgers Noise Technical Assistance Center, heavy trucks produce approximately 90 decibels (dB) when operating, which falls in the “very loud” category.
2. According to Rutgers Noise Technical Assistance Center, a quiet to noisy home produces sound around 30-60 decibels (dB), which falls in the “faint” and “moderate” categories.
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5. According to the application material, the proposed use may operate 24 hours a day.
6. According to the application material, the proposed use may produce up to 1,000 vehicle trips per day.
7. According to the application material, the proposed buffer will be 25 feet of vegetation with a 10-foot tall earthen berm between the mining area and the north and east lot lines. The 10-foot tall earthen berm will abut the section line easement to the west and south.
8. According to the traffic control plan, primary access will be directly across from Marigold Drive, which appears to eliminate a portion of the earthen berm.
9. The closest residential structures from the primary access are approximately 25 and 40 feet to the north.
10. Established quiet residential neighborhoods abut the proposed use to the north, south, east, and west.
11. Lands to the north, east, and south are developed with single-family homes. The lots to the north, east, and south range in size from .17 acres to 20 acres. However, most lots are one to five acres in size.
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20. The proposed use is within the “protection area” for a community drinking water well.
21. A detailed hydrogeologic study to mine within the “protection area” has not been provided.
22. The applicant has not proposed to monitor the water quality.

Discussion: Sylvan Road is categorized as a “residential collector.” Generally speaking, residential collectors can typically accommodate an average daily traffic (ADT) of 1,000 - 3,000. The Borough does not have any current traffic data for Sylvan Road. The last data collected was in 2011. The ADT in 2011 was 512. The MSB Operations and Maintenance Division Manager provided comments, which expressed concerns about potential damage to the road due the high volume and weight of the loaded trucks from the proposed use. The MSB Operations and Maintenance Division Manager suggested establishing a service area tax for the subject parcel to pay for repair and maintenance of Sylvan Road.

Conclusion of Law: Based on the above findings, the proposed use will likely be harmful to the public health, safety, convenience and welfare (MSB 17.30.060(A)(4)).

(5) that the sufficient setbacks, lot area, buffers or other safeguards are being provided to meet the conditions listed in MSB 17.30.050(B).

Findings of Fact:

1. According to Rutgers Noise Technical Assistance Center, heavy trucks produce approximately 90 decibels (dB) when operating, which falls in the “very loud” category.
2. According to Rutgers Noise Technical Assistance Center, a quiet to noisy home produces sound around 30-60 decibels (dB), which falls in the “faint” and “moderate” categories.
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9. The closest residential structures from the primary access are approximately 25 and 40 feet to the north.
10. Established quiet residential neighborhoods abut the proposed use to the north, south, east, and west.
11. Lands to the north, east, and south are developed with single-family homes. The lots to the north, east, and south range in size from .17 acres to 20 acres. However, most lots are one to five acres in size.
12. A subdivision to the west is developed with singled family homes. The lots range from three to six acres. Eight lots within this subdivision have direct access to an airstrip.
13. Lands to the west/northwest are sandwiched between the Parks Highway and Sylvan Road. These lands are developed with commercial and industrial uses such as, a truss plant, storage facilities, and restaurants.
14. Lands to the north, which abut the Parks Highway, are primarily commercial. A private charter school occupies a portion of a commercial building located at the intersection of Sylvan Road and the Parks Highway.
15. Production of sound levels, such as 90 decibels (dB) adjacent to a quiet neighborhood would have an adverse impact to its residents.
16. The proposed noise mitigation measures will likely be ineffective in protecting the adjacent residential homes and residential homes along Sylvan Road.
17. Alaska Department of Environmental Conservation has produced a user manual of best management practices to protect surface water and groundwater quality in Alaska.

18. Alaska Department of Environmental Conservation Best Management Practices Manual states in part: “DEC has established drinking water protection areas and recommended buffer zones for public water system (PWS) sources, which can be found at <http://dec.alaska.gov/das/GIS/apps.htm>. There are also PWS sources for which drinking water protection areas have not yet been delineated. For those PWS sources, it is recommended that the buffer zone be considered a 1,000-foot radius around the source area. It is recommended that excavation limits be restricted to areas outside any PWS source buffer zone. Equipment storage, maintenance, and operation should be as limited as possible within designated buffer zones, and appropriate BMPs should be used to prevent water contamination (see Chapter 6).”
19. Alaska Department of Environmental Conservation Best Management Practices Manual states in part: “Some of the best ways to prevent mining impacts to surface and groundwater quality are to maintain distance between mining operations and the water to be protected, and to monitor water quality. This chapter presents recommended setbacks for mining operations from public water system (PWS) source areas, surface water bodies, and the groundwater table. Where proposed mining is closer to these waters than the recommended setbacks, it is recommended that a detailed hydrogeologic study be performed by a qualified person to evaluate potential impacts and design effective mitigation alternatives.”
20. The proposed use is within the “protection area” for a community drinking water well.
21. A detailed hydrogeologic study to mine within the “protection area” has not been provided.
22. The applicant has not proposed to monitor the water quality.
23. On June 23, 2021 QAP applied for an MSB Driveway Permit across from Buttercup Drive. This driveway location is inconsistent with the Conditional Use Permit application material.

Discussion: Staff has concerns with the location of the proposed use. It abuts multiple established quiet residential neighborhoods and proposes a relatively small vegetative buffer with a 10-foot berm. Due to the proximity to residential homes, hours of operation, and heavy truck traffic on Sylan Road it is apparent that the proposed use will disrupt and negatively impact the existing residential areas.

In addition, the application material indicates the proposed use will not operate in accordance with the State of Alaska’s “Best Management Practices” manual for material extraction. Mining within an identified ADEC Drinking Water Protection Area, creates a risk of contamination. According to the manual, the risk could be minimized by requiring the operation to adhere to the State of Alaska’s “Best Management Practices” manual for material extraction. While the risk may be minimized, it cannot be completely eliminated by an operation of this proximity and size.

Conclusion of Law: Based on the above findings, sufficient setbacks, lot area, buffers or other safeguards are not being provided (MSB 17.30.60(A)(5)).

Section 17.28.060 Site Development Standards

(A) Standards for site development plan are as follows:

(1) identification of surrounding property owners, existing land uses, and wetlands and waterbodies within one-quarter mile of the site;

Findings of Fact:

1. Maps are included in the record identifying surrounding property ownership, existing land uses, wetlands, and waterbodies within ½ mile of the proposed site.
2. According to the site plan, earth material extraction activities will not take place within 100-feet of any identified wetlands or waterbodies.

Conclusion of Law: The surrounding property ownership, existing land uses, and wetlands and water bodies within the notification area have been identified (MSB 17.28.060(A)(1)).

(2) phases of proposed mining activities including a map showing the area to be mined, a description of the topography and vegetation, approximate time sequence for mining at particular locations, and general anticipated location of semi-permanent equipment such as conveyor belts, crushers, dredges, batch plants, etc.;

Findings of Fact:

1. A site plan is included in the record showing the location of the earth materials extraction site, including phases of mining within the subject parcel.
2. A topographic contour map, bare earth map, and aerial photography are included in the record. These items show topographic features and vegetation of the subject property and adjacent properties.
3. There are no proposed permanent or semi-permanent structures associated with the proposed use.

Conclusion of Law: Based on the above findings, a map showing phases of proposed mining activities, description of the topography and vegetation, and approximate time sequence for the duration of the mining activity have been included. No permanent, semi-permanent, or portable equipment are anticipated to be located within the required setbacks (MSB 17.28.60(A)(2)).

(3) The road and access plan shall include anticipated routes and traffic volumes, and shall be approved by the director. If the level of activity exceeds the minimum levels specified in MSB 17.61.090, traffic standards, a traffic control plan consistent with state regulations may be required.

(a) road maintenance may be required of permittee

Findings of Fact:

1. According to the application material, the proposed use will generate up to 1,000 vehicle trips per day.
2. Applicant has provided a traffic control plan for the primary access across from Marigold Drive.
3. On June 23, 2021 QAP applied for an MSB Driveway Permit across from Buttercup Drive. This driveway location is inconsistent with the Conditional Use Permit application material.

Discussion: Sylvan Road is categorized as a “residential collector.” Generally speaking, residential collectors can typically accommodate an average daily traffic (ADT) of 1,000 - 3,000. The Borough does not have any current traffic data for Sylvan Road. The last data collected was in 2011. The ADT in 2011 was 512. The MSB Operations and Maintenance Division Manager provided comments, which expressed concerns about potential damage to the road due the high volume and weight of the loaded trucks from the proposed use. The MSB Operations and Maintenance Division Manager suggested establishing a service area tax for the subject parcel to pay for repair and maintenance of Sylvan Road. If the Planning Commission chooses to approve the Conditional Use Permit, Staff recommends a condition, requiring road maintenance by the permittee.

Conclusion of Law: Based on the above findings, the proposed traffic route and traffic volumes have been identified. Traffic generated from the proposed use may exceed 100 vehicles during the morning or afternoon peak hours or more than 750 vehicles a day, as specified in MSB 17.61.090, Traffic Standards (MSB 17.28.60(A)(3)).

(4) visual screening measures shall include a detailed description of the type of visual screening to be utilized, and shall be maintained as necessary during the course of extraction activities. Visual screening may include, but is not limited to, berms, natural vegetation, solid fences, walls, evergreen hedges or other means as approved by the commission. If mining is planned to be conducted within 300 feet of the property line, berms or other visual screening methods shall be a minimum of ten feet in height. If mining is planned to be conducted greater than 300 feet from the property line, the applicant shall utilize commission-approved screening methods to minimize visual impacts of the mining operation. The commission shall adopt policies and procedures to assist applicants in developing screening plans. In its discretion, the commission may waive screening requirements where the topography of the property or the placement of natural barriers makes screening not feasible or not necessary. Screening requirements shall be required in consideration of and in accordance with existing uses of adjacent property at the time of designation of the interim materials district. An interim materials district shall not be required to screen the district from uses which arise after the designation of the interim materials district;

Finding of Fact:

1. According to the application material, the proposed buffer will be 25 feet of vegetation with a 10-foot tall earthen berm between the mining area and the north and east lot lines. The 10-foot tall earthen berm will abut the section line easement to the west and south.
2. According to the traffic control plan, primary access will be directly across from Marigold Drive, which appears to eliminate a portion of the earthen berm.
3. The closest residential structures from the primary access are approximately 25 and 40 feet to the north.
4. Established quiet residential neighborhoods abut the proposed use to the north, south, east, and west.
5. The proposed noise mitigation measures will likely be ineffective in protecting the adjacent residential homes and residential homes along Sylvan Road.

Conclusion of Law: Existing vegetation and earthen berms will be used as visual screening measures (MSB 17.28.60(A)(4)).

- (5) *noise mitigation measures shall include a description of measures to be taken by the applicant to mitigate or lessen noise impacts to surrounding properties and shall include, but not be limited to, hours of operation of noise-producing equipment, erecting noise barriers (i.e., berms a minimum of ten feet in height) between noise-producing equipment and adjacent uses, location of noise-producing equipment (i.e., below grade in excavated pit areas), and measures to utilize equipment with noise reduction features.*
- (a) *no sound resulting from the earth materials extraction activities shall create a sound level that exceeds the limits set forth for the existing receiving land use category in Table 1 when measured at or within the property boundary of the receiving land us:*

Table 1. Sound Levels by Receiving Land Use

Receiving Land Use Category	Time	Sound Level Limit (dB(A))
Residential Use	7 a.m. – 10 p.m.	60
	10 p.m. – 7 a.m.	50
Commercial Use	7 a.m. – 10 p.m.	70
	10 p.m. – 7 a.m.	60
Industrial Use or Undeveloped Land	At all times	80

- (b) *[Repealed by Ord. 08-150, § 2, 2008]*
- (c) *for any sound that is of short duration, between the hours of 7 a.m. and 7 p.m. the levels established in Table 1 may be increased by:*
- (i) five dB(A) for a total of 15 minutes in any one hour; or*
 - (ii) ten dB(A) for a total of five minutes in any hour; or*
 - (iii) fifteen dB(A) for a total of one and one-half minutes in any one-hour period.*
- (d) *an interim materials district or a conditional use permit for earth materials extraction activities shall not be required to provide noise mitigation measures to mitigate or lessen noise impacts if a land use requiring lesser noise levels than for an industrial area arises on properties adjacent to earth materials extraction sites after the designation of the interim materials district or the effective date of the conditional use permit.*

Findings of Fact:

1. According to the application material, the proposed buffer will be 25 feet of vegetation with a 10-foot tall earthen berm between the mining area and the north and east lot lines. The 10-foot tall earthen berm will abut the section line easement to the west and south.

2. According to the traffic control plan, primary access will be directly across from Marigold Drive, which appears to eliminate a portion of the earthen berm.
3. The closest residential structures from the primary access are approximately 25 and 40 feet to the north.
4. Established quiet residential neighborhoods abut the proposed use to the north, south, east, and west.
5. Lands to the north, east, and south are developed with single-family homes. The lots to the north, east, and south range in size from .17 acres to 20 acres. However, most lots are one to five acres in size.
6. A subdivision to the west is developed with singled family homes. The lots range from three to six acres. Eight lots within this subdivision have direct access to an airstrip.
7. Lands to the west/northwest are sandwiched between the Parks Highway and Sylvan Road. These lands are developed with commercial and industrial uses such as, a truss plant, storage facilities, and restaurants.
8. Lands to the north, which abut the Parks Highway, are primarily commercial. A private charter school occupies a portion of a commercial building located at the intersection of Sylvan Road and the Parks Highway.
9. According to Rutgers Noise Technical Assistance Center, heavy trucks produce approximately 90 decibels (dB) when operating, which falls in the “very loud” category.
10. According to Rutgers Noise Technical Assistance Center, a quiet to noisy home produces sound around 30-60 decibels (dB), which falls in the “faint” and “moderate” categories.
11. Earth material extraction activities are an industrial use that can cause excessive noise, dust, and heavy truck traffic.
12. According to the application material, the proposed use may operate 24 hours a day.
13. According to the application material, the proposed use may produce up to 1,000 vehicle trips per day
14. Production of sound levels, such as 90 decibels (dB) adjacent to a quiet neighborhood would have an adverse impact to its residents.
15. The proposed noise mitigation measures will likely be ineffective in protecting the adjacent residential homes and residential homes along Sylvan Road.
16. Noise levels exceeding the levels in MSB 17.28.060(A)(5)(a) are prohibited.

Conclusion of Law: Based on the above findings, noise mitigation measures include retaining vegetative buffers and erecting 10-foot tall earthen berms. Due to access points and proximity to residential homes, noise levels will likely exceed the levels in MSB 17.28.060(A)(5)(a).

(6) lighting standards are:

- (a) exterior lighting shall be located and shielded to direct the light towards the ground, in order to minimize light spillage onto adjacent properties and upward into the night sky.*
- (b) illumination or other fixtures mounted higher than 20 feet or 150 watts or more shall have downward directional shielding.*

Finding of Fact:

1. According to the application material, lighting will be located and shielded to direct light towards work area to minimize light spillage onto adjacent property and upward into the night sky.

Discussion: The height and wattage for the light plants were not provided. If the Planning Commission chooses to approve this Conditional Use Permit, staff recommends a condition requiring compliance with the lighting standard.

Conclusion of Law: Based on the above findings, the applicant did not provide enough information to show compliance with the lighting standards in accordance with MSB 17.28.060(A)(6).

(7) Except as permitted by MSB 17.30.037, the following restrictions shall apply: an undisturbed buffer shall be left and no earth material extraction activities shall take place within 100 linear feet from a lake, river, stream, or other water body, including wetlands (unless permitted by U.S. Army Corps of Engineers 404 Permit, MSB 17.28.040(A)(5)). This regulation shall not apply to manmade water bodies being constructed during the course of the materials extraction activities.

- (a) an undisturbed buffer shall be left and no earth material extraction activities shall take place within 100 linear feet from a lake, river, stream, or other water body, including wetlands (unless permitted by United States Army Corps of Engineers 404 Permit, MSB 17.28.040(A)(5)).*
- (b) a four-foot vertical separation between all excavation and the seasonal high water table shall be maintained.*

Findings of Fact:

1. According to the site plan, earth materials extraction activities will not take place within 100-feet of any identified wetlands or waterbodies.
2. Maps are included in the record identifying surrounding property ownership, existing land uses, wetlands, and waterbodies within ½ mile of the proposed site.
3. The applicant is not proposing to mine below or within four feet of the seasonal high water table.

Conclusion of Law: The operation will not conduct earth material extraction activities within 100 linear feet of any identified wetland, stream, river or other waterbody and the operation will not mine below or within four feet of the seasonal high water table (MSB 17.28.060(A)(7)).

STAFF RECOMMENDATIONS

Staff recommends denial of the Conditional Use Permit for Earth Materials Extraction Activity to commercially extract approximately 2,000,000 cubic yards through 2041, from Parcel 17N02W10C001. The application fails to meet all the standards of MSB 17.30 and 17.28.

If the Planning Commission chooses to approve this permit, findings for approval must be prepared by the Commission.

**Photos taken by
Mark Whisenhunt
during June 28, 2021
site visit**

























Mark Whisenhunt

From: Mark Whisenhunt
Sent: Wednesday, May 12, 2021 8:40 AM
To: 'allen.kemplen@alaska.gov'; 'tucker.hurn@alaska.gov'; 'melanie.nichols@alaska.gov'; 'sarah.wilber@alaska.gov'; 'usswcd@mtaonline.net'; 'mearow@matanuska.com'; 'row@enstarnaturalgas.com'; 'row@mtasolutions.com'; 'ospdesign@gci.com'; Fire Code; Jill Irsik; Eric Phillips; 'regpagemaster@usace.army.mil'; Cindy Corey; Terry Dolan (Terry.Dolan@matsugov.us); Jim Jenson; Jamie Taylor; Charlyn Spannagel; 'planning@matsugov.us'; Theresa Taranto; Andy Dean; John Aschenbrenner (John.Aschenbrenner@matsugov.us); 'Tam Boeve'; 'robbyundtmsb@gmail.com'; 'info@mlccak.org'; 'Patricia Fisher'; 'gaming@mlccak.org'; 'bylaws@mlccak.org'; 'vp@mlccak.org'; 'education@mlccak.org'; 'treasurer@mlccak.org'; 'councilcoordinator@mlccak.org'; 'Camden Yehle'; 'parks-rec-trails@mlccak.org'; 'safety@mlccak.org'
Subject: Request for Comments: QAP Sylvan CUP
Attachments: QAP Sylvan - Notice.pdf

Date: May 12, 2021
To: Various Governmental Agencies
From: Mark Whisenhunt, Planner II
Subject: Request for Review and Comments Governmental Agencies
Project: Conditional Use Permit for Earth Material Extraction
Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian
Applicant: UMIAQ Environmental, on behalf of Colaska Inc. (dba QAP)

An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

Application materials may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." Application material may also be reviewed at the Borough Permit Center. A direct link to the application material is here:

<https://www.matsugov.us/publicnotice/qap-sylvan-conditional-use-permit>

Written comments are due on or before **June 21, 2021** and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

Respectfully,

Mark Whisenhunt
Acting Development Services Manager
Matanuska-Susitna Borough
Office: (907) 861-8527
mark.whisenhunt@matsugov.us

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645

tara0609
271
5/12/2021 8:53:58 AM

The Planning Commission of the Matanuska-Susitna Borough will consider the following:

Applicant: UMIAQ Environmental on behalf of Colaska Inc. (dba QAP)
Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian.
Request: An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

The Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, **July 19, 2021 at 6:00 p.m.** in the Borough Assembly Chambers, 350 E. Dahlia Avenue, in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. **Please Note: Due to the ongoing Coronavirus/COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough website. The public is encouraged to check the Borough website prior to attending the public hearing for any changes to the meeting schedule or method.** The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application. Application material may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527. **The public may provide verbal testimony in person at the meeting or telephonically by calling 1-855-290-3803.** You will hear "Joining conference" when you are admitted to the meeting. You will be automatically muted and able to listen to the meeting. When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, "Your hand has been raised." When it is your turn to testify, you will hear, "Your line has been unmuted." State your name for the record, spell your last name, and provide your testimony. You have 3 minutes to state your concerns & comments. This is not a question and answer session. This is only for stating your concerns and comments. Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to mark.whisenhunt@matsugov.us. In order to be eligible to file an appeal for a decision of the Planning Commission, a person must be designated an "interested party." See MSB 15.39.010 for the definition of "interested party." The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough. Comments are due on or before **June 21, 2021** and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning commission, but will be provided to the Commission at the meeting.

Name: _____ **Mailing Address:** _____

Address of your property: _____

Comments: _____

Note: Vicinity Map Located on Reverse Side



Certificate of Bulk Mailing – Domestic

Fee for Certification

Up to 1,000 pieces (1 certificate for total number)

For each additional 1,000 pieces, or fraction thereof

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Current
Price List
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Duplicate Copy ☐

Number of
Identical Weight
Pieces

Class of Mail

Postage for
Each Mailpiece
Paid ☐ Verified

Number of
Pieces to the
Pound

Total Number of
Pounds

Total Postage Paid
for Mailpieces

Fee Paid

Mailed For

Mailed By

Dev Services

Niki

Postmaster's Certification

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[Signature]

(Postmaster or Designee)

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PostalOne![®] Transaction Number here: _____



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 ABKEN LAUREN
 PO BOX 872719
 WASILLA, AK 99687-2719

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 AIRPLANE ACRES
 % SEAN POULK
 6330 W FULL CURL AVE
 WASILLA AK 99623

217N02W09A010 3
 AK HUNTER PROPERTIES LLC
 PO BOX 873472
 WASILLA AK 99687

51337B04L001 4
 AKERS BYRON K & KAREN J C
 PO BOX 874854
 WASILLA, AK 99687-4854

57851B02L007 5
 ALASKA CUSTOM HOME BUILDERS
 1735 S CREEKSIDE CIR
 WASILLA AK 99654

54763000L0RR 6
 ALASKA RAILROAD CORP
 PO BOX 107500
 ANCHORAGE, AK 99510-7500

217N02W10C001 7
 ALASKA STATE OF
 AK MENTAL HEALTH TR AUTH
 STE 100
 2600 CORDOVA ST
 ANCHORAGE AK 99503-2745

217N02W10A017 8
 ALASKA STATE OF
 DEPT OF TRANS & PUB FAC MAT-SU BOROUGH
 &
 PO BOX 196900
 ANCHORAGE, AK 99519-6900

51441B02L008 9
 ALDERMAN ELISSA
 PMB 223
 7362 W PARKS HWY
 WASILLA AK 99623-9300

217N02W09D001 10
 ALDERMAN MARK C & MONICA D
 1265 E LOLLY CIR
 WASILLA AK 99654

51355B01L007 11
 ALL STEEL INC
 AK FOAM FUSION LLC
 1974 LIVENGOD AVE
 FAIRBANKS AK 99701

51441B03L028 12
 ALSTON LUKE V
 % GAY A HOWE
 PO BOX 520555
 BIG LAKE AK 99652-0555

51355B02L003 13
 ANDERSEN MICHAEL A
 1177 W MOOSE PARK DR
 WASILLA AK 99654-1073

51355B04L008 14
 APOSTOLIC WORSHIP CEN INC
 PO BOX 298789
 WASILLA, AK 99629-8789

52349000L004 15
 ARRINGTON VALERIE L
 PO BOX 298675
 WASILLA, AK 99629-8675

51441B02L004 16
 AXBERG ROGER I & JANE M
 PMB 335
 7362 W PARKS HWY
 WASILLA, AK 99654-9132

51337B01L005 17
 BAETSLE BRYAN A
 PMB 600
 7362 W PARKS HWY
 WASILLA AK 99623-9300

57851B02L002 18
 BAILEY THOMAS A III & JAIME E
 6392 W CREEKSEDGE DR
 WASILLA AK 99623

51337B03L008 19
 BAIRD RONALD L
 BAIRD CHERI C
 6040 W SHALESTONE LOOP
 WASILLA AK 99623-9225

51337B02L001 20
 BARNES DAVID P
 3101 S CARYSHEA ST
 WASILLA AK 99623-9404

52080B01L008 21
 BARNEY DOROTHY F
 6050 W AERONAUTICAL AVE
 WASILLA AK 99623-9447

54850B01L003A 22
 BARROWS STUART & SHAWN
 1606 S RIVER DR
 EAGLE RIVER AK 99577

51337B04L006 23
 BARTH RYAN C & RACHEL E
 6211 W SHALESTONE LOOP
 WASILLA AK 99623

51337B01L002 24
 BATES BRIAN F
 #2
 1271 S SHELBY DR
 WASILLA AK 99623

55199B04L006 25
 BAUMGARTNER MICHAEL B
 7353 W SUN RIDGE CIR
 WASILLA AK 99623-9289

53090B01L001 26
 BEAMAN LINDA S
 PO BOX 871231
 WASILLA, AK 99687-1231

52080B02L002 27
 BEREZYUK MOSES
 504 E SAGE RD
 WASILLA AK 99654-1405

51441B04L005 28
 BISSONETTE KYLE
 PO BOX 873113
 WASILLA AK 99687-3113

51441B02L001 29
 BITZ AARON LEE & ROBERTA STEFANI
 #593
 7362 W PARKS HWY
 WASILLA AK 99623

217N02W15B006 30
 BODEWIG LEANNE L
 SMITH SUE E & BUELL K P
 5232 N 180TH LN
 LITCHFIELD PARK AZ 85340-5227

51441B03L026 61
COOK WILLIAM
COOK ROSEMARIE
PO BOX 874464
WASILLA AK 99687-4464

53080B03L005 62
COON GEO L
COON DEBORAH L
PO BOX 455
VAUGHN WA 98394

56858000L003 63
CPD ALASKA LLC
201 ARCTIC SLOPE AVE
ANCHORAGE AK 99518-3033

53090B03L004 64
CRABTREE CLIFFORD L
PO BOX 877644
WASILLA AK 99644

51337B01L008 65
CREASEY WALTER JR
MONTANO PAULA ANDREA C
PO BOX 1237
DILLINGHAM AK 99576

57851B01L007 66
DAWSON DEAN & ERLINDA
6565 W CREEKSEDGE DR
WASILLA AK 99623

55842B03L004A 67
DEHART MIKE & CARMELINA
PO BOX 298642
WASILLA, AK 99629-8642

55199B03L009 68
DEMMEING GREGORY JOHN
BOX 7
3817 E BOGARD RD
WASILLA AK 99654

53080B03L003 69
DENALI TRUST THE
RANDALL RANDY B TRE
1011 S BETTINA WAY
WASILLA AK 99623

53080B02L009 70
DOSS DELIA L
PO BOX 870214
WASILLA AK 99687-0214

53080B02L003 71
DUGDALE DUSTIN DANIEL
DUGDALE TRACI LYN
7061 W BLONDELL DR
WASILLA AK 99623-0628

51441B01L005 72
DUNCAN EDWARD J
2709
3705 ARCTIC BLVD
ANCHORAGE AK 99503

52080B01L002 73
DUSHKIN GLORIA D
6480 W AERONAUTICAL
WASILLA, AK 99654

52080B01L003 74
EHLERS JEFFREY J
PO BOX 879209
WASILLA AK 99687-9209

53090B03L005 75
ESTILETTE HALEY
ESTILETTE KRISTINA
6445 W FULL CURL AVE
WASILLA AK 99623

57851B01L005 76
FEENEY PATRICK M
6511 W CREEKSEDGE DR
WASILLA AK 99623

57851B02L006 77
FICKLIN CONSTRUCTION LLC
PO BOX 521281
BIG LAKE AK 99652

51355B03L001 78
FISHER ROBERT B & BARBARA L
PO BOX 520209
BIG LAKE AK 99652-0209

53768B01L005 79
FOUTS CHRISTOPHER
181 N MEADOW LAKES LOOP
WASILLA AK 99623

51337B03L001 80
FOWNER JAMES A
ELLIOTT ALEXANDER A & STACY D
PO BOX 876086
WASILLA AK 99687-6086

53090B03L009 81
FOX HAROLD JR
6325 W FULL CURL AVE
WASILLA AK 99623-9111

55199B03L008 82
FRAKER DAVID L & TARYN C
7841 W SUN RIDGE CIR
WASILLA AK 99623-9289

51355B04L011 83
FRANZ ELECTRIC INC
PO BOX 872865
WASILLA, AK 99687-2865

57851B02L011 84
FREE ROBYN
1029 SWALE RIDGE LOOP
CREWELL OR 97426

51337B04L005 85
FRIESTROM RICHARD
6181 W SHALESTONE LOOP
WASILLA AK 99623-9226

217N02W03C010 86
FRITZLER CARL MARK
2301 S ALTHEA ST
WASILLA, AK 99654

51441B03L018 87
FUERSTENBERG FAMILY TR
FUERSTENBERG JAS J TRE FUERSTENBERG NANC
PO BOX 664
BRUSH PRAIRIE, WA 98606-0664

51316000L001 88
GADLIN LOUIS C JR
BROTHERWOOD LORNA M
6091 W BEVERLY LAKES RD
WASILLA AK 99623-9100

57233B05L00A-3 89
GARDNER JOE C & KRISTILA K
1528 S COUNTRYWOOD DR
WASILLA AK 99623

53080B01L006 90
GASTELUM FEDERICO L & REYNA L
APT 601
7362 W PARKS HWY
WASILLA AK 99623-9300

51441B04L002 121
HEREDIA-GUTIERREZ RAUL H
4738 EGRET ROCK CIR
ANCHORAGE AK 99507

217N02W09A009 124
HOLIDAY ALASKA INC
%KRISTI SCHWAKE # 605
PO BOX 1224
MINNEAPOLIS MN 55440-1224

51355B04L010 127
HOLTZHEIMER JAS G&SUSAN M
734
7362 W PARKS HWY
WASILLA AK 99623-9300

54942000L009 130
HOPKINS RICHARD K & S J
10
6862 W KNOX DR
WASILLA, AK 99654

51337B03L005 133
HOWARD ZEBLAN T
1411 S COUNTRYWOOD DR
WASILLA AK 99623-9229

54942000L006 136
JAMES JOSHUAH T & LACEY N
6821 W KNOX DR
WASILLA AK 99623-9293

55199B02L002 139
JOHNSON DALMAR W & VICKI L
#294
7362 W PARKS HWY
WASILLA AK 99623

54942000L005 142
KENDALL GENTRY NEAL
6863 W KNOX DR
WASILLA AK 99623-9293

51441B04L007 145
KINGERY KENNETH
PMB #644
7362 W PARKS HWY
WASILLA AK 99654

52686B01L017 148
KOENEMAN KATHLEEN M
7118 W KNOX DR
WASILLA AK 99623-0808

53090B02L007 122
HERSCHER RICHARD J
6140 W FULL CURL AVE
WASILLA AK 99654-9438

217N02W09A023 125
HOLIDAY ALASKA INC
4567 AMERICAN BLVD W
MINNEAPOLIS, MN 55437

57851B01L002 128
HONEA RYAN J
BECKER MIRIAM R
6407 W CREEKSEDGE DR
WASILLA AK 99623-9333

51355B01L008 131
HORTON PHILIP D & CLAIRE F
#602
7362 W PARKS HWY
WASILLA AK 99623

56919000L002 134
JACOBSEN GAROLD T JR
PO BOX 875193
WASILLA, AK 99687-5193

51441B01L010 137
JENSA HOLDINGS TR
GREGORY JAMES L & SAMUELLE A TRE
6925 W JOES DR
WASILLA AK 99623-9292

217N02W10A005 140
JONZ ARON J
% WILLY RENSENBRINK
2198 W MORRISON CT
GRAND JUNCTION CO 81507

51337B01L001 143
KEVAN MICHAEL A & IDA L
1351 S SHELBY DR
WASILLA AK 99623-9224

217N02W03C006 146
KNIKATNU INC
PO BOX 872130
WASILLA, AK 99687-2130

53090000T00B-2 149
LADUKE MICHAEL J JR & LORENA S
106-331
7202 NE HIGHWAY 99
VANCOUVER WA 98665-8802

55199B04L005 123
HOLBROOK KENNITH B
HOLBROOK JULIE L
666
7362 W PARKS HWY
WASILLA AK 99623-9300

51337B03L003 126
HOLOHAN THOMAS P & STACY L
PMB 330
7362 W PARKS HWY
WASILLA AK 99623-9300

54942000L010 129
HOPKINS RICHARD K
6862 W KNOX DR
WASILLA AK 99623-9293

52686000T00A 132
HOVANEC GARY L
KNOX MICHAEL S & LOIS M
PO BOX 240886
ANCHORAGE, AK 99524-0886

53080B02L012 135
JAMES JESSE Z II & DANIELLE L
6771 W BLONDELL DR
WASILLA AK 99623-0820

53768B02L005 138
JEWETT JAMES M
PO BOX 299137
WASILLA AK 99629-9137

51441B03L010 141
KEETON ROBERT C III
3141 E 112TH AVE
ANCHORAGE, AK 99516

54716B01L015A 144
KILLOWEN III LLC
3266 NW ESPLANADE
SEATTLE WA 98117

54025000L001 147
KOENEMAN ALICE
KOENEMAN LAWRENCE EST
16
1 S ALICE LN
WASILLA AK 99623-0809

51441B02L009 150
LAFRAMBOISE DARREN H
PO BOX 873066
WASILLA AK 99687-3066

181
MEADOW LAKES COMMUNITY COUNCIL
1210 N KIM DRIVE, SUTIE B
WASILLA, AK 99623-1921

56992B03L007 182
MEADOW LAKES INVESTMENT LLC
STE A10 #184
549 W INTL AIRPORT RD
ANCHORAGE AK 99518

53080B01L010 183
MEDINAS MATTHEW V
PO BOX 874366
WASILLA, AK 99687-4366

57851B02L003 184
MERTZIG JUSTIN MICHAEL
MERTZIG TAYLOR MORGAN
PO BOX 874243
WASILLA AK 99687

51337B03L011 185
MICHAUD DANIEL R & SUSAN L
PO BOX 873161
WASILLA AK 99687-7361

51441B04L004 186
MIELKE FRANK G
PO BOX 670287
CHUGIAK, AK 99567-0287

51441B01L009 187
MORLOCK AUDREY L
PO BOX 298566
WASILLA AK 99629-8566

53768B02L008 188
MUELLER DAVID K & RHONDA M
200 N MEADOW LAKES LOOP
WASILLA AK 99623-9855

53080B04L001 189
MURPHY JOHN M JR
7647 W MURPHYS BLUFF RD
WASILLA, AK 99654

217N02W09A020 190
NATIVE ALASKAN EQUITY GRP
PMB 311
1150 S COLONY WAY STE 3
PALMER, AK 99645-6967

51355B04L012 191
NIELSEN CURTIS R
PO BOX 520643
BIG LAKE AK 99652

53090B03L002 192
NIEMELA SHAWN H
6545 W FULL CURL AVE
WASILLA AK 99623-9110

55199B04L004 193
NILES WALLACE J
7493 W SUN RIDGE CIR
WASILLA, AK 99654

52686B01L011 194
NOLTON PAUL D & BERTHA K
196
7362 W PARKS HWY
WASILLA AK 99623

51355B01L004 195
NORRIS JOHN P
SKOGEN KARI
PO BOX 350
WILLOW, AK 99688-0350

57851B02L005 196
NORTHERN COMFORT HOMES LLC
PO BOX 877546
WASILLA AK 99687

52686B01L012 197
NUNLEY KRISTEN
571 S GARY CIR
MEADOW LAKE AK 99623-0804

51441B02L006 198
OLIVER ROGER J & OLENA L
PO BOX 298767
WASILLA AK 99629-8767

53768B02L004 199
OLSZEWski WILLIAM E
STE B PMB 206
2521 E MOUNTAIN VILLAGE DR
WASILLA AK 99654-7336

53080B02L008 200
OSBORN ROGER D
PMB 596
7362 W PARKS HWY
WASILLA AK 99623-9300

53090B02L006 201
OSTERHOUT LYLE B EST
GENERAL DELIVERY
GAKONA AK 99586-9999

54942000L011 202
PEREZ HARRIET
6962 W KNOX DR
WASILLA AK 99623-0806

53080B02L004 203
PERRY DAN'L & MANDI
PO BOX 870449
WASILLA, AK 99687-0449

51441B02L002 204
PETERSEN GARY W
545 N TAYLOR ST
ANCHORAGE, AK 99508

53080B01L005 205
PETTIT ROBT THOS TRE
PETTIT ROBT THOS FAM TR
% R T PETTIT
1439 E 12TH AVE
ANCHORAGE AK 99501-4809

52349000L001 206
PG PROPERTIES LLC
PO BOX 90100
ANCHORAGE, AK 99509-0100

51441B04L009 207
PHILLIPS-JOHNSON CYNTHIA K & SANDRA J
1399 S TIM AVE
WASILLA AK 99623-9338

52686B01L013 208
PLEIER ERICA R
#1
7080 W KNOX DR
WASILLA AK 99623

53090B02L001 209
POULK SEAN J
6330 W FULL CURL AVE
WASILLA AK 99623-9111

52080B01L001 210
POWELL REBECCA R
6570 W AERONAUTICAL AVE
WASILLA, AK 99654

53267B02L003A 241
STUBBS REVELEI JOYCE REV TR
PO BOX 110148
ANCHORAGE AK 99511-0148

55199B02L005 242
SULLIVAN JAS A & AMIE A
PO BOX 876228
WASILLA, AK 99687-6228

55199B02L004 243
SUMNER KYLE
#395
7263 N PARKS HWY
WASILLA AK 99623

51441B03L027 244
TATE GLENNA
TATE GLEN
PO BOX 873251
WASILLA AK 99687-3251

53090B01L004 245
TIPTON SHARON MARIE
6151 W FULL CURL AVE
WASILLA, AK 99654-9441

52080B02L006 246
TOLMACHEV ALEXSEY N
DENISENKO NATALYA I
6121 W AERONAUTICAL AVE
WASILLA AK 99623

54565000T00A 247
TORRES RAYMOND JR
PO BOX 298077
WASILLA AK 99629-8077

57851B02L009 248
TREMELLING DEREK EDWARD
TREMELLING CYNTHIA LYNN
6582 W CREEKSEDGE DR
WASILLA AK 99623

53090B03L008 249
TRUE LUCILE E
JAMES STANLEY E
PO BOX 873363
WASILLA AK 99687-3363

51355B02L009 250
TWO CHI'S PROPERTIES LLC
666
7362 W PARKS HWY
WASILLA AK 99623-9300

57851B01L003 251
VINCEK JOSEPH E
6441 W CREEKSEDGE DR
WASILLA AK 99623

52686B01L004 252
VUKICH MATTHEW C
580 S MIKE CIR
WASILLA AK 99623-0805

51355B01L013 253
W BUTTERCUP LLC
PO BOX 110455
ANCHORAGE AK 99511

51355B03L004 254
WAISANEN G & D REV TR 2018
WAISANEN G J & D M TRES
PO BOX 873603
WASILLA AK 99687

52686B01L019 255
WALLING EMILY D
11 LAKEWOOD CIR
SAINT CHARLES, IL 60174-5550

53080B03L001 256
WAMHOFF DIANE M
2031 N PATSY ST
WASILLA AK 99654-3229

53090B01L003 257
WATKINS MARY
15662 OAKDALE RD
DALLAS OR 97338-9601

57851B01L001 258
WELCH STEWART S
6301 W CREEKSEDGE DR
WASILLA AK 99623

55199B01L003 259
WESTCOTT BRETT M& CINDI M
PO BOX 875235
WASILLA, AK 99687-5235

51337B01L003 260
WILKERSON JAS
2930 N MOUNTAIN CREST DR
WASILLA, AK 99654

53080B02L010 261
WILKES WILLIAM D
532
7362 W PARKS HWY
WASILLA AK 99654

52686B01L002 262
WILLIAMS HADEN
WHITE-MEACHAM MARY GLADYS
551 S SYLVAN RD
WASILLA AK 99623

51355B01L010 263
WINDRIDGE ASSETS LLC
PO BOX 870162
WASILLA AK 99687

51316000L002 264
WIRSBINSKE JAS & LISA
PO BOX 298630
WASILLA, AK 99629-8630

52080B01L006 265
WITT & CO
% MICHAEL S DILLARD
2115 E VISION DR
WASILLA AK 99654

57851B02L010 266
WOLFFE BRYCE K & HEIDI D
6594 W CREEKSEDGE DR
WASILLA AK 99654

51337B03L010 267
WRIGHT GARY EUGENE
6080 W SHALESTONE LOOP
WASILLA AK 99623

54942000L004 268
WRIGHT KRISTINA L OBANION TR
PO BOX 298025
WASILLA AK 99629

52862000L001 269
WWW.AS89 LLC
3531 W LORD BARANOF DR
WASILLA AK 99654

51441B01L008 270
ZAJCHOWSKI EDW S& KAREN M
6977 W JOES DR
WASILLA AK 99623-9292

MATANUSKA-SUSITNA BOROUGH DIRECTORY OF ORGANIZATIONS

Community Council - Meadow Lakes

Board Exp

Meadow Lakes Comm			Board Position	Correspondence - Meadow Lakes CC
Company Representing			Term	to
1210 N. Kim Drive, Suite B			Type of Term	
Wasilla	AK	99623-1921	Member	
Home	(907) 232-2845	Work	Cell	E-mail info@mlccak.org

Fisher	Patricia		Board Position	Member 1 - MLCC - President
Company Representing			Term	to
7362 W Parks Hwy, #514			Type of Term	
Wasilla	AK	99623	Member	President
Home	(907) 357-8616	Work	Cell (520) 465-6856	E-mail psfisher@gci.net

Cannon	Ariel		Board Position	Member 11 - MLCC - Gaming
Company Representing			Term	to
3009 N Kalmbach Lake Dr			Type of Term	
Wasilla	AK	99623	Member	
Home		Work	Cell	E-mail gaming@mlccak.org

Boyle	Terry		Board Position	Member 15 - MLCC - By Laws
Company Representing			Term	to
PO Box 870311			Type of Term	
Wasilla	AK	99687	Member	
Home		Work	Cell	E-mail bylaws@mlccak.org

Conover	Linda		Board Position	Member 2 - MLCC - Vice President
Company Representing			Term	to
3291 W Parks Hwy #782			Type of Term	
Wasilla	AK	99632	Member	Vice President
Home		Work	Cell	E-mail vp@mlccak.org

MATANUSKA-SUSITNA BOROUGH DIRECTORY OF ORGANIZATIONS

Community Council - Meadow Lakes

Board Exp

Leader	Cally		Board Position	Member 3 - MLCC - Education
Company Representing			Term	to
7362 W Parks Hwy #154			Type of Term	
Wasilla	9962		Member	
Home		Work	Cell	E-mail education@mlccak.org

Scott	Andrea		Board Position	Member 4 - MLCC - Treasurer
Company Representing			Term	to
			Type of Term	
			Member	
Home		Work	Cell	E-mail treasurer@mlccak.org

Swezey	Tim		Board Position	Member 5 - MLCC - Council Coordination
Company Representing			Term	to
7362 W Parks Hwy #367			Type of Term	
Wasilla	AK	99623	Member	
Home	(907) 232-2845	Work	Cell	E-mail councilcoordinator@mlccak.org

Yehle	Camden		Board Position	Member 6 - MLCC - Secretary
Company Representing			Term	to
7362 W Parks Highway #843			Type of Term	
Wasilla	AK	99623	Member	
Home		Work	Cell	E-mail camdenyehle@gmail.com

Benner-Hanson	Lori		Board Position	Member 8 - MLCC - Parks, Rec & Trails
Company Representing			Term	to
PO Box 870172			Type of Term	
Wasilla	AK	99687	Member	
Home	(907) 376-5549	Work	Cell	E-mail parks-rec-trails@mlccak.org

MATANUSKA-SUSITNA BOROUGH DIRECTORY OF ORGANIZATIONS

Community Council - Meadow Lakes

Board Exp

Scott	Chad		Board Position	Member 9 - MLCC - Safety	
Company Representing				Term	to
				Type of Term	
			Member		
Home		Work		Cell	
				E-mail	safety@mlccak.org

Information Contact

www.mlccak.org

Total Board Members

12 Members

Meeting Schedule

2nd Wednesday of each month at 7 p.m. (Please check the Notice of Public Meetings schedule at: www.matsugov.us/publicmeetings for meeting information.)

Meeting Location

Birch Creek Villas (Meadow Lakes Senior Housing Complex)

Board Notes:

Established by RS 82-68

Frontiersman

Growing with the Valley since 1947.

5751 E. MAYFLOWER CT.
Wasilla, AK 99654

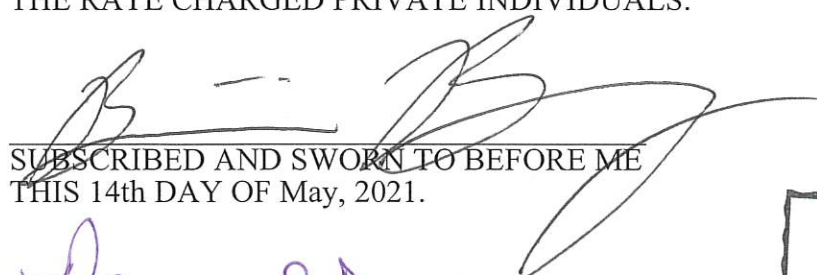
(907) 352-2250 ph
(907) 352-2277 fax

AFFIDAVIT OF PUBLICATION

UNITED STATES OF AMERICA, STATE OF ALASKA, THIRD DIVISION
BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC, THIS DAY
PERSONALLY APPEARED BEFORE **BENJAMIN BORG** WHO, BEING
FIRST DULY SWORN, ACCORDING TO LAW, SAYS THAT HE IS THE
LEGAL AD CLERK OF THE **FRONTIERSMAN**
PUBLISHED AT WASILLA AND CIRCULATED THROUGH OUT MATANUSKA
SUSITNA BOROUGH, IN SAID DIVISION THREE AND STATE OF ALASKA
AND THAT THE ADVERTISEMENT, OF WHICH THE ANNEXED IS A TRUE
COPY, WAS PUBLISHED ON THE FOLLOWING DAYS:

05/14/2021

AND THAT THE RATE CHARGED THEREIN IS NOT IN EXCESS OF
THE RATE CHARGED PRIVATE INDIVIDUALS.

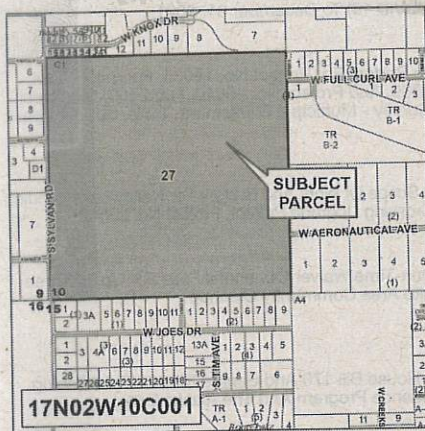

SUBSCRIBED AND SWORN TO BEFORE ME
THIS 14th DAY OF May, 2021.


NOTARY PUBLIC FOR STATE OF ALASKA

NANCY E. DOWNS
Notary Public
State of Alaska
My Commission Expires
August 25, 2023

MAT-SU BOROUGH/PAGE
5.14
ACCOUNT NUMBER 405249

PUBLIC HEARING



The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, **July 19, 2021**, at 6:00 p.m. in the Borough Assembly Chambers located at 350 E. Dahlia Avenue in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend.

An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction, has been submitted by UMIAQ Environmental on behalf of Colaska Inc. (dba QAP). The site is located at Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (no site address); within Township 17 North, Range 2 West, Section 10, Seward Meridian. The Conditional Use Permit would allow for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

****Please Note: Due to the ongoing Coronavirus/***

COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough website. The public is encouraged to check the Borough website prior to attending the public hearing for any changes to the meeting schedule or method.

In Person Participation: Should you wish to attend in person, please adhere to a 6-foot distance between yourself and others. ***Telephonic Testimony:*** Dial 1-855-290-3803; You will hear "Joining Conference" when you are admitted to the meeting. You will be muted and able to listen to the meeting. When the Chairperson announces audience participation or a public hearing and you would like to speak to, press "3; you will hear "Your hand has been raised." When it is your turn to testify you will hear "Your line has been unmuted." State your name for the record, spell your last name, and provide your testimony.

The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information through the Clerk, from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Planning Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

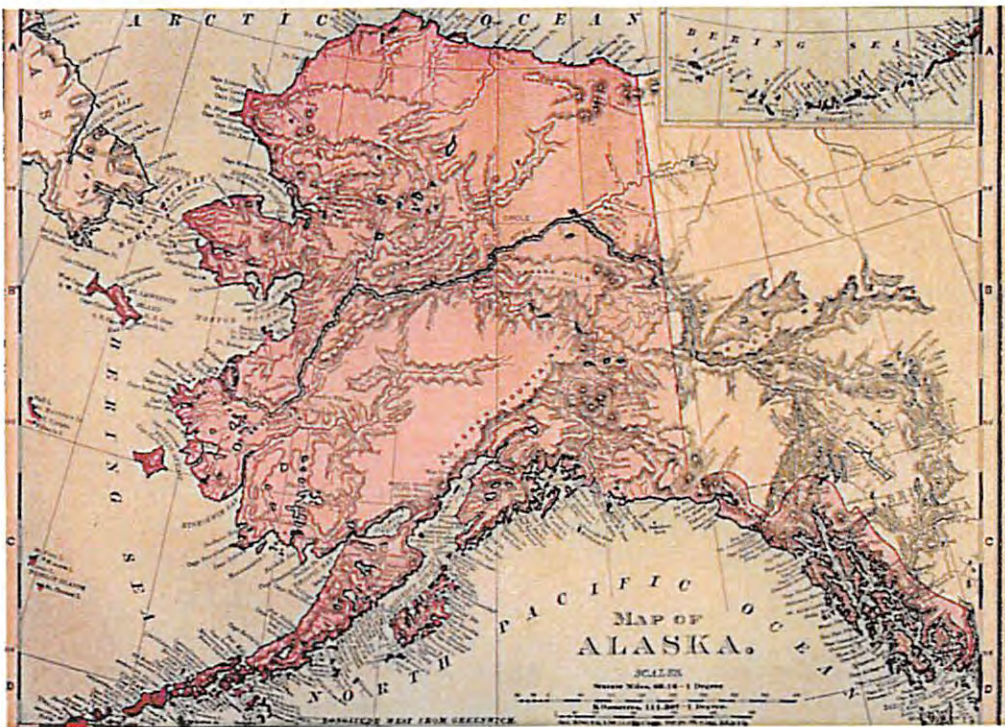
Application material may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." Application material may also be reviewed at the Borough Permit Center. For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527. Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to mark.whisenhunt@matsugov.us. In order to be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an "interested party." See MSB 15.39.010 for the definition of "interested party." The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Written comments are due on or before **June 21, 2021** and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

Publish Date: May 14, 2021

05-19-21

COMMUNITY NOISE ENFORCEMENT



June 2012

RUTGERS

THE STATE UNIVERSITY
OF NEW JERSEY

NOISE TECHNICAL ASSISTANCE CENTER
DEPARTMENT OF ENVIRONMENTAL SCIENCES

DECIBELS		
130	JET TAKE-OFF ARTILLERY FIRE RIVETING	DEAFENING
120		
110	SONIC BOOM ORCHESTRA MUSIC FORTISSIMO ROCK BAND	
100		
90	TRUCK UNMUFFLED LOUD STREET NOISE POLICE WHISTLE	VERY LOUD
80		
70	NOISY OFFICE QUIET TYPEWRITER AVERAGE RADIO	LOUD
60		
50	NOISY HOME AVERAGE CONVERSATION QUIET RADIO	MODERATE
40		
30	PRIVATE OFFICE QUIET HOME QUIET CONVERSATION	FAINT
20		
10	RUSTLE OF LEAVES WHISPER HUMAN BREATHING	VERY FAINT

Fig. 3.5 Sound pressure levels of representative sounds and noises.

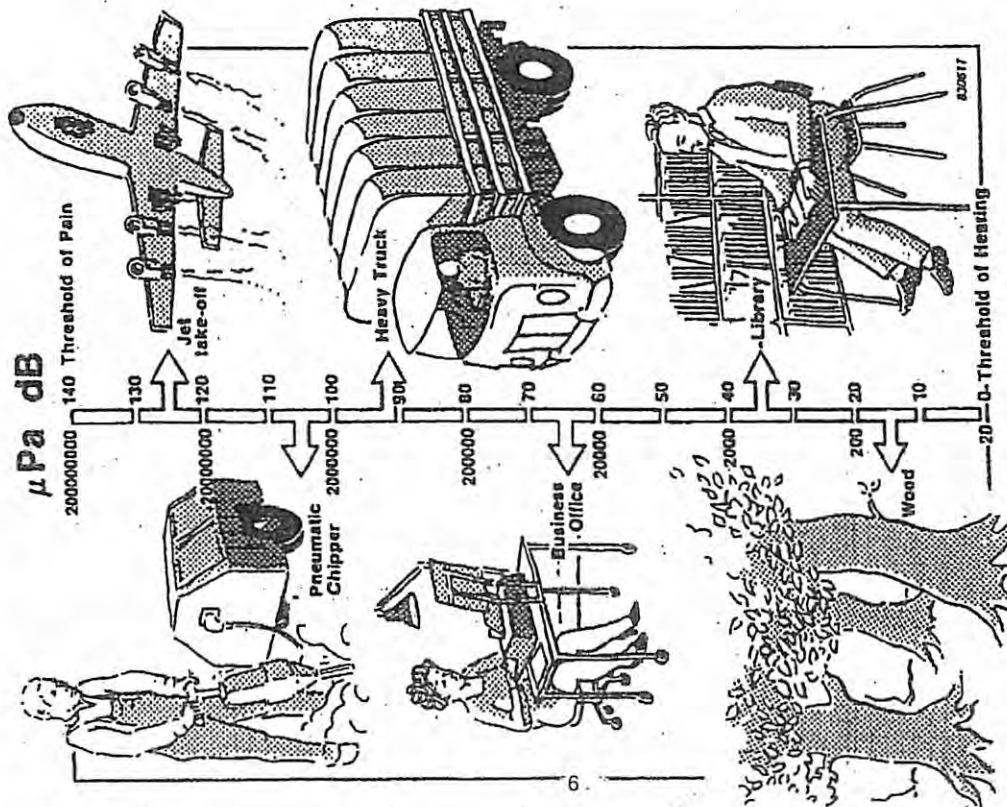


Fig. 5-3. Examples of some typical sound levels, expressed in micropascals on the left side of the scale and decibels on the right. (From Bruel & Kjaer, 1984, reproduced with permission.)

Table of Contents

Page 1 - Driveway Permit #27972

Page 2 - 6/23/2021 Permit - sylan road pit 1[3994].pdf

Page 4 - 6/23/2021 Permit - Fee Sheet.pdf



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue, Palmer, Alaska 99645
(907) 861-7822 Fax (907) 861-8158
E-mail: PermitCenter@matsugov.us

Driveway Permit Application

Permit Fee \$200 (\$150 Refundable if completed within 3 years)

PERMIT NO: [27972](#)

Property Owner (Name):			Applicant/Agent (Name):		
Alaska Mental Health Trust, Trust Land Office			Colaska Inc., dba QAP		
Mailing Address:			Mailing Address:		
2600 Cordova Street, Suite 201			240 W. 68th Avenue		
City:	State:	Zip:	City:	State:	Zip:
Anchorage	AK	99503	Anchorage	AK	99518
Phone:			Phone:		
907-269-8657			907-522-2211		
Email (optional):			E-mail (optional):		
hollie.chalup@alaska.gov			pcummins@colaska.com		
Site Address:			Driveway Location Will Be Marked With:		
937 South Sylvan Road			Other		
Property Tax ID #:			Expected Completion Date:		Driveway Surface Type:
17N02W10C001			7/16/2021		Gravel
Applying for Access Onto:			Distances:		
Sylvan Road			Left: 1690'	Width: 40'	Right: 840'
Only Corrugated Metal Pipe Culvert is Allowed			Path or sidewalk dimension (if applicable):		
Culvert Length: 50'		Diameter: 2'	NA		
Intended Use:					
<input type="checkbox"/> Single Family <input type="checkbox"/> Mutli-Family # of units <u>NA</u>					
<input checked="" type="checkbox"/> Commercial - Type: <u>Gravel Extraction</u> Est. "peak hours" trips per day: <u>1000</u>					
Comments:					
Built 2021					

PDF Attachment Cover Page

Permit # 27972 Application Attachment

6/23/2021 - Permit

sylan road pit 1[3994].pdf



HIGH-LEVEL WARNING DEVICES ATOP ALL SIGNS

www.invarion.com

Legend	
	CW8-6 CW8-6
	R1-1 R1-1

I Certify that Typical Truck Crossing conforms to the Alaska Manual and Specifications.	
Jami Johnson Traffic Control Supervisor	04-28-2021 Date
John Klotunowitch Project Superintendent	04-28-2021 Date

PDF Attachment Cover Page

Permit # 27972 Application Attachment

6/23/2021 - Permit

Fee Sheet.pdf

Driveway Permit online payment information between 6/23/21 and 6/23/21

Driveway Permit Payment Report						
Confirmation Number	Name	Payment Type	Payment Date	Amount	Tax Acct.	Permit ID
ORD-23145-60869-20210623	John T Wing Jr	Credit Or Debit Card	6/23/2021	200	ROW	27969
ORD-23146-60875-20210623	Patrick S. Cummins	Credit Or Debit Card	6/23/2021	200	17N02W10C00 1	27972
Report Totals						
Count					Total	\$400.00
2						

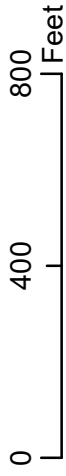


Legend

- 17N02W10C001
- Roads
- Parcels

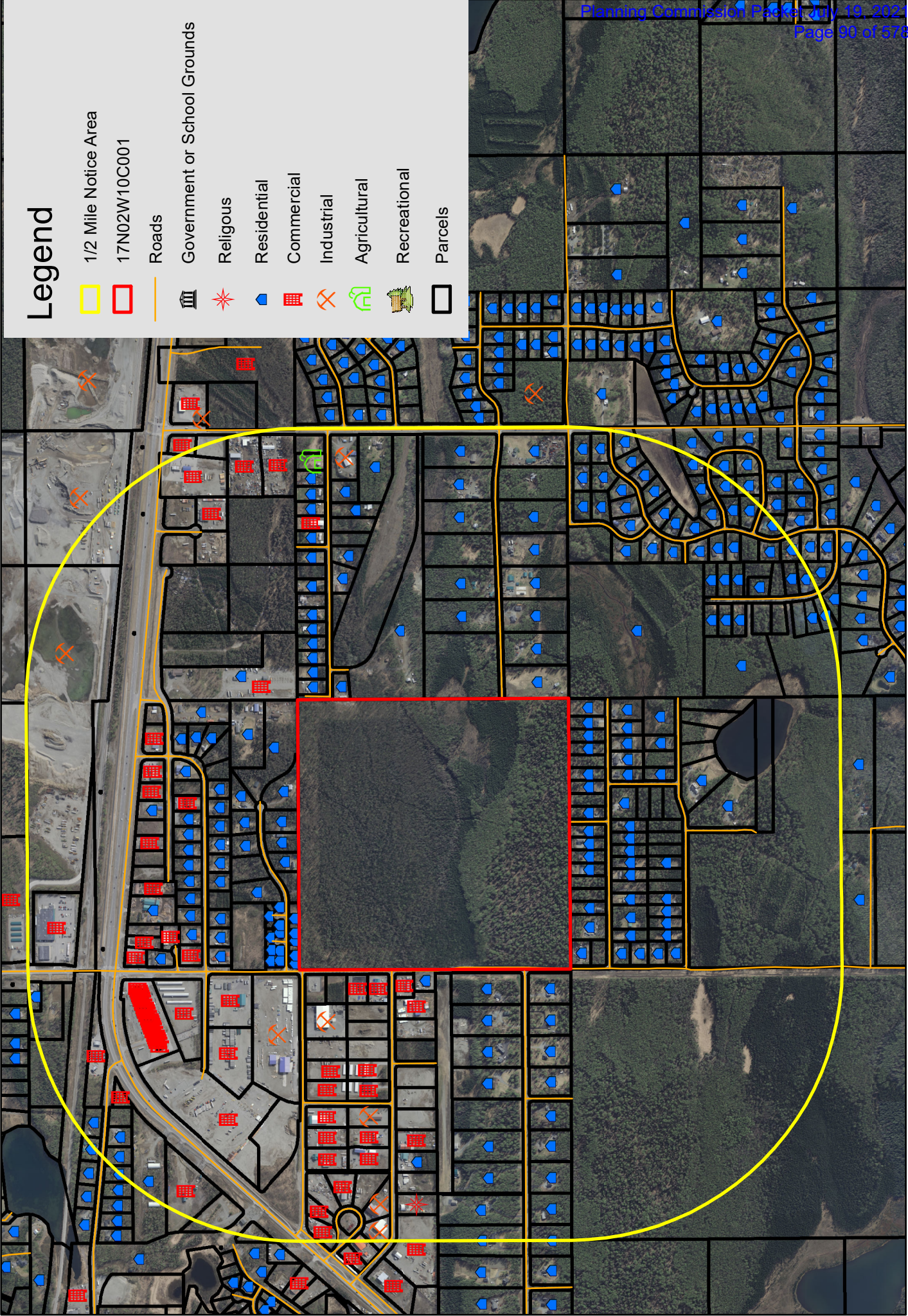
Topography (2011 Data)

1 inch = 400 feet



Date: 7/8/2021

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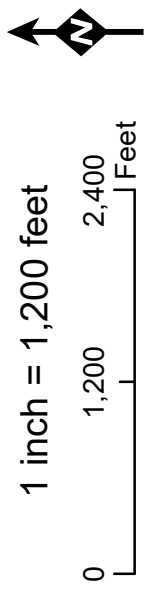
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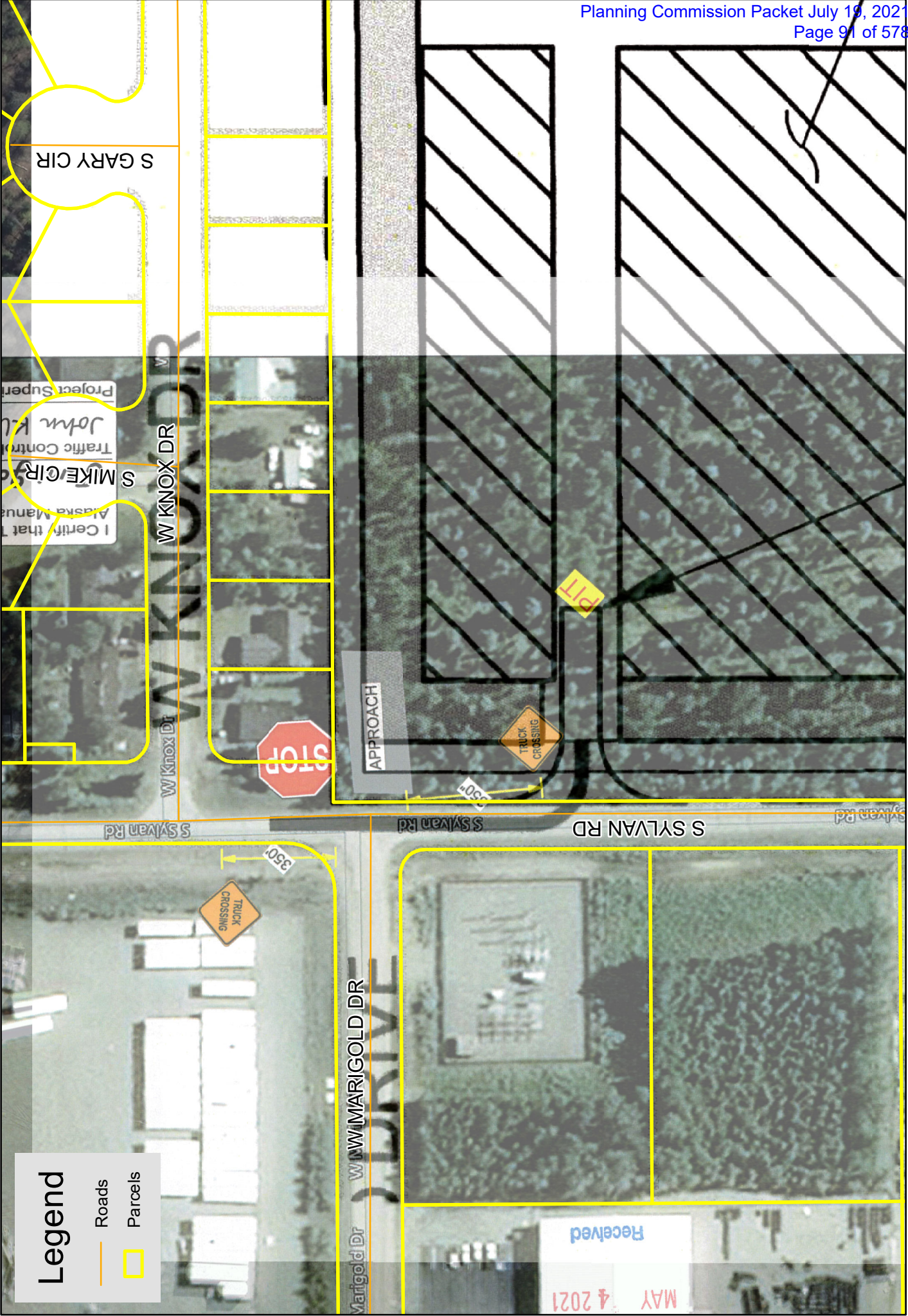
- 1/2 Mile Notice Area
- 17N02W10C001
- Roads
- Government or School Grounds
- Religious
- Residential
- Commercial
- Industrial
- Agricultural
- Recreational
- Parcels

Land Use Map

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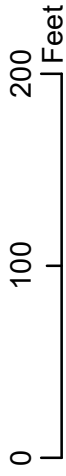
- Roads
- Parcels

QAP Site Plan Overlay with QAP Traffic Control Plan

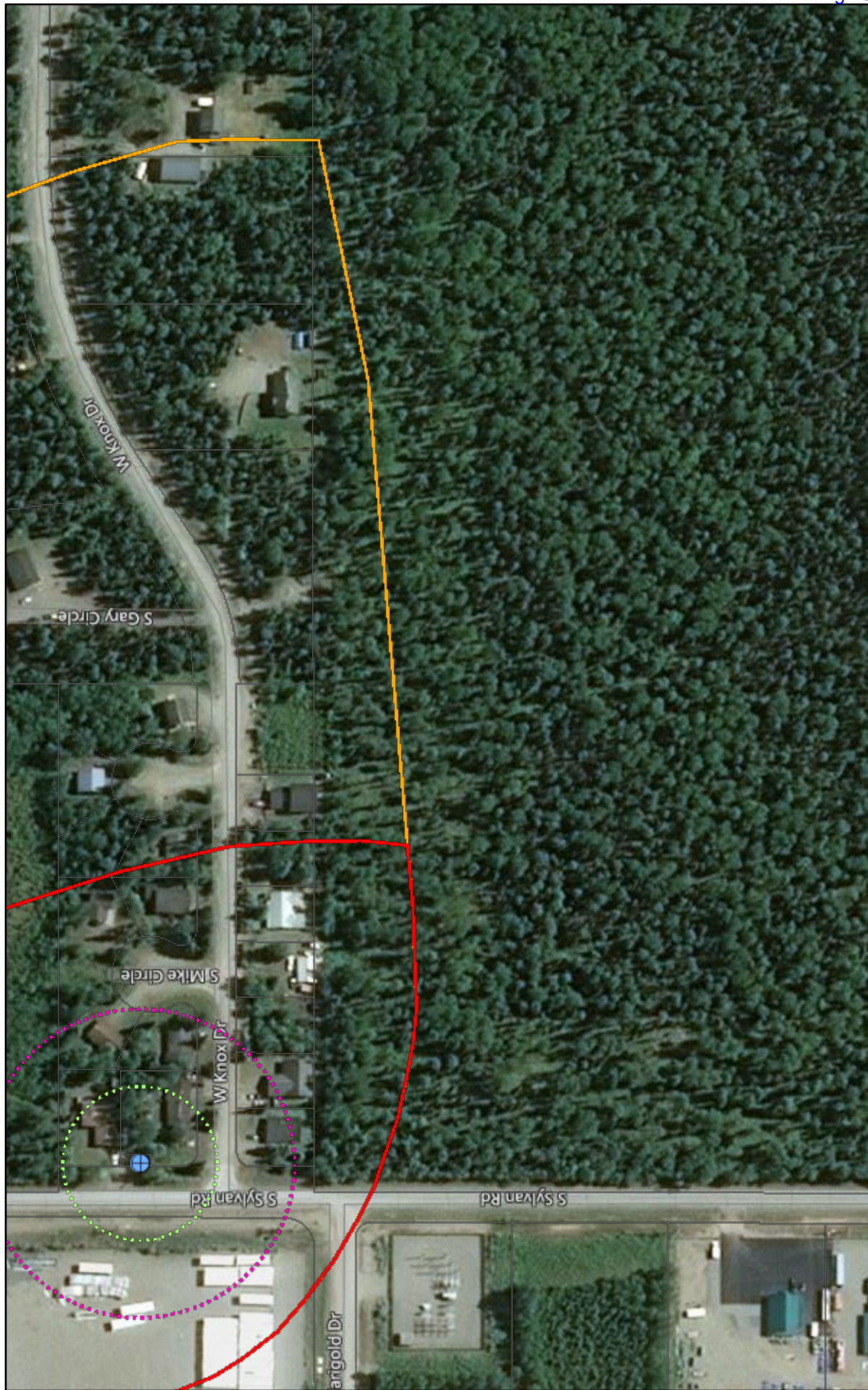
Date: 7/8/2021

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1 inch = 100 feet



Alaska DEC Drinking Water Protection Areas



7/7/2021

Active Public Water System Source Locations Layer

Community Water System (C)

Non-Transient Non-Community Water System (NTNC)

Non-Community Water System (NC)

Zone A (GW-Several Months Time of Travel or SW 1000 ft buffer)

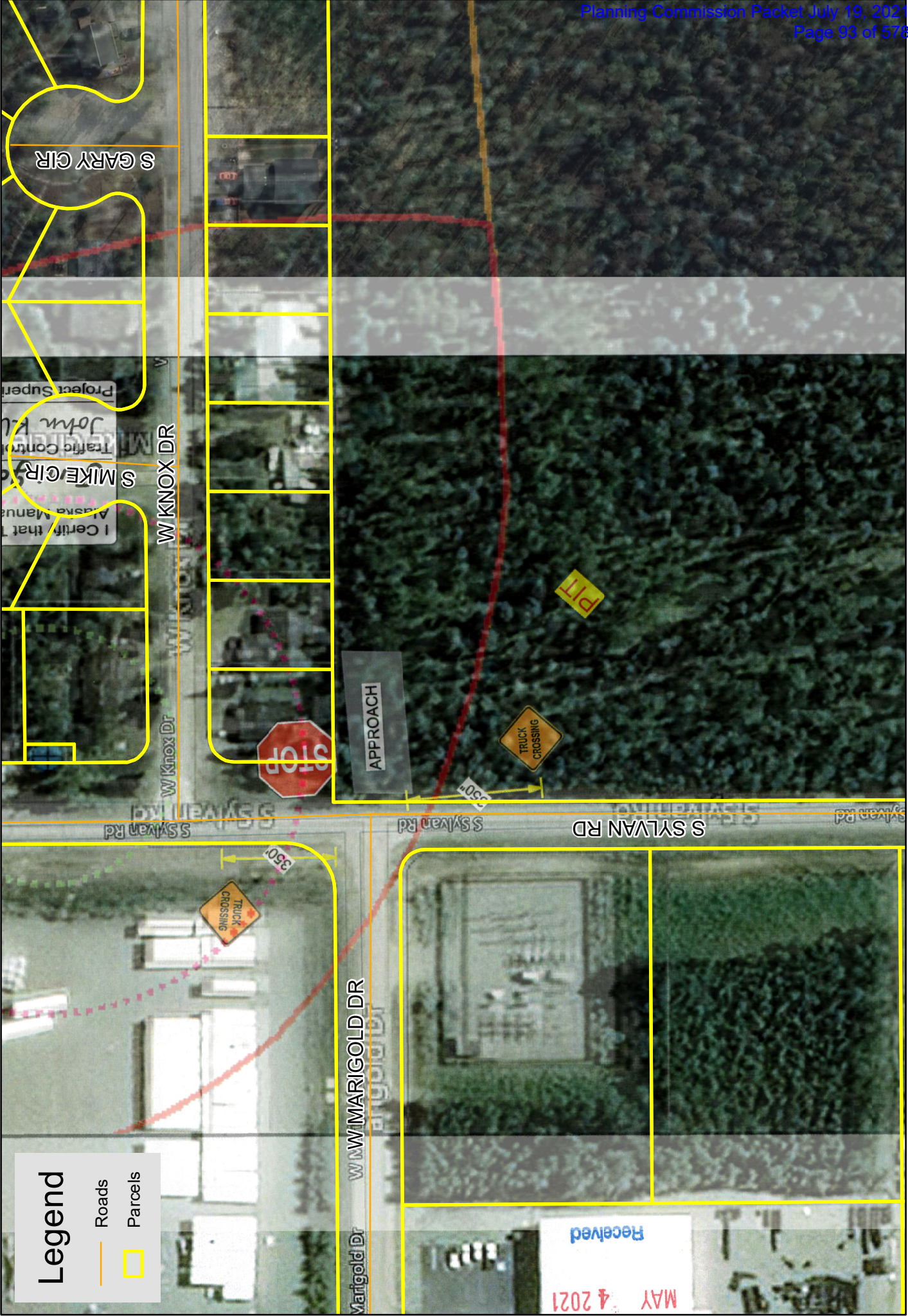
Zone B (GW-2 Yr Time of Travel or SW-1 mile buffer)

1:4,514

0 0.02 0.04 0.07 mi

0 0.03 0.06 0.11 km

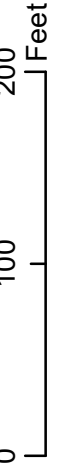
be Alaska Department of Environmental Conservation - Division of



Drinking Water Protection Area Overlay with QAP Traffic Control Plan

Date: 7/8/2021

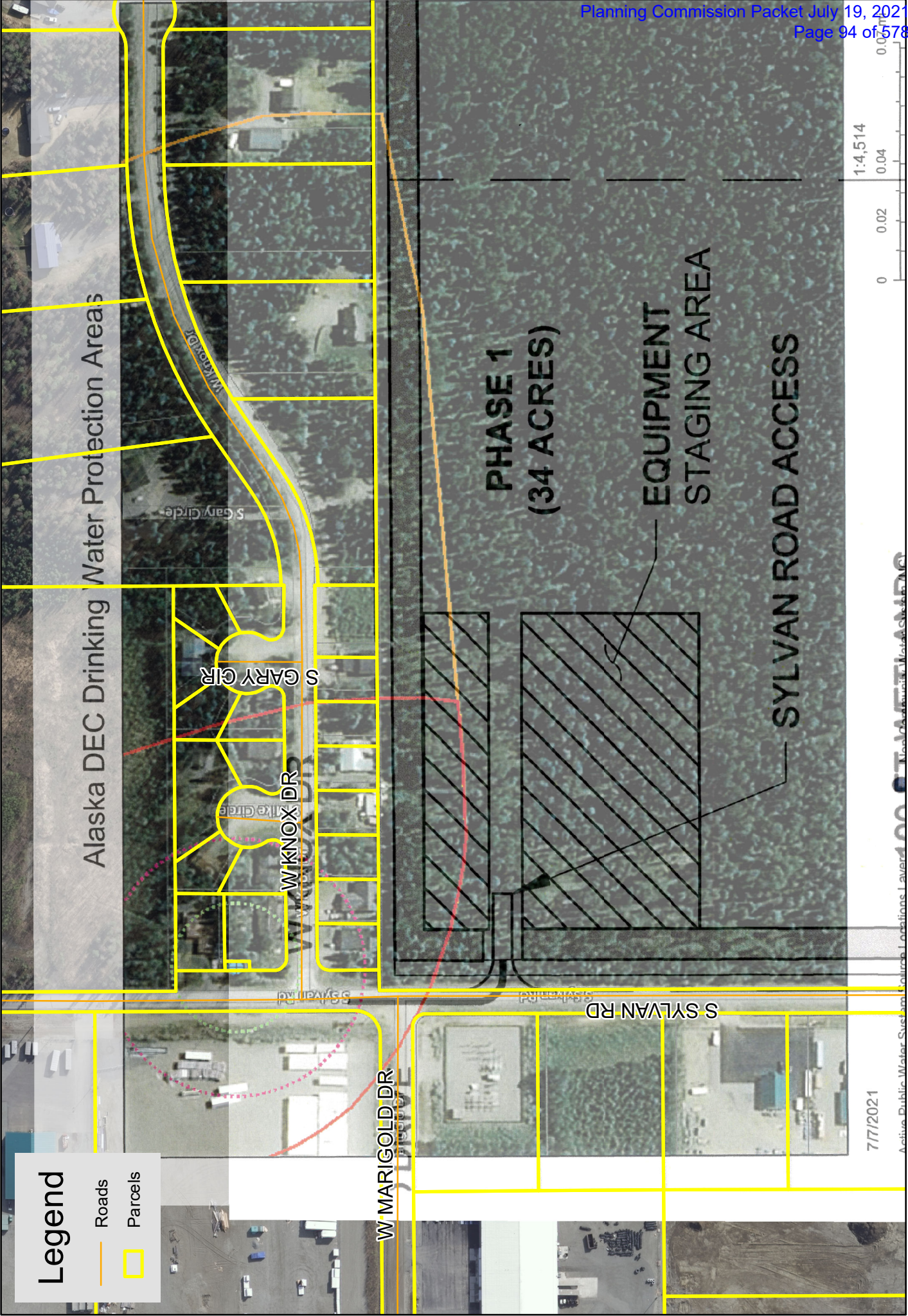
1 inch = 100 feet



Legend

- Roads
- Parcels

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Drinking Water Protection Area Overlay with QAP Site Plan

Date: 7/8/2021

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Meadow Lakes

Comprehensive Plan



ADOPTED
OCTOBER 2005

Prepared by:
The Meadow Lakes Community Council Planning Team

In partnership with:
The Matanuska-Susitna Borough,
Department of Planning and Land Use
Agnew::Beck Consulting, LLC
Land Design North

ACKNOWLEDGEMENTS

MEADOW LAKES COMMUNITY COUNCIL AREA COMPREHENSIVE PLAN

Project Sponsored by

Matanuska-Susitna Borough, Department of Planning and Land Use

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Teresa Fredrickson, Planner

Pamela Graham, Project Assistant

Project Developed by

The Meadow Lakes Community Council

Meadow Lakes Community Planning Team – Members:

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Rod Ewing, Jr., Chair - plan inception through Summer 2004

Talyne Corlyn-Belka, Leland Fishback, Shanda Graham, Ken Hawk, Fritz Kalmbach, Matt LaCroix, Beverly Marple, Corbin McManus, Michelle Moss, Jullie Starr, Malcolm (Mike) Wolf.

With Assistance by

Agnew::Beck Consulting, LLC

Working with Land Design North

PREAMBLE

Meadow Lakes is a rural residential community with a diverse population that enjoys a variety of lifestyles. The people appreciate the large tracts of trees and meadows, unspoiled lakes and streams and the majority want to keep that lifestyle. In exchange, residents have foregone some municipal services city dwellers commonly expect.

While change may come, this plan now offers us the opportunity to guide this growth. Evergreen buffers and large lots are two examples of strategies that will retain the rustic character found in Meadow Lakes.

Meadow Lakes is foremost a residential area. This plan respects and understands the need for balance between growth, private property rights, and various land uses and activities.

In an effort to maintain the quality of the meadows, streams, rivers, mountains and lakes, and the lifestyle currently enjoyed by the residents of Meadow Lakes, we offer this comprehensive plan.



Preparing this Comprehensive Plan – The Meadow Lakes Community Council (MLCC) Planning Team

[CODE ORDINANCE ADOPTING THE PLAN]

Inserted once plan has been adopted.

EXECUTIVE SUMMARY

This is the comprehensive plan for the Meadow Lakes Community Council (MLCC) Area. Meadow Lakes is located between Wasilla on the east, and Houston and Big Lake on the west. The area extends on the north to Baldy Mountain – the beginning of the Talkeetna Mountains - roughly three miles above the Little Susitna River. The southern boundary runs about two miles south of the Parks Highway, in the vicinity of Lucille Creek. The Parks Highway enters Meadow Lakes on the east at Mile 45 and exits the area on the west at Mile 52 (see map in Chapter 1).



Over the past fifty years, Meadow Lakes has evolved from an area of wilderness homesteads into a rural, yet increasingly suburban community. Over the past 12 years, the population has more than doubled to over 5,000 residents. This growth reflects an abundance of privately-owned, developable, and relatively low cost land. Meadow Lakes' attractive rural setting and easy access to growing employment and shopping centers in the rapidly developing Palmer and Wasilla areas are other factors contributing to its growth.

The purpose of preparing this comprehensive plan is to help residents, property owners, the Matanuska-Susitna Borough, the State, developers, business owners, and other members of the community to work together to respond to both the challenges and opportunities posed by this growth and to guide future development in the Meadow Lakes area to meet community goals. Alaska Statutes Title 29.40.030 requires the Borough Assembly of a second-class borough, such as the Matanuska-Susitna Borough, to adopt a comprehensive plan by ordinance. The Matanuska-Susitna Borough Assembly adopted a borough-wide comprehensive plan in 1970. Upon consideration of updating that plan in 1985, the Assembly adopted Resolution 86-7 which established a policy of deferring to each Borough community the opportunity to prepare its part of the Borough's comprehensive plan. Based on the Borough Assembly's resolution, the Planning Commission established a process for a community to initiate and complete a community plan, which has been followed in the Meadow Lakes community as summarized in Table 1: Summary of Planning Process.

The effectiveness of a comprehensive plan is ultimately determined by the extent to which it is prepared and used. This document sets out policies that guide the use of public and private land, and helps to direct community and agency decisions about improvements to roads, trails and other public services and facilities. This plan also establishes strategies for economic development, environmental protection and improved local governance. By design, this is a long-term planning document. While this plan sets the general direction and establishes priorities, there may be additional projects, actions or policies needed to reach plan's goals.

The key to the success of any community planning process is the degree to which it builds upon the knowledge and the vision of the people who live in and care about the area. The

entire process to prepare this plan was organized to bring out and record the common goals of the people of the Meadow Lakes community. Major elements of this public process are summarized below:

Table I: Summary of Planning Process

Date	Action
July 2001	Request received by the MSB planning division from the Meadow Lakes Community Council for Comprehensive Planning Assistance
May 2002	Solicited applications for Planning Team Members
October 2002	Planning Team members (13) appointed by Planning Commission
Oct 02 - Dec 03	Planning Team, meets with representatives of organizations likely to influence Meadow Lakes future (AKRR, Fire, DOT&PF, etc.)
Sept 2003	Planning Team, working with MSB staff, conducts community survey, sent to all post office box holders, regarding Meadow Lakes issues, characteristics, future
Sept-Oct 2003	Planning Team met to prepare RFP to solicit contractor to begin Comp Plan planning process
Oct 2003	RFP released, three proposals received; proposals reviewed, contractor selected
Dec 2003	Contract awarded to Agnew::Beck Consulting. Contract initially focused on “visioning workshop,” but expanded to include preparing a comprehensive plan
Jan 04 - Feb 05	Monthly Planning Team meetings held, all publicized & noticed to allow participation by any interested parties. Visitors included Al Tellman of Knikatnu Corp.
March 2004	Release of “ <i>Draft Issues and Goals Report</i> ”, plus summary flyer (sent to all post office box holders and property owners in community)
April 5, 7 2004	Community-wide workshop, attended by 100+ community members, to review & refine Issues and Goals
Summer 2004	Revision of initial goals based on community input, continued research on key plan issues
Fall/Winter 2004-2005	Preparation of “ <i>Draft Comp Plan</i> ”
April 7, 9 2005	Community-wide Workshop
April 29, 2005	Deadline for receiving comments on Draft Plan
May 2005	Planning Team meeting to approve, forward revised Draft plan to Community Council for approval
June 2005	Community Council public hearing and approval of plan, recommendation to forward revised Draft plan to Planning Commission
July 2005	Planning Commission public hearing and approval of plan, recommendation to forward revised Draft plan to Assembly
Aug 2005	Assembly public hearing and approval of plan

SUMMARY OF PLAN POLICIES

Land Use & Town Center

1. Maintain the Community's Rural Character - Community surveys and public workshops show that for most residents, the area's rural character is one of the top motivations to live in Meadow Lakes. This character includes low density housing, friendly neighbors, limited traffic, large tracts of open land, good views, presence of wildlife, and ready access to trails, rivers, lakes, and recreation. Strategies to maintain and enhance this rural character include:
 - Minimum Lot Size - Encourage low density residential development in the majority of Meadow Lakes. Community sentiment greatly favors increasing the minimum lot size required under existing Borough standards¹. A strong majority of those community residents who have participated in the planning process supported increasing the minimum lot size in new subdivisions to greater than the minimum 40,000 square feet Borough standard. In a few settings - at the planned town center, as part of open space subdivisions, and near the Parks Highway – higher density housing is appropriate, including smaller lot single family housing and, in the town center, attached and multi-family housing. In other areas, lots significantly larger than this are more appropriate, for example, in key watershed and wetland areas, and along the community's three major watersheds.
 - Open Space – Guide growth to retain and expand public open space, waterways and trails. Retain the “natural feel” of the community and the dominate sense of natural landscapes – forests, wetlands, streams, wildlife, and views.
 - Establish “Open Space” subdivision policies so sub-dividers are encouraged to retain land for trails and recreation and to protect natural areas like wetlands or streams (more details on Open Space subdivisions later in this chapter).
2. Concentrate and Screen Commercial Development; Avoid Sprawl along the Parks Highway
 - Location of Commercial Development - Encourage new commercial develop to locate in relatively concentrated nodes.
 - Green Space - Maintain several undeveloped “green spaces” along the Parks Highway to separate developed areas.
 - Appearance of Roadside Development - Require retention and/or planting of buffers, trees and other landscape features so roadside development is

¹ Support for increasing the minimum lot size above existing MSB minimums has been strong through out the planning process. Starting with the original survey prepared at the outset of the planning process, residents have said what they most value about Meadow Lakes is rural character, open space/nature, and quiet. During the April 05 Community Workshops, an informal straw poll was taken on this issue and over 80 participants voted 8 to 1 in favor of increasing the minimum lot size to sizes ranging from 1.5- 2.5 or more acres.

attractive. Where development does occur, encourage high quality, visually appealing site development and buildings.

3. Create A Pedestrian-Oriented, Mixed-Use Town Center. - The plan identifies the area along the south side of the Parks Highway near the Pittman road intersection as the best town center location. Develop the townsite through public-private partnerships. Public actions include improving vehicular and pedestrian access and transit, and siting public facilities in this area to serve as “anchors” for development.
4. Guide Location and Character of Development - Accept economic development activities, but also establish rules to minimize the environmental and off-site impacts of such activities. Specific strategies to reduce these impacts include:
 - Aim to reduce impacts of potential development, rather than prohibit uses. To carry out this approach the plan establishes land use standards to minimize impacts of development.
 - Discourage certain high impact uses in specific portions of the community, such as sand and gravel operations adjoining stream corridors.
 - Establish a special land use district that requires a conditional use permit for high impact uses and sets rules on the location and magnitude of these activities.
5. Establish a set of Land Use Districts that set out encouraged and discouraged uses and development standards in different parts of the Meadow Lakes area, emphasizing protection of river corridor open space, and concentration of commercial development
6. Prepare a Borough-approved Special Land Use District to implement the Comprehensive Plan’s land use recommendations.

Recreation & Open Space

1. Reserve, Protect and Enhance Natural Features & Open Spaces on Public & Private Land

Almost all the undeveloped areas that give Meadow Lakes its pleasing rural character, and the watersheds that support the area's domestic wells, are private lands. The plan includes development standards to encourage private owners to use their lands in a manner that sustains the character of these lands and waterways. The plan also identifies a system of greenbelts along key stream and river corridors, including the Little Susitna River, Lucille Creek and the wetland/stream system crossing through the center of the community.

2. Retain, Dedicate and Improve a Community Trail System

The community wants to preserve traditional trails and reserve new trail routes, a challenging prospect given the lack of public lands in Meadow Lakes. In response, the Comp Plan recommends several key trail strategies:

- Add roadside trails within existing rights-of-way, along Pittman, Church & Meadow Lakes Loop roads
- Include roadside trails as part of construction or improvement of all future collector roads; with particular priority given to safe access for kids going from home to school, and a trail running east-west along a planned new east-west collector road.
- Reserve trail access into the Baldy Mountain area, following the route of the one section of state land that crosses the Little Susitna River
- Create a master trails plan that identifies critical linkages between residential areas, commercial areas, open space and recreation sites. Over time, negotiate or acquire public trail easements to develop a community wide trail system.

3. Establish System Of Parks, Recreation Facilities And Open Space To Meet Community Recreation Needs. Specific priorities include:

- Complete a community parks master plan
- Work with landowners to develop additional recreational facilities including a public access on the Little Susitna River.
- Improve public lake access, including adding directional signs, trashcans and in some instances neighborhood park kid play facilities, and developing a community lakefront beach park.
- Provide a community park as part of the town center development
- Community Building - Proceed with plans for a community building (see Land Use and Public Facilities chapters); include with this project indoor recreation areas, and outdoor sports facilities.
- Community Park - Reserve site for at least one large community park (20-60 acres); best options are at one of the two large borough parcels.

4. Create a Sustainable Recreation Management System - This may include developing a system so the community, working with the Borough and State, can generate fees from recreation users to cover costs such as emptying trash, maintaining trails and facilities, and providing and maintaining restrooms.

Circulation

1. Guide Planned Expansion Of The Parks Highway To Create An Attractive, Efficient 'Parkway' That Benefits Meadow Lakes
 - Create a controlled access, 4 lane highway, to reduce congestion, provide for efficient flow of through traffic and maximize safety. Minimize driveways and intersections.
 - Encourage the majority of commercial and industrial uses in the Meadow Lakes area to concentrate in several discrete districts, rather the spread along the length of the Highway.
 - Retain existing vegetation or provide landscaping so the large majority of the Highway is lined by trees. Retain several substantial areas adjoining the Parks Highway in a largely natural state, to create a clearer sense of identity for the Meadow Lakes.
2. Retain Church, Schrock, and Pittman As Collector Roads With Minimal Driveways And A Largely Rural, Undeveloped Feel
3. Plan for Future Expansion Of The Residential Road System
4. Identify Roads To Serve As Collectors

As the number of homes steadily increases, many smaller residential roads begin functioning as collector roads (that is, roads that carry traffic from multiple subdivisions). To avoid inappropriate levels of use on residential roads, the Comprehensive Plan identifies a hierarchy of roads – a road system - with higher capacity collectors that are buffered from residential development. Roads identified for collector status include Beverley Lakes and Meadow Lakes Loop Road; routes identified for future collectors include a new east-west route crossing through the center of the community.
5. Other Circulation-related Comp Plan Goals include:
 - Set Appropriate Standards for Road Development and Surfacing
 - Plan for Good Town Center Access
 - Plan For Continuing Railroad Use; Maintain Opportunities for Transit, including Rail and Carpools
 - Improve Road Maintenance

Public Services and Facilities

Several public services and facilities needs have been identified through the planning process. Developing a multi-use community center facility is the overarching highest priority for Meadow Lakes. Public Services and Facilities goals are summarized below:

1. Develop a multi-use community center in Meadow Lakes.
2. Identify and develop other high priority community needs, including emergency access/egress, maintenance of quality and quantity of surface and subsurface domestic water supplies, and land for future schools.
3. Improve the community's capacity to fund development and operation of needed community services and facilities.

Economic Development

The general approach on this topic is to find a balance for maintaining community character while encouraging opportunities for local residents to make a living in Meadow Lakes. There is a particular interest in developing opportunities for youth to find jobs in the community. Specific economic development goals include:

1. Encourage the expansion of job opportunities in the Meadow Lakes area while maintaining the rural character of the community.
2. Maintain recreational resources (open space, trails, lakes, etc.) both for residents and as a basis for attracting out-of-town visitors.
3. Guide the character and location of commercial and industrial development to minimize off-site impacts.

Community Governance & Identity

Residents of Meadow Lakes want to improve their ability to guide growth and manage the demands on the community's resources. The completion of this Comprehensive Plan is an important step in strengthening Meadow Lakes' ability to guide and manage the shape of growth in the community. Residents are also cautious about finding the right level of local governance. The following outlines goals for strengthening the community's identity and addressing the community's control over its future.

1. Establish a stronger, positive image for Meadow Lakes.
2. Create an umbrella organization to provide community facilities and services.
3. Improve communication network (bulletin boards, phone, newspaper, email, newsletter, website, etc.)
4. Narrow priorities to increase odds of success of community projects

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1.0 INTRODUCTION & MAJOR GOALS

1.1 Summary of Plan Contents

Section One: Introduction & Major Goals - Section One (this section) describes the purpose of this Meadow Lakes Comprehensive Plan and the legal basis for comprehensive planning. This section identifies the geographical area that the plan corresponds with; the overarching community goals; the context of this plan; and the planning process and public involvement in creating this plan.

Section Two: Planning Background - Section Two provides a detailed description of Meadow Lakes' social environment; its natural environment; the land ownership and land use patterns in the area; and the community's infrastructure.

Section Three: Major Goals & Strategies - The Comprehensive Plan will only be of value to Meadow Lakes if it helps the community achieve specific objectives, and provides guidance for the Borough investments to meet local priority needs. Section Three breaks down doable actions under each of the six major goals for Meadow Lakes: 1) Land Use; 2) Open Space and Recreation; 3) Circulation; 4) Public Services and Facilities; 5) Economic Development; and 6) Community Governance & Identity.

Section Four: Implementation – As a management tool, Section Four provides a summary of priority projects for Meadow Lakes. It also includes a matrix outlining specific projects that Meadow Lakes has identified throughout this Plan. The Implementation section provides vital guidelines for completing projects by identifying potential lead entities; providing general guidelines for expected capital costs; listing resources for completing projects; and summarizing a tentative schedule for completing projects.

Section Five: Comprehensive Plan Revisions Process – Section Five provides general guidelines for how and when revisions to the comprehensive plan typically take place.

1.2 Purpose

Meadow Lakes is an unincorporated community within the Matanuska-Susitna Borough (MSB) that blends rural living with ready access to jobs and services. This Meadow Lakes Comprehensive Plan was developed by the Meadow Lakes community and local planning team, working with Borough staff and consultants. This Plan is a formal policy statement of Meadow Lakes' community goals and serves as a means for setting priorities, protecting what residents most enjoy about their community today, and guides growth to improve the community's future.

During the planning process between Spring 2003 and Spring 2005, Meadow Lakes' more than 5,000 residents² were invited to provide their input through a survey and multiple workshops. Over 400 Meadow Lakes residents participated in this planning effort.³ A voluntary group of residents—the Meadow Lakes Community Planning Team — were

² 2002 Data, AK DCED/US Census.

³ The MSB Planning Department sent out 3,910 survey forms to all property owners of record within the Meadow Lakes Community boundaries and received 367 responses, or 9.3% of mailed survey forms (May – June 2003); residents also participated in a Meadow Lakes Community Workshop May 5 and 8, 2004 (110 attendees, and 65 on the respective days).

instrumental in developing this plan. Their many, many hours of work included background research, coordinating public workshops, conversations with local residents and interest groups, and reviewing and stepping in to draft major sections of the plan. The result is this comprehensive plan that has been prepared to represent what the community seeks for its future.

I.3 Legal Basis for Comprehensive Planning

Comprehensive plans are long-term formal planning documents that state goals of a community and identify priority projects. Although comprehensive plans include land use guidelines, the comprehensive plan is not a zoning ordinance, an application for incorporation, or a method of taxation (see Table 2: What a Comprehensive Plan Is & Is Not).

This Comprehensive Plan serves as Meadow Lakes' portion of the Borough-wide Comprehensive Plan that is required by Alaska Statutes under Title 29.40.030. This provision mandates that second-class boroughs, like the Matanuska-Susitna Borough (MSB), adopt a comprehensive plan as a "compilation of policy statements, goals, standards, and maps for guiding the physical, social, and economic development, both private and public" as part of their area-wide borough responsibilities. The Plan also meets specific borough requirements adopted under MSB Title 15.24.030 - that comprehensive plans be developed to:

- Promote safety for vehicular and pedestrian traffic, prevent congestion and preserve the function of roads;
- Secure safety from fire, flood, pollution, and other dangers;
- Promote general health and welfare;
- Promote for orderly development with a range of population densities in harmony with the ability to provide services efficiently, while avoiding overcrowding of population;
- Provide adequate light and air;
- Preserve the natural resources;
- Preserve property values;
- Promote economic development; and
- Facilitate adequate provision for transportation, water, waste disposal, schools, recreation, and other public requirements.
- Once passed by the Meadow Lakes Community Council and the MSB Assembly, this document will provide policy direction until modifications, future planning, or other actions provide a change of course.

Table 2 – What A Comprehensive Plan Is & Is Not

A Comp Plan is:	A Comp Plan is NOT:
A statement of community goals	A zoning ordinance
A formal document	An application for incorporation
A means of setting priorities	A method for taxation

1.4 Planning Area

The area covered by this plan is the Meadow Lakes Community Council area. This area is roughly seven by eight miles in size - or approximately 230,000 acres – and is located between the cities of Wasilla (east) and Houston (west); the community of Big Lake (south); and Baldy Mountain (north). More specifically, the Community Council boundaries extend on the north into the Talkeetna Mountains, roughly three miles above the Little Susitna River. The southern boundary runs parallel to and roughly two miles south of the Parks Highway, in the vicinity of Lucille Creek. The City of Houston borders to the west; the City of Wasilla to the east and generally following along Church Road. The Parks Highway enters Meadow Lakes on the east at Mile 45 and exits the area on the west at Mile 52 (see Map 1: Meadow Lakes Community Council Boundary and Land Ownership).

1.5 Community Goals

Throughout the planning process, the Planning Team and participating residents focused on six broad goals for the Meadow Lakes community's future:

- Land Use
- Recreation and Open Space
- Public Services and Facilities
- Circulation
- Economic Development
- Community Governance and Identity

Building from this set of broad goals, the Meadow Lakes Comprehensive Plan explores how the community, the Borough, State agencies, and other entities can best serve residents, land owners and businesses in the area, while maintaining Meadow Lakes' quality of life and natural setting - especially if the sustained growth of the past few years continues into the future.

1.6 Planning Context

Meadow Lakes' natural features create an ideal setting for semi-rural living. Located in the Susitna River Basin, just below the more protected south-facing slope of the Talkeetna Mountains, Meadow Lakes is defined by its abundance of scenic lakes where residents can affordably live in a secluded, natural setting, while still having easy access to major employment and shopping centers in nearby Wasilla (10 minutes), Palmer (25 minutes) and Anchorage (60 minutes).

Meadow Lakes' proximity to world-class recreation and visitor attractions adds another dimension to residents' quality of life. Mt. McKinley, within the Denali National Park, and the Alaska Range are visible more than 200 miles to the north. This attraction brings tourists from around the world directly through Meadow Lakes by way of the Parks Highway. The volume of tourists traveling through the area number in the thousands per day during the peak season summer months. Close to home, the Hatcher Pass State Management Area borders Meadow Lakes to the north, and the Little Susitna River is literally enjoyed by some residents outside their back door. Additionally, Big Lake, Nancy Lake, the Deshka River and a number of other regional recreation destinations are easily accessible for weekend use.

As a community, Meadow Lakes currently enjoys some of the best elements of all worlds. In this scenic, semi-rural setting the Community Council is the primary form of governance, and residents have low taxes compared to neighbors residing further east and south. Yet residents enjoy a high level of access to services and infrastructure due to Meadow Lake's proximity to larger more developed communities, and easy access to major transportation systems.

This unincorporated community has attracted many people who prefer privacy, low taxes, and who like the voluntary, less structured approach to community governance. The current population base of about 5,316 residents in 2002⁴ say they moved to the area to "get away from the city" and enjoy "seclusion close to town services", or because it is "undeveloped, with little commercialism" as well as "the people and the space."⁵

Although Meadow Lakes' name recognition may not currently be strong with a number of Alaskans—or even with the majority of travelers along the Parks Highway—many residents consider their community to be one of the best places to live in Alaska. Residents, overall, voiced a sense of satisfaction with their community's small town feel and natural setting. Many expressed a desire that Meadow Lakes remain low-key and off the beaten track.

Meadow Lakes, however, may not be able to maintain its quiet and slower pace of life. The community has grown tremendously over the past 12 years (at 120%) rivaling the population growth in Wasilla (see Table 3: Meadow Lakes Population Trends). Between 1990 and 2002, the population of communities from Wasilla to Talkeetna has almost doubled. This suggests that the population explosion in Wasilla has caused people to seek land in the communities to the west where the rural lifestyle and low cost of housing is still available.

As long as Alaska's economy remains strong, it appears that Meadow Lake's growth will continue. The community has extensive vacant private land, and much of this land is

⁴ Alaska DCED/US Census 2002 data.

⁵ Meadow Lakes property owners survey responses.

physically suited for development. For example, there are currently nearly 2,000 vacant subdivided lots of less than five acres in the the Meadow Lakes Community Council area.⁶ In addition, many thousands of acres of private land are available in larger acreage parcels that could be subdivided in the future.

Some residents are pleased with growth as long as it raises their local property values, and helps them to benefit from investments in “future development potential”⁷. It also creates an economy of scale that could mean a small business district, a new high school, jobs, vocational training and youth programs, and other perceived benefits for residents.

However, “rapid growth” and “all the new growth” were big concerns for other residents.⁸ If the growth continues, then what Meadow Lakes is like in five, ten, or twenty years depends to a great degree on how the community responds to these serious questions that were raised and discussed at length during the Comprehensive Plan process:

- Will the area lose the characteristics that attracted us to Meadow Lakes in the first place (privacy, quiet, scenic beauty, nice people, rural feel)?
- Will we lose our access to lakes and trails, and ability to recreate from our back door?
- How do we address growing problems of trash, vandalism, dust, noise, dogs, drug use, etc.?
- How do we address new service and infrastructure needs?
- Will growth drive us to have higher taxes, and an increased level of government (incorporation, annexation by Wasilla)?

Within this context, the challenge of this Comprehensive Plan has been to define how actively Meadow Lakes want to shape their future, and to provide strategies for achieving community goals no matter what changes the future brings.

Table 3 – Meadow Lakes Population Trends

Year	Population
1980	N/A
1990	2374
1999	5232
2002	5316

Source (AK DCED/US Census)

Meadow Lakes Percentage 10 year growth: 120 % population

⁶ Based on 2004 information provided by the MSB assessors office as compiled by Agnew::Beck. These data show 659 two to five acre lots (37% vacant); 1495 one to two acre lots (47% vacant); and 1957 lots of less than one acre (56% vacant). In many instances, a single owner may own several adjoining lots, use one parcel for a residence, and intend to keep the adjoining parcels vacant.

⁷ Meadow Lakes property owners survey responses.

⁸ Meadow Lakes property owners survey responses.

I.7 Planning Process & Public Involvement

“It is the intent of the Matanuska-Susitna Borough government to learn of and respect each community’s desires for its present and future way of life and to insure that these desires become each community’s portion of the Mat-Su Borough Comprehensive Plan.” - Assembly Resolution 86-7

The MSB Code encourages communities to develop Comprehensive Plans (Assembly Resolution 86-7; PC Resolution 93-27) and helps communities prepare and implement Plans by providing technical assistance, background information, staff or consultant support, and the opportunity to take part in the Borough’s annual capital improvements programs. This plan was sponsored by MBS’s Planning Department and completed by Agnew::Beck Consulting working with Land Design North in 3 phases.

Phase 1 of the project included creation of a Meadow Lakes Planning Team, preliminary research and analysis, a formal community survey and analysis, preparation and circulation of a Comprehensive Plan informational mailer and the creation of an “Issues and Goals” report. Phase 1 culminated with the first Community Workshops, held May 5 and 8, 2004. At the end of Phase 1, goals, and general strategies to reach these goals, were identified as a basis for Comp Plan development.

Phase 2, which encompassed summer 2004 through winter 2004/05, focused on developing practical strategies to accomplish the goals identified in Phase 1 consistent with community values. Phase two’s culmination is this Comprehensive Plan, reflecting the community’s input from the first workshop and work by the Planning Team, Borough Staff, and the Consultants.

Phase 3, the final phase of the process, includes a review of the Comprehensive Plan, delivery of a final Comprehensive Plan to be approved of and officially adopted by the Meadow Lakes Community Council and the MSB Planning Commission and Assembly.

MSB’s Assembly recognizes that public involvement and knowledge of community desires are key to a successful Comprehensive Plan. The planning effort for Meadow Lakes, initiated in the spring of 2003 and completed in October 2004, was designed to gather resident’s input in a variety of ways that are listed in the Table 4: Public Involvement & Input Summary.

Table 4 - Public Involvement and Input Summary

A.	May 2003	Issues identification survey sent to all Meadow Lakes Boxholders with notification of project initiation
B.	June 2003	Comprehensive planning issue survey mailed to all Meadow Lakes property owners
C.	Apr. 2004	Meadow Lakes Comprehensive Planning Issues and Goals Brochure mailed to all boxholders summarizing initial findings, and announcing upcoming public meetings, and availability of full Issues and Goals report
D.	May 2004	Community Planning Workshops (two days)
E.	Ongoing	Coordination and discussions with the Meadow Lakes Community Planning Team
F.	Ongoing	Discussions with land and business owners, agencies, and large land owners like the Alaska Railroad and the University of Alaska
G.	Feb 05	Release of this Comprehensive Plan for Community Review
H.	Spring 05	Formal Review, Revision and Adoption of the Comp Plan

A. Issues Identification Survey

In May 2003, surveys were sent to all box holders in the Meadow Lakes area, asking questions to help identify community plan issues for further study and discussion in the planning effort. Overall, more than 350 responses were received.

B. Comprehensive Planning Issue Survey

In June 2003, the Matanuska-Susitna Borough Planning Department mailed 3,910 survey forms to all property owners of record within the Meadow Lakes Community boundaries. The survey was intended to assess general information; where people worked, how long they lived in Meadow Lakes, and information about the households size and demographics. Most questions asked about preferences for services and facilities or opinions about community values. The survey was a precursor to the community-wide visioning process designed to identify issues of concern, desired future development and facilities and help direct community projects.

The surveys were bulk mailed with addresses provided by the Borough assessors office and represented the best know addresses at that time. The survey form provided for a self-return with postage prepaid by the borough. Mailings began the week of May 5, 2003 and forms were marked with a return deadline of June 9, 2003. The Mat-Su Borough Planning department received 367 responses or 9.3% of the mailed forms. The percentage of residents versus non-residents from the Borough mailing list of 3,910 addresses compares well (standard deviation 0.006) with the survey results and indicates that respondents were representative of total population of residents and non-residents. The summary of these surveys is provided on the following pages.

Summary of Survey Results:

Amongst respondents to the survey, 33% had lived in Meadow Lakes for less than three years (see Figure 1). The second largest group of respondents had lived in Meadow Lakes for 20 years.

25% of respondents to the survey rated 'location and rural setting' as the reason they live in Meadow Lakes (see Figure 2). Other top responses include 'quietness', 'nature/recreation' and 'lakes'. Most adults and students agree that Meadow Lakes is a good place to live and that lakes, wetlands and water quality are important. However, students were more in favor of additional recreation programs and bike trails than adults (see Figure3).

Figure 1 – Residency Trends in Meadow Lakes

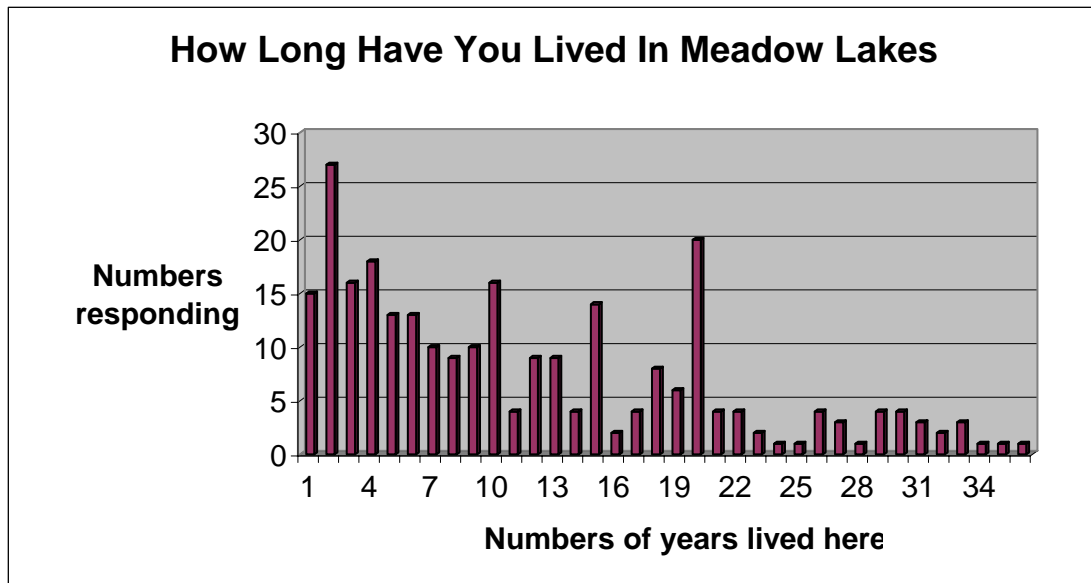


Figure 2 – Why Residents Live in Meadow Lakes

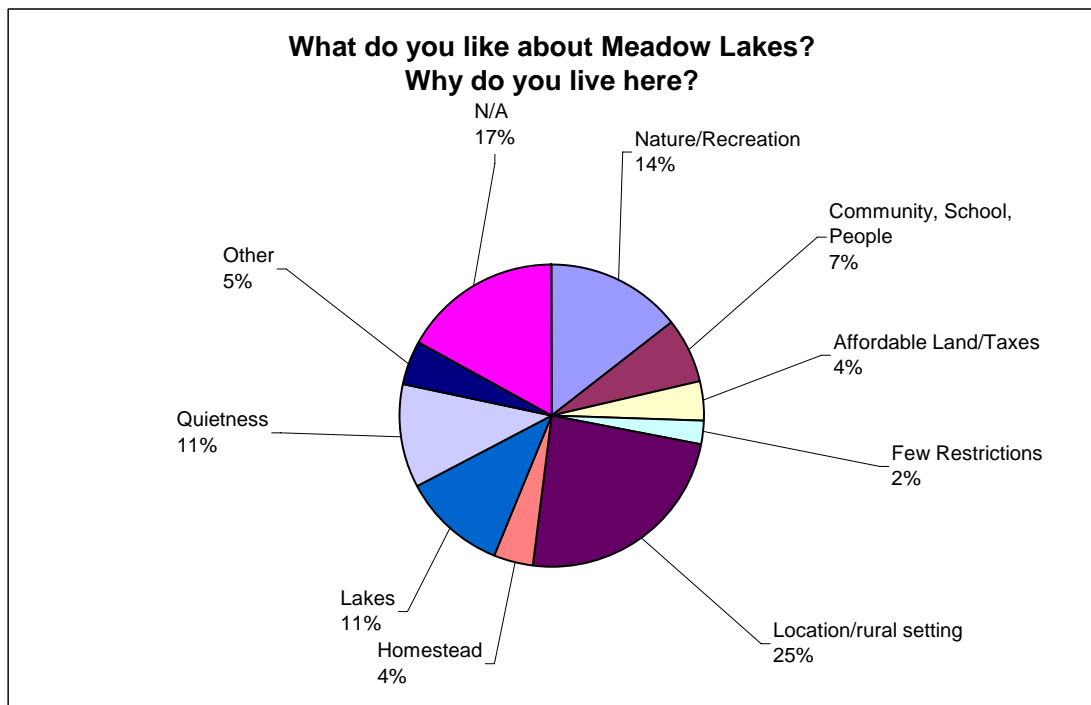
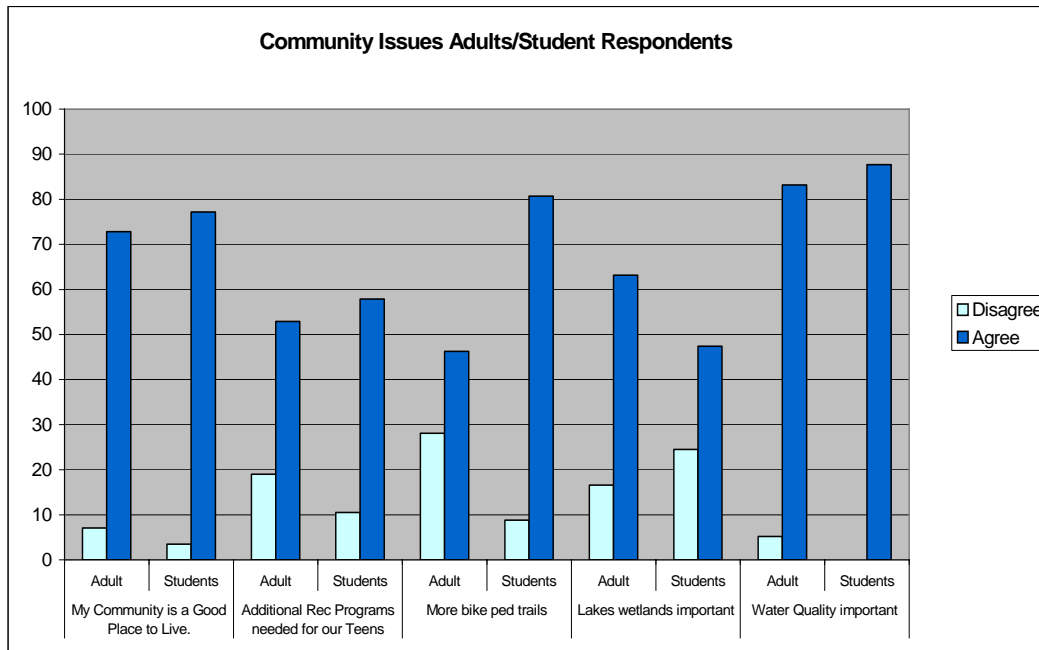
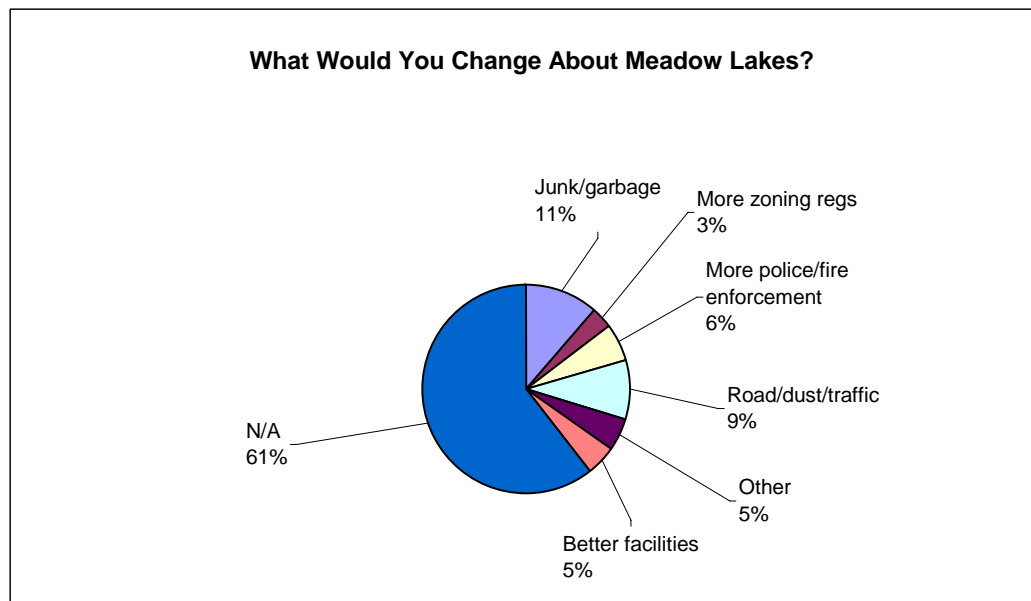


Figure 3 – Community Issues – Comparison of Adults and Students



When asked what they would like to change about Meadow Lakes (see Figure 4), most respondents (61%) did not give an opinion. This is significant because it demonstrates a general contentment with the status quo. However, if residents seek to preserve the qualities they enjoy in Meadow Lakes, while the population in the area and the region continue to grow, some planning for the future is necessary.

Figure 4 – What Residents Would Like to See Change in Meadow Lakes



Of those who responded, the most common issues were cleaning up junk and garbage and solving congestion and dust problems with area roads.

Similarly, when asked what residents don't like about Meadow Lakes, 36% did not answer the question. Of those who responded, 'junk/litter' topped the list with 18%, with 'road/access problems' and 'not enough regulations/ enforcement' with 14% and 10% respectively.

When asked what kind of development residents would prefer to see for the future of Meadow Lakes, respondents favored single family residences, road access, open space, clinic/ EMT and parks. Respondents did not favor multi-family residences, heavy industry or cemeteries. 42% of respondents favored lot sizes between 1 and 2 acres. 25% of respondents 'strongly disagreed' that more residential growth is desirable in Meadow Lakes. This seems to indicate a preference for maintaining a relatively low-density, rural community.

29% of respondents commute to Anchorage for employment, 48% work somewhere in the MSB. 19% of respondents operate home-based businesses. This is a niche that could be further explored for small-scale tourism related businesses, Internet-based employment such as data processing, or small-scale manufacturing and marketing, such as crafts.

Overall, the survey indicates many areas where residents are neutral or evenly split over the desirability of added services. Points where considerable agreement is evident include:

- Respondents support additional recreation programs for teens
- Respondents agree that medical services are needed in Meadow Lakes
- Road maintenance is not considered adequate
- Respondents believe that Meadow Lakes is a good place to live and that what other people think of Meadow Lakes is important
- Well and septic systems are functioning adequately for most respondents
- Lakes and wetlands, air and water quality are important and should be protected
- Dust control on neighborhood roads is needed
- Signs should be limited in size and content
- Heavy industrial growth is not needed

C. Issues and Goals Report

In April 2004 an Issues and Goals report was produced. A brochure summarizing the report was mailed to all Meadow Lakes box holders, including preliminary research, the community survey findings and analysis, preliminary Comp Plan goals based on the survey and an announcement and supplemental material to prepare residents for participation in the Community Workshops, held May 5 and 8, 2004. A summary of the Issues and Goals Report is provided in Appendix A at the end of this document.

D. First Community Workshop

The purpose of the Community Workshops was to define a broad vision and outline main goals for the Meadow Lakes Community's future, based on community-wide values. The two-day workshop had good public participation and progress was made toward a vision for the future of Meadow Lakes.

About 110 people attended Thursday night's session, which included a presentation on the project (background, Comp Plan process, strategies and goals for the future) and facilitated

break-out sessions on Land Use, Circulation, Recreation & Open Space, and Public Services & Facilities.

Saturday's session saw about 65 attendees. The consultants presented a PowerPoint slide show summarizing Thursday's break-out session. This was the basis for a lengthy, constructive large-group community discussion. The points raised Thursday were generally affirmed on Saturday by the group, and more suggestions were offered about goals and specific strategies. All of the feedback from both workshops was recorded for use in the Comp Plan.

Additional Feedback and Research Needed

Suggestions were made about new information needed for the Comp Plan process – and means to get feedback from a greater portion of the Meadow Lakes population. Some people expressed a desire to better learn the intent of private landowners regarding future use of their lands, or at least to get more data about existing uses. Others were interested in involving younger residents (middle-school and high-school-aged children and teenagers) for educational purposes, and also in recognition that they would be directly affected by decisions made as part of the current Comp Plan process. Still others were hopeful that the process would continue to engender a sense of community, volunteerism and responsibility which would help carry the Comp Plan forward.

E. Coordination and Discussions with the Meadow Lakes Community Planning Team

A voluntary group of residents established by the Meadow Lakes Community Council and MSB played a significant role in developing the Comprehensive Plan and in obtaining local input by coordinating meetings, working to involve residents and major interest groups, gathering information, and helping to prepare the comprehensive plan.

F. Discussions with Land and Business Owners, Agencies, and Large Land Owners like the Alaska Railroad and the University of Alaska

Over the course of the project, the Planning Team has sponsored presentations by key parties whose actions are likely to influence the future of the community. Presentations and discussions occurred throughout this planning process.

G. Release and Review of the Draft Comprehensive Plan

In March 2005, the draft comprehensive plan was completed and released for public comment. During the public comments phase of reviewing the draft plan, there were several ways for the Meadow Lakes community to give their input. First, was a Community Workshop held at the elementary school in Meadow Lakes on April 7, 2005 from 6:30 pm – to 9:30 pm and again on April 9, 2005 from 9:00 am to 1:00 pm (see Appendix B: Workshop Flyer). Second, the draft comprehensive plan and comments forms were available online at www.agnewbeck.com where they could be downloaded and printed (see Appendix C: Comments Form). Comments were mailed to Agnew::Beck Consulting, ATTN: MEADOW LAKES COMP PLAN COMMENTS, 441 West 5th Avenue, Suite 202, Anchorage, AK 99501. Third, comments were also faxed to (907) 222-5426 or emailed to maryanne@agnewbeck.com with subject line “MEADOW LAKES COMP PLAN

COMMENTS.” The deadline for submitting public comments on the draft comprehensive plan was April 29, 2005.

H. Steps to Complete the Review and Approval of the Draft Comp Plan

After the public comments phase, the Meadow Lakes Community Planning Team again reviewed and revised the draft comprehensive plan. Once approved, the Planning Team will pass it on to the Meadow Lakes Community Council for approval. Once the comprehensive plan has been approved at the local level, the Borough’s Planning Commission will review and approve the plan. Finally, the Borough Assembly will review and approve the comprehensive plan to be formally and legally adopted. Once formally adopted, a Borough code ordinance adopting the plan will be completed. This code ordinance adopting the plan will also be included in the final comprehensive plan.

Once formally adopted, it will be the responsibility of the Meadow Lakes Community Council to work on implementing the comprehensive plan. The Council will work with others in the community and the Borough to take steps to accomplish the goals of this comprehensive plan. Since comprehensive plans are long-term (typically 20-year) planning documents, they are typically reviewed and revised every five years to identify successes and changes in implementing the plan. Any changes to the comprehensive plan require local approval as well as review and approval by the Borough Planning Commission and Borough Assembly.

2.0 PLANNING BACKGROUND

2.1 Social Environment

SETTING AND SOCIAL CONTEXT

Over the past thirty years, Meadow Lakes has evolved from an area of wilderness homesteads into one of Alaska's fastest growing residential communities. This growth reflects a combination of three key factors: an abundance of privately-owned, developable, and relatively low cost land, Meadow Lakes' attractive rural setting, and easy access to growing employment and shopping centers via the Parks Highway.

Located within the Matanuska-Susitna Borough—currently the fastest growing borough in the state—Meadow Lakes has doubled its population over the past 12 years to more than 5,000 residents. Generally, the Meadow Lakes area attracts young, middle-income families seeking a rural lifestyle that is accessible and affordable. A large majority of those who live in Meadow Lakes work outside the community. According to survey results collected in 2003 by the Mat-Su Borough, 10% of the local working population has jobs in Meadow Lakes; an additional 38% work in other areas of the Mat-Su Borough; and 29% work in Anchorage.

While a setting for rapid residential growth, most land in Meadow Lakes remains undeveloped. Residents continue to enjoy many of the freedoms found in a rural setting. This is further enhanced by residents' access to an abundance of scenic lakes and natural features that have attracted people to the area for centuries.

Arriving approximately 2,000 years ago, the Athapaskan people found a bountiful subsistence area between three major river systems, namely the Susitna, Matanuska and Knik Rivers that discharge into Knik Arm, in Upper Cook Inlet. The numerous lakes located within Meadow Lakes, were an important component of that region. The district provided plenty of sources for fresh water; and the potential for rich harvests of geese and water fowl, that were hunted and caught in early spring and late fall from the edges of marshes. Worked stone tools have been found in Meadow Lakes attesting to its early occupation.

Early residents hunted and snared numerous, small, fur-bearing animals frequenting the area. A variety of herbaceous vegetation, spruce and birch trees yielded a diversity of foods, medicines, berries and raw materials for tools. In summer and fall, salmon returned to spawn in local rivers and streams and provided an important subsistence food.

Early inhabitants entering this subsistence-rich region abandoned their entirely nomadic seasonal cycles to adopt a more sedentary life style. They built their dwellings near inland lakes protected from marauding Alutiiq coastal raiding parties. Most of the villages consisted of a cluster of semi-subterranean houses occupied by extended families. Each grouping had a chief or rich man that took care of the families. Villages were occupied predominantly during the winter months between November and March. In spring and early fall fish camps were set up at the mouths of major waterways to take advantage of the anadromous fish runs. Late in the fall the men hunted for large animals while the women picked berries and trapped smaller fur bearers.

It is unknown how far inland the coastal Alutiiq people lived. They occupied Outer Cook Inlet, Kenai Peninsula and Upper Cook Inlet, Knik Arm coastal regions, prior to arrival of

the Athapaskans. The incursion of the Athapaskan people pushed the Alutiiq out of Upper Cook Inlet and the Kenai coastal areas. Linguistic studies show that the first Athapaskans to reach the Matanuska and Susitna region were the Dena'ina. Later the Copper River Ahtna moved into the region from the northeast, predominantly settling near upper Matanuska River. Often wintering over in the lower valley, they mingled and intermarried with the Dena'ina.

After Russian contact, Athapaskans, located near Russian outposts on the Kenai Peninsula, traded briskly for furs with the Upper Cook Inlet Dena'ina. As small furbearing animals of this region became scarcer, Dena'ina chiefs went north and west trading for furs procured from Dena'ina further inland. Acting as middlemen, the chiefs became rich in imported trading goods during the early and mid-nineteenth century. The 1840 small pox epidemic significantly changed this region's demographics. Over 50% of the native population perished from the disease. Soon thereafter the Dena'ina started to abandon traditional home lands in favor of coastal villages and the established trading posts. In 1867 Russian Alaska was sold to the United States. Although the fur trade continued to be a major economic force in the region, prospectors soon started arriving in search of gold. Located just north of Meadow Lakes, the Talkeetna Mountain Range attracted early prospectors seeking placer gold in the Little Susitna and tributaries of Willow Rivers.

Knik townsite was established as a direct outcome of the late nineteenth century Upper Cook Inlet gold rush. It was situated on the west side of Knik Arm. The settlement generated numerous new trails radiating out to various mining concerns. It is quite probable that by the turn of the twentieth century, Meadow Lakes became an important wood harvesting area to supply west Hatcher Pass placer mines with lumber for sluice boxes and after 1906 timbers for underground quartz mining.

For the next fifty years a sparse population of gold miners, trappers and woodsmen inhabited the area. Homesteaders settled the area after World War II, and the area continued to develop after a Department of Natural Resources land disposal during the mid-1960s.⁹ The remoteness and beauty of the area, encompassing numerous lakes and streams, helped to attract the first homesteaders to the area. Homesteaders were motivated by the prospect of owning their own land through hard work. Homesteading laws required them not only to build their homes on their respective properties, but to clear and farm their lands before they could own it. A number of families took advantage of the Homesteading Act contributing to permanent settlement in Meadow Lakes.

Between 1975 and 1985, following construction of the oil pipeline from the North Slope to Valdez, the area sustained a boom in house construction. During that period a number of homesteaders profited from creating new housing developments by subdividing their land. By the late 1980s, during an economic slump, Meadow Lakes (similar to other regions of the valley) suffered attrition in population. In the twenty first century Meadow Lakes is now experiencing a resurgence in population as people, once again, are seeking to build within the beauty and tranquility of Meadow Lakes.

⁹ State of Alaska, Department of Commerce, Community and Economic Development (DCCED), Division of Community Advocacy, Alaska Community Database Community Information Summaries (CIS), Meadow Lakes – History, Culture and Demographics.

POPULATION TRENDS

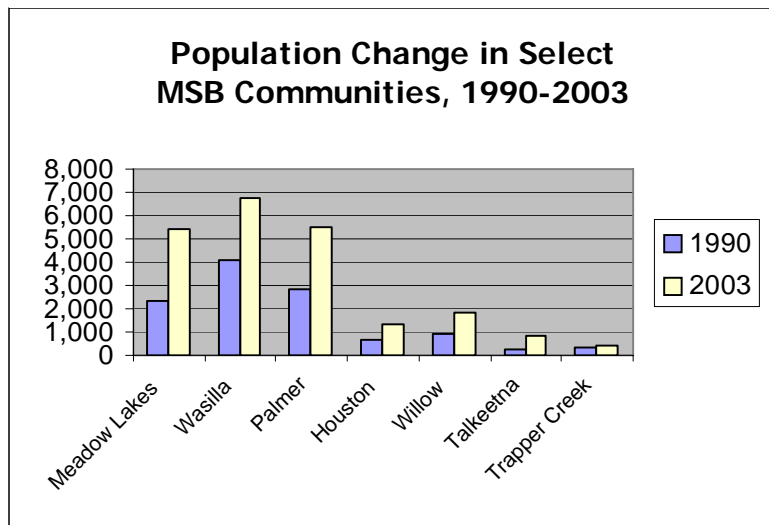
Within the rapidly growing Matanuska-Susitna Borough, over a remarkably short period of time, places like Wasilla have gone from just a handful of buildings and residences, to large diverse communities. Wasilla was a sleepy, wide spot in the road with a population of 300 people in 1974; in 2000 the population was 5,469. The Matanuska Susitna Borough population grew from 39,683 to 59,322 between the 1990 and 2000 census, an increase of almost 50% in 10 years. In contrast, Alaska's population as a whole grew 14% in the same period.

Most of the Borough's growth took place in Wasilla, Palmer, and surrounding areas (see Figure 5: Population Change in MSB Communities). These communities are evolving from being primarily bedroom communities for Anchorage, into cities with much expanded retail and commercial services sectors. Meadow Lakes has attracted much of this growth and its population has grown remarkably within the past 12 years, reaching 5300 people in 2002, and making Meadow Lakes one of the fastest growing and largest areas in the borough.

Over the next twenty years, if the state economy stays healthy, recent growth trends for the Matanuska Susitna Borough are likely to continue and Meadow Lakes could easily again double in size, especially given the following characteristics:

- Convenient location near major employment centers, in Wasilla, Palmer and Anchorage
- Improvements in transportation, in particular, continued upgrades to the Parks Highway, and the possible construction of the Knik Arm Bridge (this latter project would not appreciably change commuting times between Meadow Lakes and Anchorage, but would likely increase the overall rate of growth in the southern Borough)
- Large supply of undeveloped private land, physically suited for development including nearly 2000 vacant subdivided lots of less than 5 acres in the community¹⁰ and many thousands of acres of private land in larger parcels that could be subdivided in the future.
- Land prices that continue to be relatively low compared to Anchorage.

Figure 5 – Population Change in MSB Communities



¹⁰ Based on 2004 information provided by the MSB assessors office as compiled by Agnew Beck. These data show 659 two to five acre lots (37% vacant); 1495 one to two acre lots (47% vacant); and 1957 lots of less than one acre (56% vacant). In many instances, a single owner may own several adjoining lots, use one parcel for a residence, and intend to keep the adjoining parcels vacant.

Over the first three years of this decade, growth in Meadow Lakes had slowed to a rate comparable to the MSB as a whole (State of Alaska Department of Labor, Research and Analysis), after being higher than the MSB as a whole for twelve years. While the rural atmosphere of Meadow Lakes gives the impression of a smaller population, there were actually more people living in Meadow Lakes than Palmer in the 2000 Census: 4,819 in Meadow Lakes vs. 4,533 in Palmer. Figure 5 (above) and Table 5 (below) show that between 2000 and 2003 Meadow Lakes continued to grow, increasing by 624 people.

Table 5 – Average Annual Growth in MSB Communities

					average annual growth		
		1990	2000	2003	90-00	00-03	
Population							
	Meadow Lakes	2,374	4,819	5,443	7.3%	3.7%	
	Wasilla	4,049	5,469	6,715	3.1%	6.3%	
	Palmer	2,866	4,533	5,474	4.7%	5.8%	
	Houston	697	1,202	1,339	5.6%	3.3%	
	Willow	932	1,658	1,838	5.9%	3.2%	
	Talkeetna	250	772	847	11.9%	4.8%	
	Trapper Creek	296	423	426	3.6%	0.2%	
	Mat-Su Borough	39,683	59,322	67,473	4.0%	4.0%	
	Anchorage Municipality	226,338	260,283	274,003	1.4%	1.6%	
	State of Alaska	550,043	626,932	648,818	1.3%	1.1%	
Source: US Census 2000; State of Alaska, Department of Labor and Workforce Development							

RESIDENT CHARACTERISTICS

When compared with MSB as a whole, Meadow Lakes falls close to average on all of the social indicators listed in the table below. The population is slightly younger than average, with more young children and fewer seniors. There is also a slightly higher rate of employment in Meadow Lakes as compared with MSB as a whole.

Both Meadow Lakes Elementary and Houston Junior and Senior High Schools are experiencing an increase in enrollment, while Wasilla is experiencing a decline in enrollment (see Table 6: School Enrollment Trends). Meadow Lakes Elementary was reduced from a K-6 program to a K-5 program at the end of the 2002-2003 school year. School officials estimate that if the school were still accepting sixth grade students, current enrollment would be 475 students (Meadow Lakes School, personal communication). Again, these data indicate that the qualities of life that have historically spurred population growth in MSB's Core Area (rural lifestyle, access to recreation, etc.) are now spurring growth in the outlying communities which have maintained those qualities as the Core Area has grown.

Table 6 – School Enrollment Trends

	2001	2002	2003
Wasilla Middle/High	2016	1793	1818
Houston Middle/high	559	594	667
Meadow Lakes Elementary	348	413	418

Among respondents to the survey conducted in 2003 by the Meadow Lakes Community Council and MSB, described in Section One, 33% had lived in Meadow Lakes for less than three years. The second-largest group of respondents had lived in Meadow Lakes for 20 years. This suggests Meadow Lakes is a community containing a group of older residents who chose to live in the community when it had little in the way of services, and was a very rural area on the outskirts of Wasilla – what was then a very small town. Added to this group now is a more recently arrived segment of residents. These newer settlers may hold values similar to those of longer-term residents, but are choosing to live in Meadow Lakes for slightly different reasons – because of the combination of rural setting with close proximity to employment opportunities and other services.

SUMMARY OF SOCIO-ECONOMIC INFORMATION

Table 7 – Socio-Economic Information on Meadow Lakes

House District	<u>15</u>
Senate District	<u>H</u>
Population: 1980	<u>N/A</u>
Population: 1990	<u>2,374</u>
Population: 1999	<u>5,232</u>
Population: 2002	<u>5,316</u>
Percentage 10-Year Growth	<u>120%</u>
City Type	<u>Unorganized Community Council</u>
Area	<u>67 square miles</u>
Recording District	<u>Palmer</u>
Major Road Access	<u>George Parks Highway</u>
Percent Native Population	<u>8.1%</u>
Median Age	<u>32.7</u>
2000 Housing Units	<u>2,003</u>
Percent Seasonal Housing	<u>7% (138 dwelling units)</u>
Median House Value	<u>\$105,300</u>
Median Household Income	<u>\$41,030</u>
Percent Below Poverty	<u>17.1%</u>
Percent Not Seeking Work	<u>41.7%</u>
Top Employment Categories	<u>Education-Social Services</u> <u>Retail</u> <u>Arts-Entertainment</u>

EMPLOYMENT & INCOME DISTRIBUTION

According to the survey conducted in 2003 by the Meadow Lakes Planning Team and MSB, 48% of employed Meadow Lakes residents work within the MSB; 29% commute to Anchorage.

According to the US Census 2000, Meadow Lakes has a comparably high poverty rate with 17.1% of the population living below the poverty line, compared to 9.6% in Wasilla (a rate

only slightly higher than the state as a whole: 9.3%). The median household income in Meadow Lakes (\$41,030), however, is comparable to Wasilla's (\$48,226), which indicates an income gap between wealthy and lower income residents. That is, in order for there to be similar median household incomes in the two communities simultaneous with a divergence in poverty rates, there must be a significant number of wealthier residents in Meadow Lakes to offset the considerable number of lower-income residents indicated by the higher poverty rate. This observation is further borne out by the higher rate of houses lacking complete plumbing and kitchen; in Meadow Lakes the rate is between 11-12%, while in Wasilla the rate is nearly 1%. (See Table 7: Socio-Economic Information on Meadow Lakes.)

HOUSING VALUES

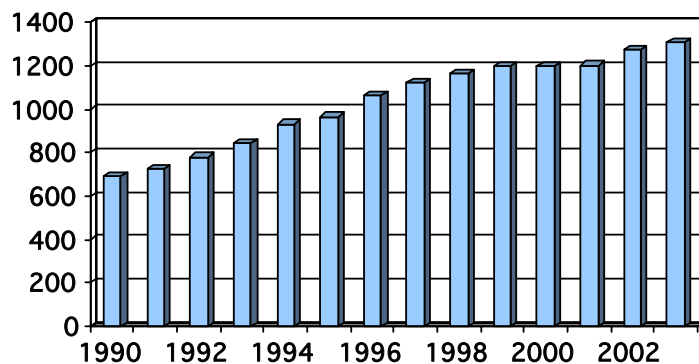
Buying a house in Meadow Lakes continues to be affordable by general MSB standards. The median value of homes in the Meadow Lakes area is \$105,300, compared to MSB's average of \$125,800 and the state average of \$144,200. There are seven houses per square mile in the total Meadow Lakes area, compared to approximately two houses per square mile in MSB overall (US Census 2000). The higher density in Meadow Lakes can make providing services less expensive than areas where the population is more spread out.

TOURISM GROWTH RATES IN ALASKA

Like Alaska as a whole, tourism grew dramatically in MSB between 1990 and 2000. Most recently, as Figure 6: Out-of-State Visitors Trends for Alaska shows, out-of-state visitors to Alaska have continued to grow, but at a declining rate.

While Meadow Lakes is not an important destination for visitors, there is potential for recreation-related visitors, if amenities were developed on the area's lakes and trails. The portion of the community adjoining the Parks Highway, a main corridor for out-of-state visitors, could attract greater commercial activity if the area was developed in a manner that encouraged visitors to stop their cars and spend time and money in the area.

Figure 6 –Out-of-State Visitors Trends for Alaska



Source: Alaska Visitor Statistics Program and ATIA

ECONOMIC ENVIRONMENT

Over the last two decades, while the Matanuska Susitna Borough has almost doubled its population, tourism and residential amenity-driven growth has expanded dramatically. This positive economic growth in the region is an outgrowth of larger Alaska economic trends including:

- **Federal Spending:** Alaska currently receives more federal funds per capita than any state in the US. (Approximately \$7.50 back for every dollar we pay in). One in three jobs in Alaska depends on these federal funds.

- Oil: Federal spending along with the oil industry accounts for two thirds of Alaska's jobs; production losses in recent years have been offset by strong oil prices.
- Tourism: In the summer of 1985 it is estimated that 431,200 out of state visitors took trips to Alaska. By the summer of 2001 this number was up the 1,202,800¹¹, with almost half (43% - 517,204 people) visiting Denali, located to the north of the Matanuska-Susitna Borough. This growth was part a global upsurge in tourism between 1990 and 1998, wherein pleasure travel volume in the United States grew by 45 percent. By 2000, World Travel and Tourism Industry (WTTI) estimates that worldwide the travel and tourism industry provided one in every 12.4 jobs, and was the fastest growing and largest industry in the world.

These strong points of Alaska's economic growth may continue in to the future, especially if oil prices remain high and military spending increases in Alaska. However, these current trends should be balanced against the following notable concerns:

- The sectors of Alaska's economy that did grow over the last decade – services and tourism – generally offer low average salaries and are seasonal.
- There have been declines or stagnation in major sectors of the Alaska economy – commercial fishing, forestry, mining and state and local government spending.
- Current federal spending levels in Alaska are not apt to continue at current levels indefinitely.
- Alaska had the lowest wage increase in the US – It was number 50 among states in 1998.
- Alaska is losing population in the segment of ages 20 and 55, the primary wage-earning years. Older and younger populations are growing.
- As a percentage of total earnings, earnings in Alaska from transfer payments are rising. In the rest of the US, earnings from transfer payments are falling. This issue is particularly acute in rural Alaska.
- Contractions either in the price of oil, or in oil revenues as the North Slope's output naturally diminishes, could create a serious fiscal impact and shortfalls at the state level that would impact residents statewide.

Exactly how these trends or considerations will impact the Matanuska-Susitna Borough, or Meadow Lakes, is hard to foresee. The Borough cautions that while growth in the Mat-Su is leading Alaska, it is still very much dependent on the overall growth of Alaska. However, they do anticipate that future growth will be steady as people continue to discover the region's unique qualities. The Borough and State Governments are both working actively to create a more diverse and stable locally-based economy. Actions include work on the projects below:

- Knik Arm Crossing
- Point MacKenzie Port
- Hatcher Pass Ski Area
- South Denali Tourism Development

¹¹ Alaska Visitor Statistics Program Data, Alaska State Division of Tourism.

- Movement of retail and service jobs from Anchorage to the Valley

Meadow Lakes has several promising sources of continued local economic prosperity. First are the area's significant gravel reserves. A large percentage of the lowland portion of Meadow Lakes is underlain by extensive, commercially valuable gravel deposits. Economic pressures for the large scale excavation of these deposits is likely to continue for years into the future. Another potential source of local economic development is coal-bed methane. In contrast, and potentially conflicting with these sub-surface resources, is the community's attractive natural setting, with lakes forests and rivers, great views, wildlife, trails and other recreational amenities. These resources, if maintained, can be the basis for sustained high land values, and potentially, increased visits (and spending) by out-of-town visitors.

In less than 20 years, the Borough population could be over 100,000 people.¹² If growth does remain strong, Meadow Lakes' affordable land resources will provide an important base for residential development into the future.

2.2 Natural & Physical Environment

TOPOGRAPHY

The overall pattern of the landscape of the area is simple. The southern portion of the area is rolling to flat, with mixed birch and spruce forests, lakes and wetlands. About half of this land, the forested, non-wetland areas, is attractive and physically suited for development. Further north, above the Little Susitna, the land rises quickly into the Talkeetna Mountains, reaching to near the crest of the broad ridge separating the Little Susitna and Willow Creek drainages.

CLIMATE

Alaska has four major climatic zones, the maritime, transition, continental and arctic zones. The Meadow Lakes climate is in the transition zone between coastal and continental climates. The climate is directly influenced by the ocean and surrounding mountain ranges: Chugach, Alaska, and Talkeetna. Cook Inlet and the Knik Arm, both links to the North Pacific Ocean, moderate the temperature. The area generally experiences moderately warm summers and cold winters. The mean annual temperature for the area is 35.2 ° F and ranges from a low of -41° F to a high of 91° F.

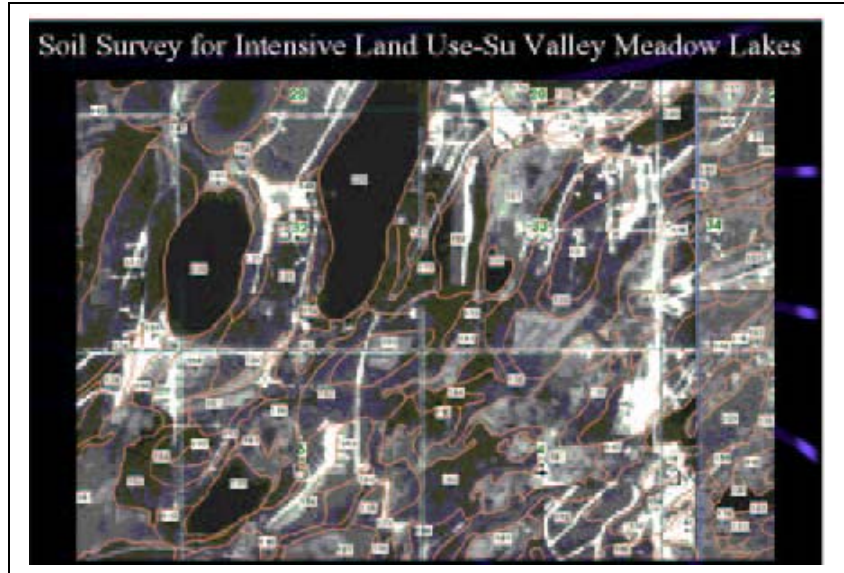
In the Matanuska-Susitna Borough, there are two major winds which affect the Palmer-Wasilla area and extend to some degree into the Meadow Lakes planning area. They are the Matanuska winds and the Knik winds. The Matanuska winds come from the northeast and have a velocity of over 60 miles per hour. They usually occur during the winter. The Knik winds come from the southeast and also have an average velocity of over 60 miles per hour. They occur predominately in the summer months.

¹² Matanuska-Susitna Borough. 2003 *Fact Book*, page 13.

GEOLOGY & SOILS

Receding glaciers shaped the land form and soils in the Meadow Lakes area. As the glaciers retreated, the outwash moraines left a number of terraces, featuring numerous rivers marshes, lakes and streams. Two elements of this glaciation have important implications for current community life. First is the substantial reserve of sand and gravel that underlies most of the community.

Second is the large area of poorly drained wetland soils. This latter condition, shown on the map on the following page, significantly reduces the amount of land that is well-suited for residential or other development. While such areas can be developed, costs are much higher than in better drained soils, and the development can impact water quality, and fish and wildlife habitat.



HYDROLOGY

Meadow Lakes includes a rich collection of lakes. Sixteen to twenty thousand years ago, receding glaciers formed the landforms seen today. The retreating glaciers left moraines, eskers and other features that shaped Meadow Lakes' current terraces, wetlands, lakes and streams. Most of the Meadow Lakes area consists of gently rolling hills with north-south trending lakes and muskegs scattered among wooded hills. In a few areas this glacial terrain is more dramatic, with moraines and eskers rising above the surrounding land to offer good views.

The area contains a complex inter-related system of surface and sub-surface water. The community's name captures the main surface water features – the areas remarkable and extensive set of lakes and wetland meadows. The major drainage systems in the area are the Little Susitna River, Meadow Creek and Lucille Creek. This surface water system is merely the visible manifestation of the extensive subsurface water system.

FISH & WILDLIFE

Due to its abundant water sources, Meadow Lakes provides home to a diverse population of fish and wildlife. Resident fish species include rainbow trout, Dolly Varden, and arctic char. All five species of Pacific salmon utilize the area for spawning, rearing and migration. Moose and black bear are the prevalent large animals. Moose are the most common, benefiting from the food, forest cover, water, wetlands for calving, watercourses for travel corridors and critical habitat provided by the area. The vegetative types common to the planning area generally provide habitat to waterfowl, shorebirds, raptors and song birds.

2.3 Land Ownership, Management, and Use Patterns

LAND OWNERSHIP

The majority of the more than 230,000 acres of land in Meadow Lakes is privately owned. This includes several large blocks of land held by Cook Inlet Region Incorporated and the University of Alaska, as well as land held by individual private owners. Much of the undeveloped land is in large parcels of 10-, 20- or 40-acre sizes. Development has tended to occur on smaller parcels – 1-to-5-acres – and has historically centered around the lakes.

The State of Alaska holds most of the northern quarter of the Meadow Lakes Community area, extending south to the edge of private holdings. The State of Alaska also owns 360 acres in the eastern portion of the area. MSB holds approximately 350 acres in Meadow Lakes, in four parcels. Two parcels are currently in use for public facilities (the school and two fire stations); the other two parcels – each 160 acres – are vacant. Alaska Mental Health Trust lands are state lands, but for the purposes of this plan, all Trust lands shall be treated as private lands.

EXISTING LAND USE REGULATIONS

All development of land in the Matanuska- Susitna Borough is subject to MSB 17.01 regulating:

- Adult-Oriented Businesses
- Auto Salvage Yards, Refuse Areas and Junkyards
- Building structures near Lot Lines, Public Easements, Rights-of-Way, or near a Shoreline
- Community Correctional Residential Centers
- Development within designated Residential Land Use Districts
- Development within designated Single-family Residential Land Use Districts
- Development within Special Land Use Districts
- Development within Flood Hazard Areas
- Establishments that sell Liquor
- Mobile Home Parks
- Public Display of Fireworks
- Racetracks
- Special Events
- Subdividing Land
- Tall Structures
- Tourist Accommodations
- Use of Lakes, Creeks and other Water-Bodies
- Use or occupancy of Borough-owned land, including but not limited to: Clearing rights-of-way, cutting trees, mining or prospecting, crossing with motorized vehicles, camping, shooting, and storing materials or equipment.

Additionally, if residents construct, repair, remodel, add fire systems or change occupancy of any building other than residential housing that is a four-plex or larger or anyone who

plans to install or change fuel tanks, their project must be reviewed and approved by the State Fire Marshal's Office before construction, repair or remodel is started.

For building a structure within the Matanuska-Susitna Borough outside the incorporated cities of Houston or Palmer there are also development set backs as follows:

1. Twenty-five feet from any public right-of-way (including access easements and section line easements). No furthest protruding portion of any structure shall be placed closer than ten feet from the right-of-way when the pre-existing lot measures 60 feet or less in frontage on a public right-of-way and is not located on a cul-de-sac bulb, or comprises of a nonconforming structure erected prior to July 3, 1973.
2. Ten feet from side and rear lot lines.
3. Seventy-five feet from a lake or other water-body or watercourse (stream, creek, etc.). Additional setbacks apply from water-bodies with public access easements
4. No part of any subsurface sewage disposal system shall be closer than 100 feet from any body of water or watercourse.
5. Driveway permits are required when gaining access from a public right-of-way or
6. Well, septic tank and drain field are not to be located within a public right-of-way and may only be placed in utility easement with non objection from utility companies.

Finally, state and federal regulations also may apply, including the following:

- Alaska Fish & Game - Any activity adjacent to, or on a water-body
- The Alaska Department of Environmental Conservation and Department of Natural Resources - rules applying to septic systems or wells

LAND USE PATTERNS

One of Meadow Lakes' defining features is its abundance of scenic lakes. These attractive features have attracted residential subdivisions around their perimeter, often in one to five acre parcels. Likewise, the Little Susitna River has attracted residential development, although typically in larger parcels of about five to ten acres.

In large open spaces between the lakeside subdivisions, Meadow Lakes has extensive vacant private land, and much of this land is physically suited for development. There are currently nearly 2000 vacant subdivided lots of less than 5 acres in the community¹³ and many thousands of acres of private land in larger parcels that could be subdivided in the future. Land prices continue to be relatively low compared to Anchorage, and the area has good proximity to job opportunities in the southern Borough and Anchorage. Over the next twenty years, if the state economy stays healthy, Meadow Lakes has the land base to easily again double in size.

¹³ Based on 2004 information provided by the MSB assessors office as compiled by Agnew Beck. These data show 659 two to five acre lots (37% vacant); 1495 one to two acre lots (47% vacant); and 1957 lots of less than one acre (56% vacant). In many instances, a single owner may own several adjoining lots, use one parcel for a residence, and intend to keep the adjoining parcels vacant.

The Parks Highway is the primary location for the limited commercial and industrial activities in Meadow Lakes. Along this road that sees more than 16,000¹⁴ cars a day, major blocks of private undeveloped land straddle the Parks Highway.

¹⁴ State of Alaska, Dept of Transportation & Public Facilities, "Annual Traffic Volume Report – Central Region: 2001, 2002, 2003."

2.4 Community Infrastructure

TRANSPORTATION

The location of the Matanuska-Susitna Borough has been a major determining factor of its growth. Both of Alaska's major highways, the George Parks Highway and the Glenn Highway, travel right through the heart of the Borough, past its population centers including Palmer, Wasilla, Meadow Lakes and beyond. Commuter population traffic counts verify how important these highways are, especially the Parks, in linking residents with employment and service centers.

The Alaska Department of Transportation and Public Facilities' (DOT & PF's) "Annual Traffic Volume Report – Central Region: 2001, 2002, 2003" shows the annual average daily traffic (AADT) on the Parks Highway between the junction of Pittman Road and the junction of Church Road is 16,742 vehicles.¹⁵ Typically, the average daily traffic decreases along the Parks Highway as the distance increases from Wasilla. For example, in Wasilla, traffic volume on the Parks Highway peaks at the junction with Crusey Street at 31,800 vehicles. Less than three miles to the north on the Parks Highway at the junction with Church Road, traffic volume drops to 16,742 vehicles. Just north of Pittman, traffic volume along the Parks Highway drops to 9,871 vehicles.

Recent transportation improvements in Meadow Lakes include a new traffic light at the intersection of Church Road and the Parks Highway. The Alaska DOT&PF is planning additional improvements to the Parks Highway through Meadow Lakes. Other recent improvements on the Parks Highway include an upgrade to the two lane section through Willow. Additionally, a two-lane highway upgrade is planned for Kashwitna River to the Talkeetna Spurr Road. These types of highway upgrades make recreational centers north of Meadow Lakes to be more accessible and make living in Meadow Lakes more attractive. Beyond the highway, the Alaska Railroad also has a rail corridor traveling through the Borough's main communities that, in the future, may provide commuter rail. The Community Council, working with the Alaska Railroad, plans to identify a location for a future commuter rail station. Finally, further transportation infrastructure that may influence population and growth in Meadow Lakes is under study:

During the past year, representatives of the Municipality of Anchorage (MOA) and Matanuska-Susitna Borough (MSB), in cooperation with the State of Alaska Department of Transportation and Public Facilities, the Alaska Railroad Corporation, the Alaska Legislature's Senate and House Transportation Committees, and the military have formed a Regional Transportation Planning Organization (RTPO) to coordinate transportation planning and decision-making in the Anchorage/Mat-Su Region.

Some of the initial goals for regional cooperation include stimulating economic growth in the region and convenient access between work and home, helping select between competing regional projects, identifying which projects are the highest priority for the region, ensuring regional projects are planned to support and complement each other, and seeking funding for regional priorities. This

¹⁵ State of Alaska, DOT&PF, "Mat-Su Valley Traffic Map 2003" Prepared by Alaska DOT&PF, Div. of Program Development, Statewide GIS/Mapping Section.

organization is poised to make very influential recommendations for regional transportation issues in the upcoming years.

The most prevalent project at this time is the Knik Arm Ferry project. A feasibility study, engineering design, and environmental documentation for a commuter ferry system between Port MacKenzie and Anchorage are currently underway. The ferry would provide Mat-Su residents an alternative to driving into Anchorage, and would provide Anchorage residents easy access to Port MacKenzie worksites, as well as recreational activities in the Mat-Su Borough. As currently planned, ferry landings would be constructed off the existing Port MacKenzie dock, and at one of the alternative sites in Anchorage. The estimated start time for construction of the ferry landings is the summer of 2004, with an anticipated goal of an operational ferry system sometime in 2006. The long range plan is a complete transportation and utility corridor from Anchorage to the Matanuska-Susitna Borough across the Knik Arm, which would include road, rail, and utility services. The location at which the corridor would meet up with the Parks Highway is yet to be determined, however, some of the options being considered are Big Lake, Houston, or Willow.¹⁶



UTILITIES

Electricity, telephone, high-speed DSL internet, and cable/satellite television services are widely available in Meadow Lakes. Gas is piped into 40% of local households, while the majority of residents use fuel oil, kerosene, tanked gas or wood heat. Local wells and septic systems are the primary approach used to provide water and waste treatment in residential development; no local piped water or waste service is available. (See Table 8.)

Table 8 - Meadow Lakes Plumbing and Heat Source Summary

Total Households:	1,702
Percent of Households That	
Lack Complete Plumbing (lack sink, bath/shower or flush toilet):	12.0%
Lack a Complete Kitchen (lack stove, fridge or running water):	11.4%
Lack Phone Service:	3.5%
Heat Using Electricity:	4.7%
Heat Using Fuel Oil, Kerosene:	35.4%
Heat Using Wood:	11.1%
Heat Using Piped Gas (utility):	40.1%
Heat Using Bottled, Tank, LP Gas:	8.7%
Heat Using Coal or Coke:	0.0%
Heat Using Solar Energy:	0.0%
Heat Using Other Fuel:	0.0%
Use No Fuel:	0.0%

¹⁶ Matanuska-Susitna Borough. 2003 Fact Book, page 13.

PUBLIC FACILITIES & SERVICES

In Meadow Lakes, the Community Council is the primary form of governance and local public services are fairly limited, as is the tax base by choice. Table 9: Summary of Meadow Lakes Service Providers & Status (on the following page) lists these services along with the provider, and issues about the service, future plans, or needs. It should also be noted that residents enjoy a high level of access to regional services and infrastructure, not highlighted in this list, because of Meadow Lake's proximity to larger communities and easy access to major transportation systems.

RECREATION

The Matanuska-Susitna Borough Division of Recreational Services provides library, indoor and outdoor recreational opportunities, programs, services, and facilities to enrich the lives of the community's residents and visitors. Borough facilities include the Brett Memorial Ice Arena, Palmer and Wasilla Public Pools, Regional campgrounds at Lake Lucille in the Wasilla area, Matanuska River near Palmer and the Little Susitna River at Houston, plus hundreds of trails, numerous neighborhood parks, playgrounds and ball fields. The Borough operates public libraries that are located in the communities of Big Lake, Sutton, Talkeetna, and Willow. Additionally, the cities of Palmer and Wasilla have their own public library. Trapper Creek Library is operated by a local volunteer organization. The borough provides some funding to these libraries, Wasilla, Palmer and Trapper Creek, in the form of grants.¹⁷

TRAILS

Trails play a key role in the enjoyment of residents and visitors alike throughout the Mat-Su Borough. Many trail opportunities exist for those who enjoy hiking, four-wheeling, horseback riding, and biking in the summer, or snow machining, skiing, and dog mushing in the winter. The Borough has recently completed a Parks, Recreation and Open Space Plan which is intended to provide management, guidance, and direction for all Borough-owned land and natural resources.¹⁸

¹⁷ Matanuska-Susitna Borough. 2003 Fact Book, page 53.

¹⁸ Matanuska-Susitna Borough. 2003 Fact Book, page 53.

Table 9 – Summary of Meadow Lakes Service Providers & Status

<u>Service</u>	<u>Provider</u>	<u>Current Facilities</u>	<u>Issues/Notes/Needs</u>
Fire		New station	Just completed, located at Church & Pittman.
Fire	Fire Service Area		New stations? Johnson Rd, Knik/Vine; trend towards combining fire & EMS, regionalizing fire service – currently planning station shared with Big Lake
Police	State	None	MSB is considering whether to take on Police powers. A task force is investigating the feasibility. Options include creating a Sheriff Department or contracting with Wasilla and Houston for police services.
Post Office		Contract Post Office	A clear need – possible anchor for town center, may require more boxes on the road
EMS	Wasilla, Houston, MSB		Meadow Lakes EMS Districts 44,41,38,39,37, Wasilla District 57, Houston District 47. Borough Emergency Services is reorganizing to combined with service with Big Lake and other for greater response capability and cost savings. As a result so far the response time for Big Lake/Meadow Lakes fell from 19 minutes to six minutes. ¹⁹
Education			
K-6 Midnight Sun	MSB Charter	Meadow Lakes	Located on Borough School site on Pittman. Midnight Sun is a new charter, located at Milepost 1 on Pittman Road.
Middle School	MSB		No Middle School is currently being considered for Meadow Lakes site selections.
High School	MSB	Mid Valley High Alternative	Currently leasing land in Houston, is seeking to relocate to property in the Meadow Lakes area to increase capacity.
Power	MEA		Users at “the end of the line” experience frequent power outages due to trees falling on lines (e.g., Wyoming Rd., Beverly Rd.) MEA periodically funds projects to extend power to unimproved areas. Neighborhoods can apply to MEA.
Water/Sewer		Individual well & septic	Generally satisfactory. north of Castle Mt. An issue, north of Beverly Lake (2-300 ft wells). Growing, but not confirmed concern re water qualities
Senior Center			Locate with community center? (see discussion below)
Community Center	MLCC		MLCC is considering a partnership to secure and develop lands on 160 acre parcel (Tax ID # 17N02W02C001)
Youth Center			Locate with community center? (see discussion below)
Solid Waste	None		No Transfer Station for solid wastes.
Telephone	MTA/Cellular Providers		

¹⁹ http://members.tripod.com/knik_alaska/id4.htm

3.0 Major Goals & Strategies

3.1 LAND USE

ORGANIZATION OF THIS CHAPTER

A. Overview	page 29
B. Land Use Goals	pages 30 - 32
C. Policies That Apply Through Out The Area	pages 33 - 38
D. Policies By Land Use District	pages 39 - 54

A. OVERVIEW

“One of the things I like about this place is the lack of people telling me what to do – but things are changing, and we might need some rules if we’re going to hang on to what we like.”

Meadow Lakes is among the fastest growing and largest communities in the Matanuska-Susitna Borough. In 12 years the community more than doubled in size, reaching 5,300 people in 2002. This growth is expected to continue. The community has extensive vacant private land, and much of this land is physically suited for development. There are currently nearly 2,000 vacant subdivided lots of less than 5 acres in the community (see Table 10: 2004 Numbers/ Sizes of Lots in MLCC Area), and many thousands of acres of private land in larger parcels that could be subdivided in the future. Land prices continue to be relatively low compared to Anchorage, and the area has good proximity to job opportunities in the southern Borough and Anchorage. Over the next 15-20 years, growth trends for the Matanuska Susitna Borough are likely to continue and the population of Meadow Lakes could easily double again.

Table 10 – 2004 Numbers/ Sizes of Lots in MLCC Area

LOT SIZE (ACRES)	NUMBER OF LOTS	PERCENT OF LOTS	IMPROVED LOTS	% IMPROVED LOTS
>160	5	0%	1	20%
160 to >100	32	1%	10	31%
100 to >40	80	2%	10	13%
40 to >20	171	4%	72	42%
20 to >10	133	3%	59	44%
10 to >5	335	7%	134	40%
5 to >2	659	14%	413	63%
2 to >1	1,495	31%	785	53%
1 to >0	1,957	40%	866	44%
	4,867		2,350	

Table by Agnew::Beck, based on MSB Assessors office 2004 data

Without community action, the qualities that create the rural character of Meadow Lakes, and that make the community such an attractive place to live, are likely to continue to fade into history.

Like all the recommendations presented in this comprehensive plan, the following goals emerged from the community surveys, the Spring 2004 community workshops, and work with the Meadow Lakes planning team.

B. LAND USE GOALS

- 1. Maintain the Community's Rural Character**
- 2. Concentrate and Screen Commercial Development; Avoid Sprawl Along the Parks Highway**
- 3. Create a Pedestrian-Oriented, Mixed-Use Town Center**
- 4. Guide Location and Character of Development**

I. Maintain the Community's Rural Character

Community surveys and public workshops show that for most residents, the area's rural character is one of the top motivations to live in Meadow Lakes. This character includes low density housing, friendly neighbors, limited traffic, large tracts of open land, good views, presence of wildlife, and ready access to trails, rivers, lakes, and recreation. Strategies to maintain and enhance this rural character include:

- Housing Densities - Encourage low density residential development in the majority of the community. The exact policies should be worked out through the Special Land Use District process to implement this plan, but community sentiment strongly favors a target greater than the 40,000 square feet minimum currently required under MSB standards. In a few settings - at the planned town center, as part of open space subdivisions, and near the Parks Highway – higher density housing is appropriate, including smaller lot single family housing and, in the town center, attached and multi-family housing. In other areas, lots significantly larger than this target are more appropriate, for example in key watershed and wetland areas, and along the community's three major watersheds. For the purpose of clarity, the Planning Team thought it was important to identify specific minimum lot size.
- While working with the target for minimum lot size, the size of specific subdivision lots should consider the following:
 - Physical character of the land –minimum lot sizes are acceptable where soil quality and drainage is good; lots should be larger where soil quality and drainage is poor.
 - Use of “open space” subdivision process – to the degree land is dedicated to community use as open space, parks and trails through the open space subdivision process, lot sizes are allowed to be smaller.

- Size of surrounding lots – lots in new subdivisions should be at least the minimum, and should respond to the size of surrounding lots, e.g., if an “inholding” is subdivided in a neighborhood of large lots, the lots around the edge of the new subdivision should match the sizes of surrounding parcels.
- Land Use Districts - In this Comp Plan, the large majority of Meadow Lakes is designated in a single rural residential land use district. In the future, the community may wish to develop a set of more diverse land use districts, setting different lot size standards in different portions of the community (e.g. establishing a lower density in more northern portions of the community).
- Open Space – Guide growth to retain and expand public open space, waterways and trails. Retain the “natural feel” of the community and the dominate sense of natural landscapes – forests, wetlands, streams, wildlife, and views.
- Establish “Open Space” subdivision policies so sub-dividers are encouraged to retain land for trails and recreation and to protect natural areas like wetlands or streams (more details on Open Space subdivisions later in this chapter).

2. Concentrate and Screen Commercial Development; Avoid Sprawl Along the Parks Highway

In past public workshops and surveys, people expressed a clear concern that the Parks Highway should not be lined with strip commercial development like what is found in other parts of the southern Mat-Su Borough. The community recognizes that without land use controls, development will likely scatter along the length of the Parks Highway. Strategies to reach this goal include:

- Location of Commercial Development - Encourage new commercial develop to locate in relatively concentrated nodes, rather than spread along the length of the Parks Highway. Establish a town center as the focus point for commercial development (see below).
- Green Space - Maintain several undeveloped “green spaces” along the Parks Highway to separate developed areas.
- Appearance of Roadside Commercial Development - Require retention and/or planting of evergreen buffers, trees and other landscape features so roadside development is attractive. Encourage modest sized, attractive signage and roadside development.

3. Create a Pedestrian-Oriented, Mixed-Use Town Center

A town center was established as a clear priority for the community during both the workshops and survey. Desired uses in the town center include public spaces to meet friends and neighbors, venues for events and community meetings, and commercial services like a bank, Post Office, grocery, restaurants. A successful town center can improve resident quality of life, attract spending from people traveling through the community, and help develop a stronger, positive image for Meadow Lakes.

Strategies to develop the town center include:

- Identify the right location and size for a town center site – The plan identifies the area along the south side of the Parks Highway near the Pittman road intersection as the best location. This area is large enough to include an “inner circle” of pedestrian-oriented development, and an outer ring for more vehicular-oriented commercial and industrial development.
- Public Actions – Improve vehicular and pedestrian access and transit; encourage public facilities in this area to serve as “anchors” for development; partner with agencies or organizations like Denali Commission, AIDEA, Rasmuson, Great Land Trust
- Private Actions - Partner with private landowners and developers, particularly with larger landowners such as the Mental Health Land Trust and Knikatu Corporation.

4. Guide Location and Character of Development

The community wants to maintain the natural, rural character of the community, and to protect the quality of residential neighborhoods. At the same time, the community recognizes the value of creating opportunities for employment, and increasing the local tax base, for example, through sand and gravel extraction. The balance point between these goals is to accept economic development activities, but also to establish rules to minimize the off-site impacts of such activities. This goal focuses on uses with significant impacts, such as large scale resource development like coal-bed methane and gravel extraction, but also is intended to limit impacts of more modest uses such as auto storage/junk yards.

Specific strategies to reduce these impacts include:

- Establish land use standards to minimize the off site impacts of development.
- Discourage certain high impact uses in specific portions of the community, such as sand and gravel operations adjoining stream corridors.
- Establish a special land use district that requires a conditional use permit for high impact uses and sets rules on the location and magnitude of these activities.

C. POLICIES THAT APPLY THROUGHOUT THE AREA

This section presents policies that apply in all parts of Meadow Lakes; the land use districts section that follows presents policies for specific portions of the community.

Site Development Standards (for all types of uses)

To protect unique site opportunities and constraints, including slope, natural vegetation, water quality, and views, and to maintain a sense of the natural setting, the following standards are established:

1. Grading – Encourage retention of natural contours.
2. Natural Vegetation/Site Disturbance – Maximize retention of existing vegetation; grading and clear cutting the entire parcel prior to selling or developing land is strongly discouraged. Large portions of the site's natural vegetation and contours should be maintained.
3. Drainage– Development must not change drainage patterns or create drainage or icing problems on adjoining lots. Construction of driveways and other impervious areas must not increase summer runoff or winter ice on adjoining roads or properties.
4. Water Quality & Erosion - Use drainage swales, holding basins and similar best management practices to ensure runoff from developed areas does not degrade quality of water in adjoining streams and lakes. See appendix for voluntary MSB best management practices.
5. Hazards and Sensitive Areas – Avoid development in hazard areas, including floodplains and steep slopes. Minimize development and development impacts on wetlands and other sensitive natural environments.
6. Setbacks From Waterbodies - Require at least the MSB 75' minimum development setback from streams, lakes, wetlands and other water bodies; "development" is defined as habitable structures. Non habitable structures, such as boathouses, sheds, decks or saunas can be built within 75' of lakes and streams, but these improvements should be designed to have minimal environmental and visual impact on the adjoining waterway.

17.55.020 Setbacks for Shorelands (B) docks, piers, marinas, aircraft hangars and boathouses may be located closer than 75 feet and over the water, provided they are not used for habitation and do not contain sanitary or petroleum fuel storage facilities. (E) No part of a subsurface sewage disposal system shall be closer than 100 feet from any body of water or watercourse.

7. Protection of Water Quality – Use of land adjoining waterbodies shall be designed to minimize impacts on water quality. Actions to achieve this goal include minimizing removal of natural vegetation along the majority of the edge of lakes, streams or wetlands, to keep lawn chemicals, silt, and septic effluents out of the watershed, to inhibit bank erosion and provide habitat for wildlife such as ducks and loons, while also providing some screening of development.

8. Trail Reservations on Private Land – To the greatest degree possible, reserve for continued public use all important existing community trails crossing private land when that private land is subdivided. This can be done through the “open space subdivision” policy outlined later in this chapter. Trails may be reserved along traditional routes, or moved to new locations within the parcel. Trails shall be included as part of all new collector roads.
9. Underground Utilities – If practical, utilities should be placed underground. Exceptions include high voltage electric transmission lines, sub-transmission lines, and substations.

Standards for Commercial, Industrial or Other Development with Significant Off-Site Impacts (for uses ranging from large scale sand and gravel operations to smaller-scale commercial)

The community wants to maintain the natural, rural character of the community, the quality of residential neighborhoods and the visual quality of road corridors. To do this, two sets of development standards are established – the first applies to all uses, the second to specific types of uses.

Regulatory control over development is spread among several levels of government – federal, state, borough and local. The policies presented here are designed to supplement and complement policies administered by other agencies.

Standards for All Development

1. Noise - Limit maximum noise levels as discernable on adjoining properties.
2. Commercial Use of Roads - Use of residential roads by trucks, heavy equipment is a concern of the community. Such use should be controlled, in terms of amount and timing of use, to minimize congestion, noise, dust and safety impacts on community roads.
3. Impacts On Environment – Activities creating off site impacts on surface and sub-surface water quality and quantity, and air quality are not permitted.
4. Reclamation Required – Return land used for mining, sand and gravel extraction or similar uses to a useable state.
5. Control Extraction Of Water From Area Lakes And Streams – Limit direct use of water (e.g., by industrial uses) to a level that doesn’t noticeably reduce lake levels or impact habitat values (this restriction does not apply to emergency use for fire fighting).
6. Hazardous Materials – adequately addressed through MSB Borough-wide regulations

7. Animals - The raising, breeding, and selling of livestock, domesticated animals, including sled dogs, and providing services relating to animals is an established and acceptable use. Operations should be designed and maintained so as not to impact neighboring uses. The following policies apply:
 - All waste must be properly disposed of to eliminate environmental impacts;
 - All operations should be designed and maintained to restrict a negative affect of noise, sight, and smell on neighboring uses.
8. Signs – Balance the need of area businesses to have sufficient signage to attract customers, with the community’s desire to maintain attractive road corridors. Options to achieve this balance include, for example, using one sign for several businesses, and controls on sign size and materials. One part of this effort will involve working with DOT/PF to find ways for businesses to advertise close enough to the active roadway to be visible to drivers. The plan establishes the following signage policies:
 - All signs must be tasteful and modest in size.
 - The height of all signs must not interfere with the view of the surrounding properties
 - Prohibited signs:
 - Portable signs;
 - Signs mounted on top of buildings;
 - Flashing, rotating, animated or intermittent lighted signs.
9. Building Height – In order to preserve and maintain the existing views of the mountains, lakes and meadows, and to ensure buildings can be served by local fire fighting equipment, building height should not exceed three stories.
10. Lighting – Lighting should be shielded so light is directed down and away from the sky, to protect views of the night sky and aurora borealis, and to avoid shining directly onto neighboring properties.
11. Residential Densities – See Land Use section.
12. Screening along Roads
To maintain the community’s natural setting and to promote privacy, vegetative screening at the edge of lots should be sufficient to give the impression to drivers that they are passing through a forested landscape, punctuated by buildings, vs., appearing as a cleared landscape, with occasional trees (see Figure 7: Vegetative Buffer Alternatives). Therefore, the following guidelines are established:
 - A buffer of vegetation should be retained along the majority of the lot’s circumference (at least 12 feet in width from an existing easement).
 - Alternative to natural vegetation: Where natural vegetation is limited or non-existent, evergreen buffers should be planted along the majority of the lot’s circumference.

- Exceptions: Screening along street side should not interfere with the sight distance at driveways. Screening is not required in the pedestrian core of the town center.
- A strip of land at least as wide as the suggested screening which has been dedicated to the public for use as a trail or open space can be included in meeting the recommended screening distance.

Figure 7 – Vegetative Buffer Alternatives



Discouraged:

No front or side vegetative buffers

Better:

Front vegetative buffers with opening for access drive

Recommended:

Front and side vegetative buffers extending at least ½ the length of site boundaries; access drive OK

Standards for Specific Uses

1. Coal Bed Methane & Mineral Extraction - All coal bed methane and mineral extraction activities shall comply with the MSB codes adopted in 2004 (*insert code reference*).
2. Commercial Sand And Gravel Extraction – Gravel operations, as currently practiced in Meadow Lakes, create significant traffic, noise and other impacts on the community. New policies and better enforcement of existing policies are required to reduce these impacts. The following policies apply to all existing and future operations:
 - An approved Master Plan for Operations and Reclamation is required prior to commencing operations. Operators must put up a performance bond ensuring compliance to the master plan and other development standards
 - Reclamation required – Return the land to a useable state.
 - Noise – Minimize noise of operations on adjoining properties. Limit hours of operation to portions of the day when adjoining properties can reasonably expect peace and quiet, i.e., evenings, nights, early mornings. If necessary to avoid disrupting neighboring uses, build sound reducing walls around the operation.
 - Use of residential roads by trucks, heavy equipment is a significant community concern. The amount and timing of use shall be limited to avoid congestion, noise, dust and safety impacts on community roads.

3. Medical Waste Incinerators - adequately addressed through MSB Borough-wide regulations
4. Junk/Salvage Yards:
 - Require sufficient setbacks, vegetative screening and/or fencing to minimize visual impacts on surrounding roads, trails and properties;
 - Be located no closer than 1 mile to any lake, river or water body;
 - Obtain all permits as required by federal, state, and borough code, to control environmental impacts;
 - Properly dispose of all hazardous waste;
 - In commercial junkyards, it is recommended that cars be dismantled to reduce the size of the lots and visibility of the lot from surrounding properties

17.60 030 Permit Required. (A) The following land uses are declared to be potentially damaging to the property values and usefulness of adjacent properties, or potentially harmful to the public health, safety and welfare: (1) junkyards and refuse areas; (B)...maintenance of such as land use without a permit is prohibited.

5. Airports, Airstrips & Float Plane Bases
There are numerous private airstrips and float plane bases in the Meadow Lakes area. These airstrips and float plane bases are established and acceptable uses. Present and future operations should be designed to protect adjacent property and land uses.
6. Towers – Rely on MSB Borough-wide regulations. Use a single tower for multiple functions wherever possible.
7. Agriculture – Agriculture activities, ranging from hobby farms to hay fields and livestock breeding, and including sled dog lots and kennels, are established and acceptable uses. Associated noise and odors or dust caused by animals and machinery is to be expected, however such effects should be minimized.
 - All operations should be designed and maintained to restrict negative side effects of noise, sight and smell on neighboring uses.
 - Animal waste and agricultural chemicals, including fertilizers, should be used and disposed in a way that causes no negative environmental impacts
 - Stockyards and/or slaughter houses, if allowed, should operate under strict regulations so there are no negative environmental impacts, or impacts on neighboring uses.

Open Space Sub-Divisions

Traditional subdivision practices typically result in 100% of a parcel being subdivided into smaller private lots. A number of alternatives to this practice have been successfully developed around the country. These alternative models - referred to as cluster subdivisions, or “open space subdivisions” – allow for slightly smaller lot sizes, in exchange for portions of the original subdivided property being retained for public use such as trails or buffers on waterways. Working with the Borough, a similar policy should be established and applied in Meadow Lakes. The community strongly supports the inclusion of open space, parks, trails,

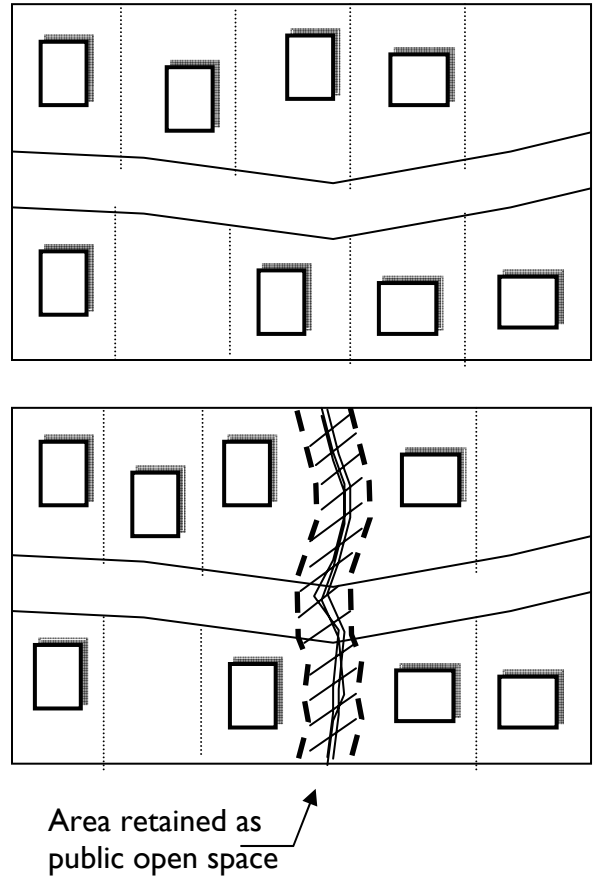
or similar recreation features in all future subdivisions. (See Figure8: Standard versus Open Space Subdivisions.)

Figure 8: Standard Versus Open Space Subdivisions: An Illustration on a 10 acre Parcel - Same number of lots and houses, two different layouts

Top – Standard subdivision: ten approximately 2.5 acre lot; all available land is sold.

Below: “Open Space Subdivision:” same number of lots; average lot size is slightly smaller, difference is used to retain land for open space, trails, and stream buffers. Done correctly, this approach increases access to amenities and produces higher average value for all lots. The residential land near Westchester Lagoon in Anchorage is an urban example of this concept. Lots 2-3 tiers back from the lagoon are highly desirable because they have access to the lake, its trails and picnic areas.

To be most successful open space land needs to be aligned with similar open space in adjoining properties, e.g. to establish a contiguous river or trail corridor. The Borough, a land trust or a Homeowners Association needs to hold the title and manage the land.



D. POLICIES BY LAND USE DISTRICT

This section presents a framework for land use policy in Meadow Lakes, using land use districts. Each district defines an area with generally similar types of land use issues, and similar intended future development.

For each of the districts the comprehensive plan presents policies on the following topics:

Background And Boundaries

Overall Objectives

Encouraged And Discouraged Land Uses

Development Standards Specific To That Land Use District

A map showing land use district boundaries is presented on the following page; land use districts are listed below.

Rural Residential Areas

Parks Highway Road Corridor

Town Center Commercial

Neighborhood Commercial centers (within residential areas)

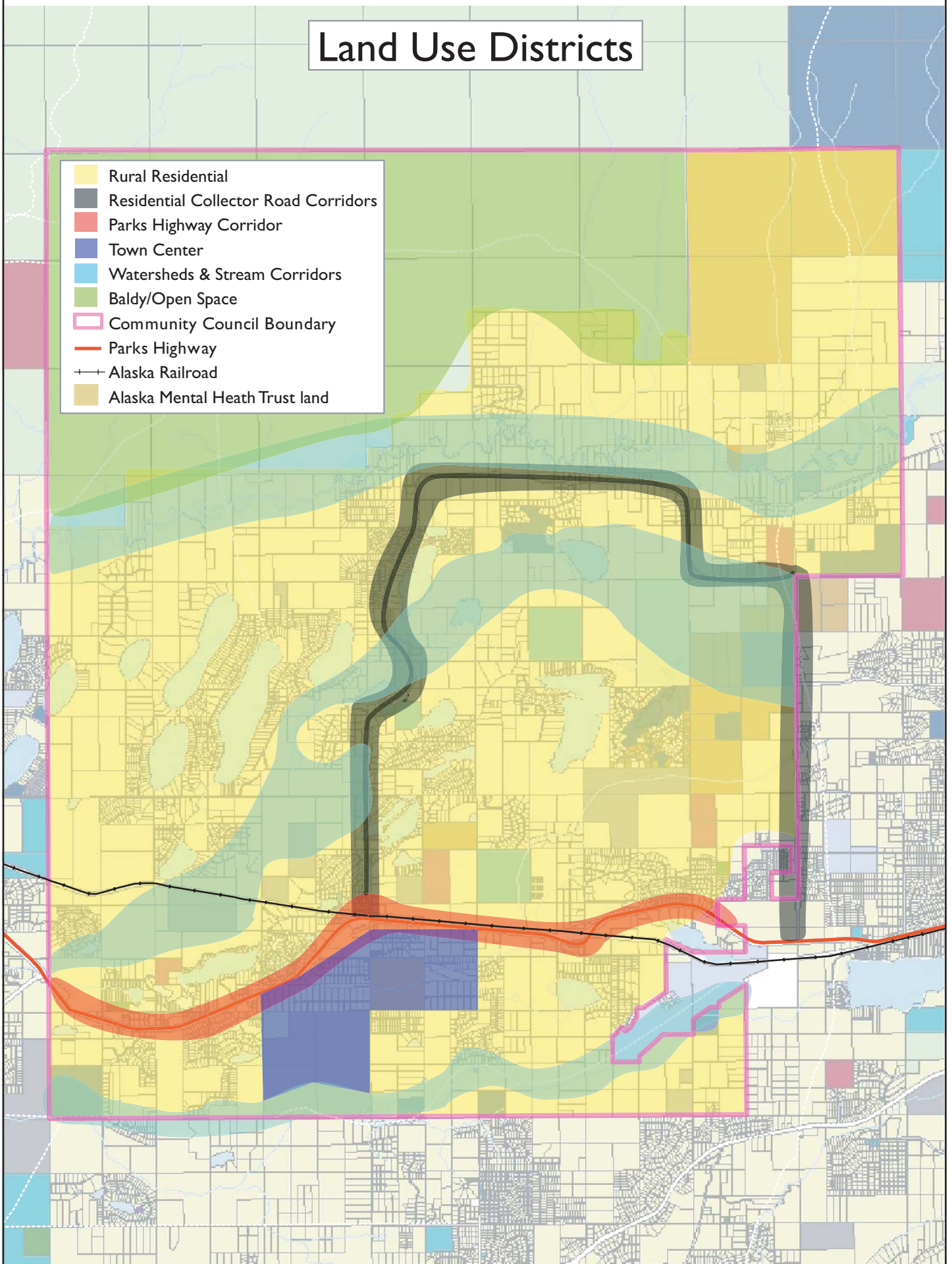
Watersheds and Stream Corridors

Baldy

Like all the policies presented in this comprehensive plan, these proposals emerged from the community surveys, the Spring 2004 community workshops, and work with the Meadow Lakes planning team.

Land Use Districts

- Rural Residential
- Residential Collector Road Corridors
- Parks Highway Corridor
- Town Center
- Watersheds & Stream Corridors
- Baldy/Open Space
- Community Council Boundary
- Parks Highway
- Alaska Railroad
- Alaska Mental Heath Trust land



I. RURAL RESIDENTIAL AREAS

Background and Boundaries

The dominant land use in Meadow Lakes is low density, rural residential. Boundaries of this district are best defined by what they exclude: this district takes in all of the Meadow Lakes except the town center, highway corridors, watersheds and river corridors and the Baldy area.

Overall Objectives

Keep this area an attractive, safe, family-oriented residential community. Maintain the existing low density residential pattern and rural atmosphere, with a predominance of open space and natural landscapes. Protect environmental quality, particularly the quality of surface and subsurface water used for domestic purposes. Allow a continuation of limited, small-scale commercial uses where such uses are compatible with residential uses and the use will not adversely affect adjoining properties or the natural environment.

Land Uses

Encouraged Uses:

Residential use.

Residential-compatible, home-based “cottage industry” businesses as long as the use does not adversely impact neighboring homes.

Other, non-home-based, commercial uses are conditionally allowed if small scale, and do not adversely affect adjoining residents or property values.

Public Facilities and Institutions – schools, churches, and similar institutional uses are conditionally allowed.

Allowed Uses:

Small scale resource-based activities – small scale farming, lumber milling or logging are permitted, if operations are designed to not impact neighboring residential uses (e.g. through limits on operation hours, noise, smells, etc. – see standards in previous section).

Other resource-based activities, such as gravel extraction already in place at the time of the adoption of this plan, as long as such uses comply with local, and other regulatory standards

Discouraged Uses:

Uses other than those listed above, including new, larger scale resource development activities, are discouraged in residential areas.

Development Standards Specific to This District

I. Lot Sizes & Housing Density

In order to retain open space and the community's rural character, and to promote privacy, maintenance of current relatively low densities in the large majority of the Meadow Lakes Area is strongly encouraged. The general target for minimum lot sizes is 2.5 acres/housing unit. For the purposes of this policy, a housing unit is defined to include a single family unit with the option for a secondary "mother in law" apartment. This excludes more than one primary dwelling unit on a parcel. Typical densities should be lower still – at least 5 acres per unit - in poorly-drained wetland areas and adjoining stream corridors (see more in chapter on Open Space and Recreation.) Maintaining low densities will help sustain rural character, preserve agricultural opportunities, and by limiting the total number of houses, help maintain water quality, protect wetlands, and retain habitat and recreation opportunities.

Part of the rationale for adopting this policy comes from a review of the current supply of undeveloped, sub-divided lots in Meadow Lakes. As is presented in the chart at the beginning of this chapter, there are over 1000 vacant lots of 1 acre or less in Meadow Lakes, and 700 vacant lots 1 to 2 acres in size.

In certain parts of the Meadow Lakes Area, residential use at densities greater than 2.5 acres per housing unit will better serve community needs. Higher density housing, in the right location and if well-designed and well-built, brings a number of benefits, including providing for more affordable housing, reducing costs for providing utilities, and concentrating housing near commercial centers (so more people walk to services). Cluster housing and higher densities will help to retain open space.

Housing on smaller lots could be allowed adjacent to the Parks Highway, as well as in open space subdivisions, and in the vicinity of the planned town center. Specific actions to refine and implement these policies will be part of the Special Land Use District that is expected to implement this comprehensive plan.

2. Home-based or Cottage Industry Businesses, Commercial Activity:

Home based businesses are numerous in the Meadow Lakes area. These businesses are established and acceptable uses. The following guidelines are established to ensure these uses are compatible with adjoining residential uses:

- Present and future businesses must not adversely impact neighboring homes.
- Home based businesses are defined as businesses a scale that maintains the predominately residential character of the area. For example, a wood shop or an accounting business that generates little traffic, minimal noise and requires limited space readily blends with residential character. An auto wrecking yard, a large scale auto repair business does not.
- When advertising your business in a residential area the size and design of signs must maintain the visual quality of the community. Tasteful and modest signs are recommended. See community-wide standards for additional signage policies.
- Lot size must comply with the previous recommendations and be large enough to provide adequate off street parking for customers and employees, as required in borough code, while not adversely affecting water quality, and wildlife, and limiting environmental impacts.

2. RESIDENTIAL COLLECTOR ROAD CORRIDORS

Background and Boundaries

This district follows the three major collector roads in Meadow Lakes' residential area – Pittman, Church and Schrock roads. These roads currently have minimal roadside development and are attractive, rural, and tree-lined. This character plays a big role in the attractive, rural feel of the community as a whole.

Overall Objective

Maintain the largely natural, undeveloped appearance that currently exists along these roads. Commercial uses should provide the option for limited, concentrated areas of commercial services, to serve adjoining residential areas. This option will make it easier for residents to get convenience services without driving to the planned Town Center or other commercial areas.

Land Uses

Encouraged Uses:

- Residential use.
- Residential-compatible, home-based “cottage industry” businesses as long as the use does not adversely impact neighboring homes or the attractive, existing character of the road.

Allowed Uses:

Other, non-home-based, commercial uses are conditionally allowed. Preferred uses are in two categories:

Residential-compatible commercial uses include lodges, recreation rentals (e.g., canoe rentals), and espresso stands (same category as in rural residential district).

Commercial activities serving neighborhood commercial needs, such as a video store, or coffee shop. Larger scale, regional commercial developments, such as offices and service commercial activities like auto repair are encouraged to locate in the town center area, or other Parks Highway commercial areas.

Public Facilities and Institutions – schools, churches, similar institutional uses are conditionally allowed.

Resource-based activities – small scale farming, lumber milling or logging is permitted, if operations are designed to not impact neighboring residential uses (e.g. through limits on operation hours, noise, smells, etc.

Other resource-based activities, such as gravel extraction already in place at the time of the adoption of this plan, as long as such uses comply with local, and other regulatory standards

Discouraged Uses:

- Uses other than those listed above, including new, larger scale resource development activities, are discouraged in residential areas.

Development Standards Specific to This District

Road Design – Minimize the number of curb cuts along the highway. Instead, future residential development adjoining the road should be reached by on roads that branch off these main roads (to houses back onto Pittman and Schrock).

Same standards as the Rural Residential District.

3. PARKS HIGHWAY CORRIDOR

Background and Boundaries

The Parks Highway corridor extends east-west across Meadow Lakes. The corridor is defined as the area both sides of the highway back to the rear of the first row of parcels on either side of the highway or, where lots are shallow, to a distance of approximately 1,000 feet back from the road. Uses in this area currently include a mix of undeveloped land and a range of commercial and industrial uses.

Overall Objectives

The community wants the Parks Highway to be an attractive, limited access road, primarily serving as a route for traffic moving through the community or driving to a handful of distinct commercial nodes, rather than a strip commercial highway as is the case in other parts of the southern Matanuska Susitna Borough.

A particular objective is to retain significant portions of the natural vegetation and/or plant trees along the road. Buffers should be of sufficient width to give the impression to drivers that they are passing through a forested landscape, punctuated by buildings.

Previous workshops and the survey show the Meadow Lakes area is generally not seeking significant commercial growth. The community would like, however, to see more daily convenience services. Specific interests include commercial uses such as a bank, post office, and a community center in the proposed Town Center area.

Land Uses

Encouraged Uses (assuming setbacks & vegetative buffers described below):

Residential uses – densities between the relatively low densities intended for rural residential areas, and the higher densities planned in the Town center area.

Industrial - small scale industrial use allowed as “by right” permitted use; larger scale industrial allowed conditionally.

Recreation – maintain trails along both sides of the road.

Open Space – undeveloped areas to protect habitat, and separate commercial districts within Meadow Lakes, and between Meadow Lakes and adjoining communities.

Allowed Uses

Commercial uses – commercial uses are allowed along the corridor, although the preferred location for new commercial use is in the town center.

Non-Alcoholic Cabarets and Under 21 Entertainment Venues.

Bars, liquor stores (see notes under development standards)

Discouraged Uses:

Large scale industrial or commercial uses that dominate views from the road, such as large scale gravel extraction. Existing gravel operations are expected and allowed to continue, but over the long term, the community looks forward to the day when resources are exhausted, and these sites can be restored and used for other purposes.

Adult entertainment

Development Standards Specific to This District

1. Screening – same as community-wide policy, plus additional policies below:

- Retain or plant a vegetative buffer facing the street at least 25 feet back from the ROW, to screen views from the highway. This buffer should be continuous except for access drives.
- If a commercial operation is using fencing for security purposes the fence must be placed inside the vegetative screening.

2. Liquor Licenses

Businesses with liquor licenses are numerous in the Meadow Lakes area. Due to the large number of businesses that sell alcohol the plan establishes the policy that future liquor licenses of all classifications, including new and transfers, must be no less than:

- 1/2 mile from an existing establishment, unless located with the proposed town center;
- 1 mile from a school, private or alternative school, church, daycare center, park or playground;
- 1 mile from any under 21 entertainment venue.

3. Non-Alcoholic Cabarets and Under 21 Entertainment Venues

At the time this plan was written there were two such businesses in existence in Meadow Lakes. At that time the Community Council supported an ordinance as proposed by the borough to regulate this type of businesses. This plan recommends that the existing businesses and future businesses of this type be operated to comply with borough code.

4. TOWN CENTER

Background and Boundaries

Many small towns around Alaska and all over America are working to establish viable town centers, or revitalize main streets, to serve as a commercial and civic center for the community. The desire for a Meadow Lakes town center came through as a priority during both the workshops and survey.

The town center needs a central, convenient location, easily reached, but slightly off the Parks Highway. The area that best meets these criteria is the area south of the Parks Highway, in the vicinity of the Pittman intersection. This area already is the prime retail location in the community, has potential for the right kind of access, and includes large blocks of undeveloped private land.

Overall Objectives

Desired uses in the town center include comfortable public spaces to meet friends and neighbors; space for events, community activities and a range of commercial uses; and higher density housing.

The town center will have two sub-districts:

- The core area is intended to be a pedestrian-oriented district, with relatively high density mixed use development, in the spirit of traditional American main streets.
- Surrounding the core area will be a more spread out commercial and industrial district, providing space for uses that require larger buildings, larger parking lots, and a more auto-oriented character.

The town center is intended to serve as an amenity and convenience to Meadow Lake residents, be a profitable place for local businesses, provide an attractive destination for visitors, and help build a positive image for Meadow Lakes.

Developing a viable town center will require a challenging, multi-year process, and will only be successful with the cooperative efforts of the public sector and private land owners and developers. The qualities desired in the town center sought for Meadow Lakes are outlined below.

- Mixed-use – includes commercial services (see list below), civic uses and with housing within walking distance. This set of uses allows people to conveniently take care of shopping and other needs of daily life.
- Pedestrian-oriented – the central core needs to be comfortable to move around without a vehicle.
- Social life in public places – comfortable places to meet and visit with friends, neighbors, and strangers, including attractive sidewalks and perhaps a central square or plaza, and provides entertainment options for children, young adults, adults and seniors.

- Space to Grow - Provides sufficient space to meet commercial and industrial needs of a growing community; helps concentrate commercial development.
- Clustered Development - By clustering residential development, provides for more affordable housing and reduces costs for providing utilities.
- Identity – the town center should help give Meadow Lakes a more distinct, positive identity.

Steps to develop the town center are outlined below:

- Establish a phased development plan, for public and private investments, including roads and sidewalks, utilities, public buildings, amenities.
- Improve access to the site, for vehicles and pedestrians. Provide good access into and through the area for pedestrians (trails to the site, sidewalks within); provide convenient vehicular access in the area and good visibility to the area from adjoining roads, but avoid high speed traffic through the area.
- Provide a pedestrian overpass across the Parks Highway into this area; provide park and ride lots, and ultimately, a link to rail-based transit.
- Limit commercial development directly off the Parks Highway.
- Plan and develop infrastructure needed to support the more concentrated development associated with successful town centers, including common water, sewer and drainage.
- Adopt a Special Use District that expands upon and adds authority to the standards presented below.

TOWN CENTER: PEDESTRIAN CORE

Land Uses

Encouraged Uses:

- Commercial: Primarily local serving commercial uses. Uses most desired include “Main Street” commercial uses such as a bank, grocery, restaurants, bakery, book store, personal service (barber, hair salon), gas stations, repairs, arts and crafts/gift stores, hotels/motels. Secondary commercial uses include regional and visitor serving uses, such as specialty shops and restaurants.
- Secondary commercial uses include regional and visitor serving uses, such as specialty shops and restaurants.
- Public uses: for example, a library, post office, (the area already hosts the school and the senior center), space for a farmers market.
- Residential: single family and multifamily housing – encourage relatively high densities (including apartments and townhouses, up to approx 15 units per acre).

Discouraged Uses:

- Uses that disrupt opportunities to create a pedestrian-oriented commercial district. Uses that deaden a town center include large parcels devoted to a single function, e.g., large scale industrial activities, auto sales, storage, junkyards, big box retail stores.

Development Standards

1. Overall Character - Create a comfortable, attractive environment that invites people to linger, and is convenient and attractive to residents and to people passing through the area. Specific objectives include:
2. Setbacks – Encourage buildings to locate relatively close to the street, to create a sense of enclosure, and provide views into store fronts from the sidewalk. (note: this is different than the setback standards applying in the remainder of the community).
3. Streetscape – Encourage actions to create a good walking environment - require sidewalks, planting between street and building, on street parking. Include seating, sunlight, attractive and appropriately scaled buildings, historical information.
4. Include parks within and adjoining the town center, and trails that lead to undeveloped natural areas.
5. Building size/footprint – Smaller buildings are encouraged; break large buildings into smaller, human-scaled components rather than constructing large monolithic structures.
6. Parking – Create an attractive, inviting environment for walking. Screen parking areas, break-up large parking areas with planting. Encourage development of shared parking areas. Allow on-street parking.
7. Utilities and Services – Require screening of dumpsters, service bays, similar building features
8. Landscaping – Require attractive landscaping, do not require retention of a vegetative buffer in front of buildings.
9. Building heights and densities – Allow buildings of greater density and height than in other parts of Meadow Lakes, allow multifamily attached housing.

TOWN CENTER: OTHER COMMERCIAL / OUTER RING

Land Uses

Encouraged Uses:

- Commercial & Light Industrial: variety of commercial uses, including all those listed for the pedestrian core, plus larger scale industrial and commercial activities – larger grocery stores, construction equipment storage, manufacturing, etc.
- Public uses: for example, a library, post office, (the area already hosts the school and the senior center).
- Residential: Single family and multifamily housing – encourage relatively high densities (including apartments and townhouses, up to approx 15 units per acre).

Note – this area is intended to provide a combination of commercial, industrial and residential uses. More detailed planning will be needed, during the preparation of the Special Use District implementing this plan, to ensure these uses are compatible.

Development Standards

1. Allow buildings of greater density than in other parts of Meadow Lakes; allow multifamily attached housing.
2. Encourage attractive buildings, landscaping.
3. Require on-site parking.

5. WATERSHED & STREAM CORRIDORS

Background and Boundaries

Primary watersheds and stream corridors are defined as shown on the map at the beginning of this land use districts section. These boundaries are preliminary and may need to be refined as better information becomes available on the relative importance and sensitivity of different watershed areas.

Nearly all of Meadow Lakes' rivers, streams, lakes and wetlands are in private ownership. The areas included in this district are singled out as having particularly high recreation, habitat, open space and environmental values. Specific areas identified are the corridors of the Little Susitna River, Meadow Creek, Lucille Creek and the lakes and wetlands connected by these water-bodies. While not included in the boundaries of this district, tributaries to these water-bodies are also important and need protection.

Overall Objectives

The goal of this plan is to protect the water quality, open space, habitat and where possible, recreation values of these corridors, while recognizing that private owners have rights to develop their properties consistent with these goals. This can be done by establishing rules that limit the amount and impact of development on stream corridors, including low density development, minimizing disruption of natural vegetation, and restricting activities prone to damage ground and surface water. The overall intent of these policies is to find a balance between the community benefits of maintaining these areas in a largely natural state and desires of private land owners for use of their land. The recreation and open space chapter that follows provides specific recommendations for use in these areas.

Little Susitna River corridor is a designated State Recreation River. Under this designation, State lands, including the stream itself up the average high water mark, are reserved for public recreation and protection of habitat and other environmental values. The website below gives more information on the State Recreation Rivers Program:
<http://www.dnr.state.ak.us/mlw/planning/mgtplans/susitna/index.htm>

Land Uses

Encouraged Uses

Protection of water quality, open space, habitat.

Allowed Uses

Residential - low intensity residential, either low densities (approximately 5-10 acres per lot) single family housing where using on-site septic systems are used, or higher density residential where septic is treated off-site, significant land is retained as undeveloped open space, and development is set well back from creeks.

Discouraged Uses

- Commercial - general commercial not allowed, recreation-oriented commercial (e.g., lodging) allowed conditionally.
- Industrial – prohibited.
- Transfer Station/Recycling centers: shall not be located in the proposed residential area or within the open space/stream corridor.

Development Standards Specific to This District

1. Motorized Recreation Use - Establish policies restricting use of the Little Susitna River to non-motorized craft
2. Setbacks of buildings from water – expand MSB existing minimums from 75 to 100’.

(Also see standards applying to all uses in Meadow Lakes.)

6. BALDY

Background and Boundaries

“Baldy” refers to the mountain area rising north of the Little Susitna River. Much of this area is public land held by the State of Alaska. The Department of Natural Resources’ Willow Sub-basin and Deception Creek plans set out policies for the use of these areas.

The public land in this area includes a large, contiguous parcel held by the Alaska Mental Health Trust Authority (AMHTA). It is important to understand that Trust Lands are managed separately from other State of Alaska lands, in accordance with regulations adopted in 1997. The regulations provide that Trust Lands are managed solely in the best interest of the Alaska Mental Health Trust and its beneficiaries.

The website below gives details (see the Hatcher Pass and Little Susitna River management units.).

<http://www.dnr.state.ak.us/mlw/planning/areaplans/willow/index.cfm>

Current uses in the area are primarily recreational activities, including hiking, horseback riding, snow machining, four wheeling and hunting. Bench Lake is one popular destination.

Overall Objectives

State lands in this area, excluding Alaska Mental Health Trust lands, should remain in public ownership, and be managed for a range of public uses including protection of water quality, protection of fish and wildlife habitat, subsistence activities and a range of recreation uses including those current uses mentioned above. Mining is discouraged, but permitted to the degree it can occur without significantly reducing opportunities for these other uses.

Private land within this area may be used for the same general set of uses outlined for rural residential district; however, any development will require special care to minimize adverse impacts on visual quality, and impacts on water quality and habitat. This can generally be achieved through either small, carefully placed clusters of homes on suitable sites, or limited numbers of large parcel “estate homes”. For the purposes of this section, lands held by the Alaska Mental Health Trust Authority are considered private lands.

Land Uses

Encouraged Uses:

Recreation, open space, habitat protection are the primary uses on state land.

Allowed Uses:

Residential development on AMHLT property, as discussed above

Discouraged Uses:

Resource development such as mining. To the extent mining occurs it shall be strictly regulated to maintain recreation, open space, habitat and visual quality.

Residential, commercial, industrial:

Development Standards

Construct, maintain and guide use of trails to ensure protection of environmental quality, and to meet the needs of diverse trail users.

3.0 Major Goals & Strategies

3.2 OPEN SPACE & RECREATION

“It’s a quiet area, with nice neighbors and beautiful surroundings.”

“We need more open spaces where kids can get on their bikes and go play.”

OVERVIEW

With the Meadow Lakes Community Survey and the first Community Workshop, residents and landowners indicated that the natural, rural character of Meadow Lakes – the area’s lakes and streams, wildlife, wetlands and forests, trails, quiet and sense of solitude – is one of the primary reasons people chose to live in this community.²⁰ It is important to most residents to retain a strong sense of living in a natural, rural community, with ready access to undeveloped lands, and to trails, lakes and other recreation areas. This will protect the quality of life most desired by Meadow Lakes’ residents.

As more people move to the community, and more land is developed, these qualities will tend to be eroded. Likewise, without management, problems linked to recreational use such as trespass, trail conflicts and litter are likely to grow. In trying to meet recreation goals, Meadow Lakes faces particular challenges – compared to many other areas in the MSB – since almost all of the land is privately held and the population is growing at a rapid rate. Another challenging open space issue is the need to retain healthy stream, lake and wetland systems, which are the basis for clean well water.



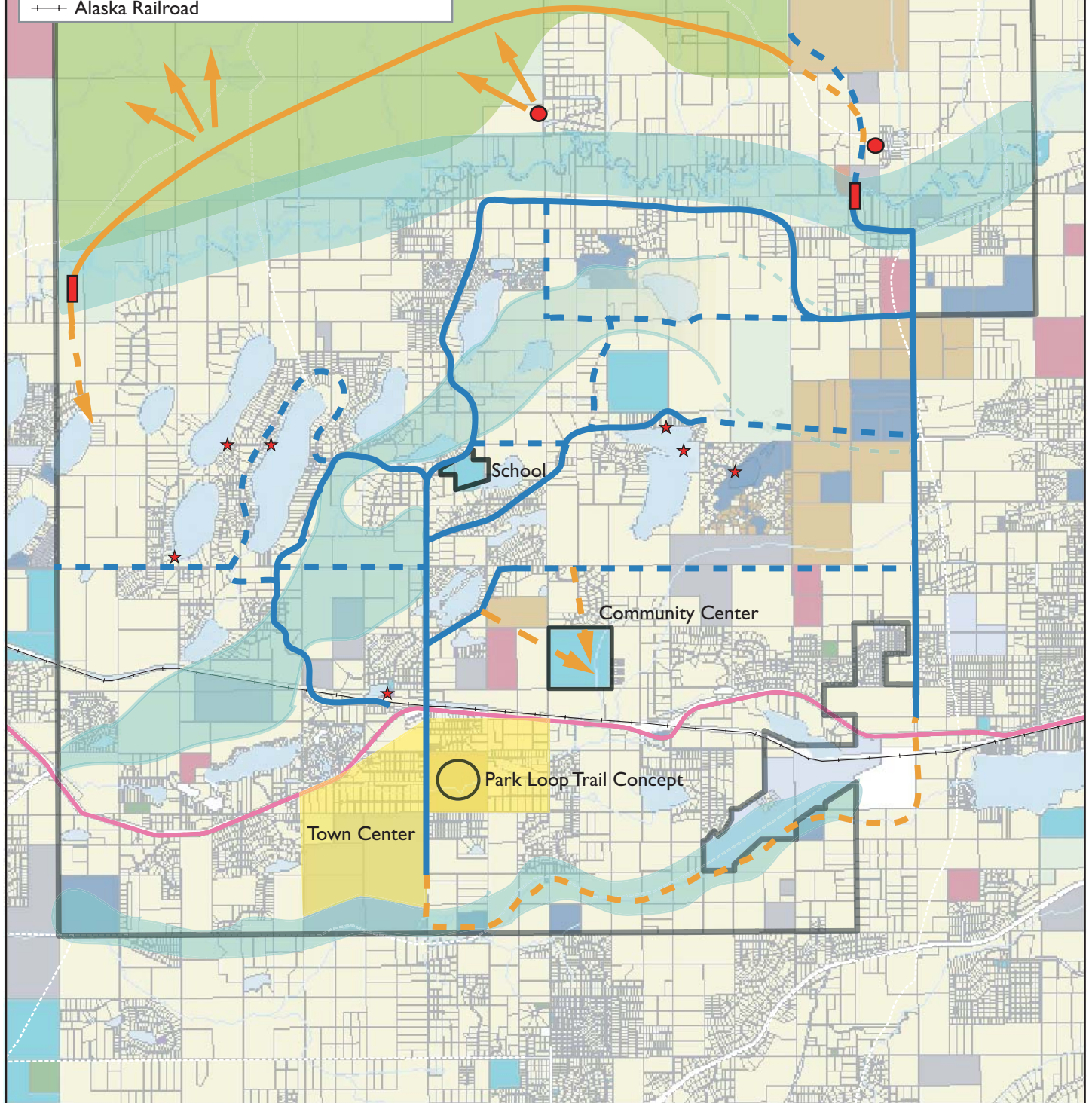
This Plan takes into consideration the high value of recreation and open space to the community, and sets out strategies to maintain and improve open space resources and recreation opportunities. As noted above and seen on the map on the following page, the majority of Meadow Lakes’ current open space - defined as natural areas that are largely undeveloped - is privately rather than publicly held. This plan outlines ways to take greatest advantage of the few lands still in public ownership, and, to the extent possible, to retain open space values on private lands.

²⁰ “Meadow Lakes Community Survey,” Matanuska-Susitna Borough, 2003; Meadow Lakes Community Workshop, May, 2004.

Trails, Recreation & Open Space

Proposed Trails:

- Along Existing Roads
- - Along Future Roads
- Within State or MSB Lands
- - Within Proposed (private) Open Space Areas
- Existing
- Proposed Trailheads
- Proposed Bridge/Public Recreation Area
- ★ Lake Access
- Watersheds & Stream Corridors
- Baldy/Open Space
- Alaska Mental Health Trust land
- Alaska Railroad



RECREATION & OPEN SPACE GOALS

The goals below are directed toward initiating, maintaining and improving a system for recreation and open space that meets the community's priorities, is area-wide, and sustainable. These goals were derived from the community survey, and the Spring 2004 community workshops. Based on this public input, the general intent is to improve recreational opportunities for residents, with a focus on small-scale, local uses. These Recreation & Open Space goals are closely related to goals in the Land Use, Public Facilities, Economic Development and Governance chapters, and should be considered in context.

Recreation & Open Space Goals:

- 1. Reserve, Protect and Enhance Natural Features & Open Spaces on Public and Private Land**
- 2. Create an Integrated Community Recreation System to Meet the Needs of Diverse Users**
- 3. Retain, Dedicate and Improve a Community Trail System**
- 4. Establish a System of Community Recreation Lands**
- 5. Create a Sustainable Recreation Management System**

GOAL I: Reserve, Protect and Enhance Natural Features & Open Spaces on Public and Private Land

BACKGROUND AND COMMUNITY VALUES

One of the main pleasures of living in Meadow Lakes is proximity to open space. Houses sit in a largely intact natural landscape, typically in forested areas, often with views of lakes, wetlands, meadows, mountains, and streams. Unlike life in typical American cities or suburbs, most people don't have to leave their homes to be in an attractive natural setting.

Retaining the community's rural character and open space values in the long-term can best be accomplished by working on two fronts –establishing standards to guide development on important, privately held open space lands (partially described in the “Land Use” chapter), and retaining most existing public lands in open space uses. This section includes strategies to accomplish both these goals.

A first step in this process was to identify which features and uses are priorities for residents. This sets the stage for creating a plan to protect them. With feedback from the community, important features and uses were identified, in Table 11 (below)

Table 11 – Meadow Lakes Open Space & Recreation Priorities

Feature		Community Values	Important Summer Uses	Important Winter Uses
Lakes		Open space, wildlife habitat, water source, contribution to rural character	Fishing, boating, waterskiing, swimming, float plane port (not all lakes allow all uses)	Snowmachining, skiing, ice fishing, skating, walking
Rivers, streams and creeks (for fishing, water		Open space, wildlife habitat, water source, contribution to rural character	Fishing, rafting, canoeing, corridors for hiking	Corridors for skiing, wading, running, snowmachining
Forests and wetlands		Open space, wildlife habitat, water source, contribution to rural character	Walking, hiking, running, biking, horseback riding, four-wheeling	Skiing, wading, running, snowmachining, sledding, horseback riding
Baldy & Southern Talkeetnas; “Backcountry” Open Space		Open space, wildlife habitat, water source, contribution to rural character	Walking, hiking, running, biking, horseback riding, four-wheeling	Skiing, wading, running, snowmachining, sledding, horseback riding

HOW? MEANS TO PROTECT NATURAL FEATURES & OPEN SPACE

A. Reserve Remaining Public Lands for Use as Recreation and Open Space

Though there is not much public land in Meadow Lakes, what does exist should be considered for recreation and open space uses before being designated to other purposes (see Map 1: Meadow Lakes Land Ownership on page four for locations). There are four main types of public lands in Meadow Lakes – state land (mostly in the northern section of the community, in the Baldy/Talkeetna Mountains areas, but also including a number of small parcels reserved for lake access); state waters (larger lakes and streams, e.g., the Little Susitna River, are held in public ownership up to the average high water line), four relatively large MSB parcels, and isolated small parcels dedicated for public use as part of the subdivision process, typically held by a homeowners association or the Borough. In addition to these public lands, there are a range of section line easements and other public and utility easements and rights-of-way in the area.

State Lands

The state land, excluding Alaska Mental Health Trust lands, managed by the Department of Natural Resources (DNR) has been designated as multi-use public land, to be retained in public ownership, and used for recreation, open space, habitat, mining, and grazing, [State Department of Natural Resources; Deception Creek Area Plan]. Reflecting community desires, this Comp Plan identifies this area to remain as open space, in public ownership, to be used for a variety of recreational purposes.

An additional benefit of this land to the community, aside from its recreational uses, is its value as a watershed. Since many homes in the Meadow Lakes area use wells as a primary source of drinking water, good drainage and clean groundwater is essential for residents.

Hunting and trail activities are the main uses in this area. Currently, there are no facilities or active recreation management in this area. Growing use over the next 5-10 years may necessitate changes in management, including more active trail construction & management.

MSB Lands

MSB land is currently at a premium. Borough lands include two 160 acre parcels, plus the school and fire station properties. These parcels should be managed for current and future public uses. Two sites are already dedicated to community uses – one for a fire station and the school, the other at the intersection of Church and Pittman, for the community's second fire station.

The Meadow Lakes Community Council recently acquired 40 acres of Borough land in a parcel just north of the Parks highway. The intent of the Community Council is to develop the site for a community center, a developed recreational facility, or other facility – such as a library or senior housing. In light of the lack of public land in the Meadow Lakes area, additional Borough parcels should be retained for similar public purposes.

B. Reserve Recreation and Open Space Values on Private Lands

Reaching the community's goal of retaining open space and recreation values requires considering how such values might be retained on private land. This is particularly important along lakes, rivers and streams, and in watershed/aquifer recharge areas. Some of the benefits of reaching these goals are listed below.

- Keeps Meadow Lakes' rural character
- Preserves wildlife corridors and protect fish runs
- Enhances water-based recreational opportunities, such as fishing and boating
- Preserves water quality
- If the greenbelts included a trail, improves trail-based recreation

While seeking these benefits, the community recognizes the need to respect the rights of private land owners. The information below outlines options for maintaining open space and recreation values on private land; the section that follows presents specific suggested strategies for Meadow Lakes, first for streamside greenbelt corridors, then for watershed/wetland areas.

1. Provide Greenbelts on Key Water-Bodies

There are several community waterways that could offer important greenbelts, including the Little Susitna River, Lucille Creek, and several smaller streams linking community lakes. The term "greenbelt" refers to linear corridors with a mostly undeveloped character, such as along a stream or trail.

Little Susitna River

The Little Susitna River, running east-west along the northern part of Meadow Lakes, is an important stream corridor in the community. For most of its distance, the river is a boundary between residential areas and the backcountry of the adjoining Talkeetna Mountains. Almost all of the land adjacent to the river is privately held, on both the north and south sides. The water column itself, up to the average high water mark, is retained by the State, allowing boating or walking along the river bar at low water. The MSB prohibits construction of habitable dwellings within 75' of the average high water mark.

The "Little Su" is one of 5 rivers in the Matanuska Susitna Borough designated as State Recreation Rivers. These special designations, approved by the State Legislature in 1997, recognize the outstanding value of these streams, and require that all public land along the river be reserved for public use and to protect river values.

This comprehensive plan identifies the Little Susitna as a distinct land use district (see land use chapter for details). The goals of this designation include working with landowners to protect water quality and habitat and to keep the riverfront in an undeveloped, "natural" state; establishing safe access points to the river for boating and fishing; and, if possible in the long term, creating an east-west trail along the river

The tributaries that feed the River are also very important to maintaining the quality and quantity of water in the main channel. The tributaries generally extend on the

north side of the river, into the Baldy/Talkeetna Mountains land use area. Future uses in that area, e.g., trails or other recreation facilities, will be designed to protect water quality and habitat along these tributaries.

Recommendations for protecting open space values and reducing development along the river corridor are listed below:

1. Establish “best management practices” for waterfront development - focusing on outlining suggestions for private developers to reduce the impacts of development on sensitive lands (e.g., limiting runoff that contains pollutants), and encourage land owners to keep their property in a natural state.
2. Review MSB setback requirements - Determine if more stringent development guidelines are desirable, and would help preserve the undeveloped state of the river.²¹ This could be accomplished most effectively through a community-driven Special Use District process (SPUD).
3. Limit the density of residential development.
Lower densities will help preserve rural character, and protect water quality and habitat values. This also could be accomplished through a community-driven SPUD.
4. Use the “open space” subdivision process to reserve key portions of riverfront lands for environmental values or trails when larger parcels are subdivided.
5. Establish land use policies limiting development in natural hazard areas (e.g., floodplains) or sensitive environmental areas (e.g., wetlands).
Development in floodplains must meet national standards to get flood insurance, which is often required by financial institutions.
6. Support establishment of a local land trust or land bank to purchase and/or hold easements or key parcels along the river.
7. Support tax-incentives for private landowners to grant trail easements along the river and/or to keep the riverfront undeveloped.²²
8. Request funds from the MSB, State or other agencies to purchase parcels for public use.
9. Work with the State of Alaska to establish rules that encourage non-motorized use of the river, to maintain the quiet character of the corridor.

²¹ For example, currently the MSB retains a 75’ setback from creeks and rivers which prohibits the construction of “habitable dwellings” within the setback. However, this *does not exclude* construction of structures such as garages, docks, and other outbuildings within the setback. Consequently, construction of such buildings is currently allowed on the banks of rivers and creeks in Meadow Lakes.

²² Over the last 20-30 years, the State of Alaska has retained an access easement on water bodies when it conveys land. These easements range from 25’-75’, but are typically 35’-50’ from the high-water mark. This was less common earlier in Alaska’s history, and public access easements are only intermittently present on water bodies in the Meadow Lakes area. Trail and non-development easements can be donated by private landowners, or acquired for a fee, as is done by land trusts, such as the Great Land trust based in Anchorage. To preserve open space and agricultural lands, some communities make contracts with land owners who agree to not develop their property in exchange for the property being taxed as non-developer property.

Lucille Creek

Lucille Creek runs east-west along the southern end of Meadow Lakes, and is another landmark of the area. Like the Little Susitna River, this corridor is almost entirely in private ownership. This plan identifies this area as an important open space corridor. The plan establishes a land use district defining the boundaries of the area where the community hopes to retain open space values (see Land Use Chapter). To protect open space values in this area, the same set of policies listed for the Little Susitna will apply.

Other Creeks & Streams

There are other smaller drainages in the Meadow Lakes system that are important for water quality, habitat, and potentially for recreation use. Open space values should be protected along these streams where ever possible. Options include requiring development setbacks, and establishing open space corridors to be transferred to public ownership at the time of subdivision using the “open space subdivision process.”

The set of small streams and tributaries crossing through the center of the Meadow Lakes area (Upper Little Meadow Creek) is addressed as part of the following section.

2. Protect Water Quality, Open Space, and Habitat Values in Key Privately Owned Wetlands / Watershed Areas

Much of the undeveloped land in Meadow Lakes is relatively poorly drained, low lying land (see the map in Chapter 2 for details). This land – the “meadow” in Meadow Lakes – generally has poor building conditions, due to the wet soils. At the same time, this land is very important for recharging aquifers, for providing open space that helps sustain the area’s rural character, and providing habitat to moose, birds and other species.

Upper Little Meadow Creek

The Upper Little Meadow Creek drainage takes in a series of linked meadows and stream channels crossing through the heart of Meadow Lakes. While all the wetland areas in Meadow Lakes are important, this area is the largest, most continuous and most valuable of the watersheds in the area. Consequently, the plan establishes a land use district defining the boundaries of the area where the community hopes to retain open space values (see Land Use chapter). To protect open space values in this area, the same policies listed for the Little Susitna will apply.

In addition, require compliance with US Army Corp of Engineers wetland policies that require avoidance or mitigation of actions that adversely affect wetlands

GOAL 2: Create an Integrated Community Recreation System to Meet the Needs of Diverse Users

BACKGROUND AND COMMUNITY VALUES

The next step in developing a community recreation plan is to distinguish more specifically what is valuable about Meadow Lakes natural features and recreation resources, by considering their “uses.” Currently, recreation areas and open space in Meadow Lakes serve a variety of user groups, yet there is no over-arching plan for thoughtfully improving, integrating or separating use areas. Understanding who is using the land and for what purposes is a key step in protecting and taking full advantage of recreation and open space lands.

As more people move to and visit Meadow Lakes, open space becomes more valuable. Some recreation uses come into conflict; some are impacted by continued development. Resources are limited to develop and operate desired recreational facilities. A clear understanding of use and users helps to set priorities among competing recreation improvement projects.

Benefits to users of open space and recreation resources in Meadow Lakes include:

- Community identity – basis for aesthetic value and rural character
- Community-building (e.g., through use of public gathering spaces like parks)
- Access to outdoor activity, for recreation and to improve health
- Access to wildlife and other subsistence resources (for viewing, fishing, hunting, trapping, firewood gathering, berry-picking, etc.)
- Economic development (e.g., through recreation- and tourism-related business and increased property values)
- Environmental benefits (clean air, clean water, healthy ecosystem, etc.)
- “Wild Places” benefits (quality of life benefits of contact with wild places)

Users of the area often have different needs. The Comp Plan should consider ways to best use available land and to resolve user conflicts. Identifying and discussing current and future uses with distinct user groups is a first step, which can help ensure that the recreational needs of a variety of users are being met.

Users can be identified by their age, activity, place of residency, and other factors. Some of the user groups in Meadow Lakes who have special recreation and open space needs are listed in Table 12: Meadow Lakes Recreation Users, Needs, and Recommendations (see following page).

Table 12 – Meadow Lakes Recreation Users, Needs, and Recommendations

User	Need	Recommendation
Children & Youth	Ability to navigate the community on safe trails, either by bicycle or walking; immediate access to places for safe, fun outdoor play	Neighborhood trails systems, neighborhood parks & open space
Motorized & Non-Motorized Users	Trails and areas where snowmachines/4-wheelers are segregated from non-motorized uses, such as horses or skijoring	Corridors for skiing, walking, running, snowmachining; for equestrian, dog mushing or other uses including animals
Indoor Recreators	Four-season opportunities for health exercise	Community center housing indoor recreation facility
Residents	Neighborhood Recreation Areas	Local parks, community trail system
Visitors	Easy access to trails, fishing areas, rivers and parks that do not disturb local residents or trespass on private property	Well-marked trailheads with directional signage from the Parks Highway; area map distributed in local businesses; small parking areas
Commercial Recreation-related Operations	Area to successfully operate small-scale tourism ventures, small group guided hikes, canoe trips, river floats	Pull-out/put-in areas for guided rafting trips; Recreation attractions that would support B&B operators

HOW? MEANS TO PROVIDE SERVICES TO DIVERSE USER GROUPS

This comprehensive plan is intended to be the starting point for the community to establish a more complete, broadly beneficial recreation open space system. Actions to make progress in this direction are outlined below:

1. Form a recreation, trails and open space subcommittee of the Community Council. Contact user-groups to discuss specific recreation needs and interests.
2. Meet with specific subdivisions/neighborhoods; carry out neighborhood work sessions to identify currently, locally-used trails and open space areas; identify different types of expected uses; identify parcels for potential neighborhood parks.
3. Identify areas where new, enhanced or more restricted recreation and open space uses should be considered. Make specific recommendations about specially-identified areas.
4. Use the outcome of these first three steps to add to and refine the recommendations of under the other goals this chapter, producing specific recommendations for

- retention/improvement of open space areas, neighborhood parks, or other recreation facilities; and new recreation and open space management strategies.
5. Engage the community to play a more active role in the maintenance of neighborhood and community scale recreation sites, e.g. lake access points, working with the State and Borough. Urge the community to conduct annual clean up days, and to take pride in the signs and upkeep of local parks.
 6. Relate recreation and open space uses to goals established for Land Use, Economic Development, and Governance.

GOAL 3: Retain, Dedicate and Improve a Community Trails System

BACKGROUND AND COMMUNITY VALUES

Traditional trails cross over much of the Borough, and provide for a wide range of functional and recreational activities, from dog mushing to snow machining, strolling to hunting and trapping. Though many people refer to “trails” as one of the most important elements of Meadow Lakes’ quality of life, there are currently no dedicated (that is, legal public) trails in the non-mountainous portions of Meadow Lakes, other than the Parks Highway bike trail.

Traditional trails do exist in the lowland, privately owned portion of the community, and comprise an extensive system, but all cross private land. Many of these trails have already or are actively being lost as land is developed; if the situation remains unchanged, it is likely that all of the trails in Meadow Lakes will no longer be available for community use. Residents are concerned about the loss of trails, while at the same time respecting private property rights. Creating an integrated, community-wide public trail system will be challenging for Meadow Lakes, but it is something most residents believe is absolutely necessary, and that will only be more challenging in the future.

Specific trail uses to be provided in the community – both for summer and winter and for motorized and non-motorized uses – include trails for: dog mushing, cross country skiing, snowmachines, bikes, horses, ATV’s, walking and hiking

This plan attempts to lay out recommendations and criteria to be used later in developing a more complete Comprehensive Trails Plan for Meadow Lakes.

HOW? MEANS TO CREATE A MEADOW LAKES TRAILS SYSTEM

A. Identify Existing Trails

The MSB is completing a Borough-wide review of traditional trails, and then working with communities to dedicate the most important trails for continuing, legal public use. The community should continue to work with the MSB to identify key traditional trails, including preparing a map showing important existing trails and identifying land over which these trails cross. A Meadow Lakes Trails Committee should be established to work on trail issues within the area.

B. Identify and Reserve Key Trails to Serve as the Backbone to a Community Trails System

This Comp Plan offers an initial, but incomplete version of a community trails plan. The community should continue to improve and refine this plan, consistent with the specific objectives outlined below:

1. Prepare a Trails Master Plan - Start by reviewing the location, status of any existing, traditional trails (results of item A above), and the needs for trail improvements outlined below. Identify the highest priorities for dedication and improvements. Take actions to secure and/or dedicate important trail routes for public use; secure easements and rights of way, reroute trails where needed.
2. Use Road Rights-of-Way - In light of the lack of public land in the community, the best option for creating a trail system is to locate the trails next to existing and future roads. Where public rights-of-way already exist, the odds of successfully developing community trails and obtaining funds for transportation improvements increase. The State and MSB should consider multi-use trail construction whenever arterial and connector roads are built or improved in Meadow Lakes. One successful approach used in other portions of the Borough is to include a motorized dirt or gravel route on one side, and a paved bike path on the other.
3. Priority Trails - Focus on trails that connect the following points (see map):
 - Establish multi-use road-side trails – along Shrock, Pittman, Church, Meadow Lakes Loop, and future arterials and collector roads
 - Establish new trails running along a planned new east-west collector road
 - Provide trail connections between the elementary school and adjoining residential areas
 - Provide a trail link between community residential areas and the Little Susitna River Corridor and the State-owned, open space land to the north, particularly to Bench lake
 - Establish trail and sidewalk connections between residential areas and the planned town center south of the Parks Highway, near the Pittman Road intersection
 - Provide trail access to existing and future community parks, e.g. on the two 160 acre Borough tracts, and also smaller neighborhood parks
 - If possible, establish trails along future greenbelt corridors, including the Little Susitna River, Lucille Creek, and the Upper Meadow Lakes Creek Watershed corridor. While desirable for the community, these trails can only be developed through cooperation of affected land owners
4. Subdivision Process - Always consider trail needs in reviewing subdivisions, road improvements, or other actions that could affect or provide the chance to reserve public trail easements. Wherever possible include sufficient right of way width in new roads for future roadside trails.
5. Collector Roads - Establish collector roads (See Circulation chapter) to funnel higher speeds and volumes of traffic off neighborhood roads, so these roads are safer for walking and biking.

6. Secondary Trails - Establish other new, often secondary trails:
 - Connector trails as land is developed in the “meadows,” using the open space subdivision process. Many of these may primarily be winter trails
 - Neighborhood trails as part of road improvements, or subdivisions in and near established neighborhoods
 - As an element of the restoration of gravel pits
 - Along section line easements, and where possible, utility easements
7. Partners - Work with land owners (individual private owners, institutional owners such as the Mental Health Trust, the University, and public land managers) who have traditional trails crossing their land and promote? Structure? plans that allow continued, conditional trail use. This approach has been successful in Willow, and resulted in an extensive community trail system.

C. Upgrade Existing and Add New Bridge Crossing of Little Susitna River.

Better access to the State land in the Baldy area is key to improving an area-wide trail system. Currently, one bridge crosses the Little Su - the Olsen Bridge – off Schrock Road. The bridge crossing area serves as a put-in spot for boaters, but lacks a dedicated parking area. The site also has problems with partying, litter, and lack of a restroom. Proposed improvements at this site are discussed in the following section.

The next safe stopping area for boaters is outside of Meadow Lakes, in Houston. Second and third put-in areas downstream are desirable – perhaps from the turn at Pittman and/or north of Gunflint.

D. Establish Trail Heads to Support and Direct Trail Use

Identify specific trailhead areas that have convenient, safe public access, parking, trash receptacles and trail use information. Use the location of trail heads to funnel trail use away from neighborhoods and private property. Priorities for trails head include sites at the end of the roads that cross north of the Little Susitna, providing access into the Baldy area.

E. Summary: Highest Priorities for Near-Term Trail Improvements

Of the various trail-related actions and projects outlined in section, the highest priorities are listed below:

- Complete a community trails master plan
- Develop a trail along Pittman Road (check with state re: ROW width, odds of carrying out this project)
- Find a route and reserve a trail connecting the community’s primary residential areas with the Baldy /Talkeetna Mountains area (including a crossing of the Little Susitna). The trails map shows one promising route – a connection at the western end of the Little Su, in the one location where state land extends across the river.

GOAL 4: Establish a System of Community Recreation Lands

BACKGROUND AND COMMUNITY VALUES

Residents of Meadow Lakes want to preserve their quality of life by establishing an integrated parks, recreation and open space system, with both developed and undeveloped sites. As one resident commented, “We need more open spaces where kids can get on their bikes and go play.” Others have discussed how recreational uses could be considered as a means of increasing visitor-based business to Meadow Lakes. These uses should be considered by examining the needs of the entire area, as well as the needs of individual neighborhoods.

Some recreational facilities to consider are:

- Ball fields and similar outdoor sports and recreation facilities (skating rink, track, basketball courts, etc.)
- Multi-purpose indoor recreation facilities (gym, basketball court, etc.)
- Motorized and non-motorized play areas (motocross or ATV/snowmachine trails; as well as trails for cross country skiing, mountain biking, hiking)
- Neighborhood parks; playgrounds including climbing structures, seating, sled hills
- Campgrounds, picnic areas and restrooms
- Lake and stream access
- Boardwalks, interpretive sites on wetlands
- Water-access facilities (docks & launches)
- Open space areas (ski loops, walking paths, etc.)
- Scenic viewpoints
- Town Center park

HOW? MEANS TO PROVIDE A COMMUNITY RECREATION SYSTEM

As is the case with trails, the Comp Plan can take the first step in developing a community recreation system, but the full process will need to follow the completion of the Comp Plan. Objectives for the community recreation and open space system are listed below:

A. Retain, and in Some Cases, Improve Public Access to Lakes.

As the community’s name suggests, lakes are the distinguishing characteristic of the area. Much of the residential development in the area has grown up around lakes; waterfront property with good lake access is highly valued. Residents enjoy a range of activities on lakes – canoeing, fishing, jet skiing and swimming during the summer months, and ice fishing, snowmachining, and skiing during wintertime. Float planes take off and land on some lakes. Hiking and walking trails and picnic and beach areas exist around others.

In addition to their recreational value, use of the lakes promotes neighborly relations – “I use my snowmachine to cross the lakes all winter with my kids and visit friends,” said one resident – and provides opportunities for quality family-time – “I like to have someplace where I can take the grandkids swimming,” remarked another.

Allowing residents to safely and responsibly use area lakes is a high priority. Doing so increases the quality of life of residents who don't reside directly near the water, and adds value to all real estate in the area. Fortunately for Meadow Lakes residents, while most easily-accessible shorelines are covered by private subdivisions, public access to many lakes has been retained by the State.

Existing public lake access points need improvement throughout Meadow Lakes. The recreation/open space map shows most (but not all) of these access points. Steps to improve public access to lakes include:

- Identifying public access points with small, attractive signage, including rules for responsible use of these sites [insert sample attractive lake access sign]
- Improving small-craft launches and lake-access trails, where they currently exist
- Improving parking areas, where they currently exist, but keeping them small in size to limit over-use, and
- Creating a system for managing recreation use, with moderate, community-supported management measures, e.g. emptying trash cans or reducing vandalism. Regular use by local residents is one of the most powerful ways to discourage inappropriate behavior

The Meadow Lakes Community Council and the State should work with neighborhoods to determine methods for striking the correct balance between public access and homeowner privacy.

B. Other Policies to Develop Recreation Facilities

1. Master Plan - Prepare a recreation, trails and open space master plan, establishing guidelines for an area-wide park system, linking smaller neighborhood parks and recreation areas to community scale parks, open space and trails. Set priorities among recreation activities:
 - Community center with indoor sports, work out space
 - Community Park with sports fields: including baseball, soccer, ice rinks, sled hills, etc.
 - Cross country ski area
 - ATV/Motocross area
 - Undeveloped open space recreation areas (for skiing, snowmachining, mushing, equestrian activities, etc.)
 - Better water and lake access (covered above)
2. Neighborhood Parks/Lake Access Points - Explore options to create neighborhood park facilities at lake access points, with picnic tables, play equipment. This will benefit local users, and create more activity in these areas to discourage vandalism.
3. Community Building - Proceed with plans for a community building (see Land Use and Public Facilities chapters); include with this project indoor recreation areas, and outdoor sports facilities. Preferably develop this facility in the planned town center.

4. Community Park - Reserve site for at least one large community park (20-60 acres); best options are at one of the two large Borough parcels.
5. School Recreation Facilities - Upgrade play equipment and sports fields at the school, so this can be a center for community recreation.
6. Campground/Day Use area at the bridge over the Little Susitna River. There are two objectives for this project: one is to create a management presence in the area to control partying by local kids. The second goal is to create a public day use area and/or campground. Implementing this plan will require work with the State, Borough and private owners. Knikatu Corporation, which owns land adjoining this crossing, has expressed interest in working with the community to establish recreation facilities at this site. The campground could function as dedicated access to the river, with parking, a restroom and interpretive information.
7. Subdivision Process - Secure new sites for neighborhood parks and other recreation facilities, establish rules so these areas are dedicated as part of the subdivision process and then managed for public use.
8. Beach Park – secure land for a community lake front park, with swimming, picnicking, parking and trail access.
9. Identify scenic viewpoints.
10. Work with residents to determine the need for individual lake management plans.

C. Summary: Highest Priorities for Near-Term Actions

Of the various recreation improvements outlined in section, the highest priorities are (list below is preliminary, for discussion with planning team)

- Complete a community recreation, parks and open space master plan
- Community building, with adjoining outdoor recreation/sports facilities
- Reserve/acquire land for a community lakefront beach park. This site ideally would be centrally located, have space for picnicking and other park facilities, and have a sheltered, south facing, sandy bottomed area for swimming. One option would be to establish this park on a reclaimed, man-made lake, but a natural lake is preferred
- Improvements to lake access – better signage, parking, informational signs, possible play facilities for neighborhood kids

GOAL 5: Create a Sustainable Recreation Management System

BACKGROUND AND COMMUNITY VALUES

Identifying and developing trails, and carrying out recreation and open space projects is a necessary first step in meeting community recreation goals. The key second step is defining strategies to operate, maintain and manage these facilities and activities. Good management is essential for making the Trails, Recreation and Open Space plans sustainable.

Given ongoing fiscal challenges facing the Borough and the State, creative methods to pay for management and maintenance costs are needed. All over Alaska, declining State and Borough budgets are placing greater responsibility at the local level.

Options for maintenance and operation of recreation facilities include:

- Arranging for a third party – the State or Borough - to be responsible for managing recreation facilities
- Creating revenue from the use of a recreation facility to cover management costs. In Talkeetna, for example, the community charges for parking and uses these revenues to manage the adjoining river front park. State and federal campgrounds commonly charge a fee for use, and this approach is increasingly being proposed at Alaskan day use recreation areas
- Relying on local volunteers, camp hosts
- Looking for opportunities for multiple uses of established facilities like a school
- Establishing a recreation service area, to raise funds through property taxes
- Establishing an “impact fee” system, as is common in the western US, where new development/subdivisions pay into a fund to operate parks and other recreation facilities

As the level and variety of recreation activities increases, there are often conflicts and undesirable behaviors that require management. One nearby example is the set of challenges facing the Butte area near Palmer, where reckless shooting, car burning, litter and partying have created major problems for local residents. Other examples include conflicts over motorized vs. non-motorized trail use. Actions to manage recreation use include:

- Information (e.g., brochures, signs, maps to guide recreation use to the right locations)
- Education (e.g., programs on trail etiquette, perhaps conducted by a local snow machine club)
- Design and location of facilities (e.g., directing trail use to a preferred location by constructing a trail head, trails in the right location)
- On the ground enforcement (e.g., through the state troopers, MSB land management)

HOW? MEANS TO MANAGE RECREATION AND OPEN SPACE SYSTEM

Options for managing Meadow Lakes parks, open space and other recreation areas and facilities are outlined below. These general approaches will need to be further explored and developed by the community as part of the implementation of this plan:

- Establish a Meadow Lakes Trails Committee responsible for identifying existing trails, working with the MSB to designate priority trails, and work on a Master Trails Plan for the Meadow Lakes area
- Engage recreation sub-committee of community council in advocating for better recreation management by State and Borough, and also in fundraising and volunteer coordination from the local community
- Recreational education and information programs (maps, brochures, posted regulations, speed limits, directional signage, etc.)
- Directional roadway signs (trailheads, roadside, lake access points, etc.)
- Create local outreach/educational programs (Adopt-A-Lake-Access, Adopt-A-Trail, trail clearing events, school programs, community newsletter notices, etc.)
- Create economic incentives for development and ongoing maintenance (public-private partnerships for campgrounds, facilities, etc.)
- Consider user fees for specific areas
- Create individual lake management plans
- Consider regulations that can be enforced through public or private means (police, neighborhood watch, local towing company, etc.)
- Consider alternative models such as recreation service districts, land trusts, neighborhood patrols, community associations, etc. Some of these bodies may be able to assess fees as well as maintain parks

RECREATION & OPEN SPACE LAND USE AREAS

The land use districts outlined in the land use chapter provide a framework for carrying out recreation and open space goals, see that chapter for details.

3.0 Major Goals & Strategies

3.3 CIRCULATION

OVERVIEW

Circulation refers to the range of systems used to move people and goods around and through the Meadow Lakes area, including movement by private vehicles, trains and planes, as well as walking, skiing, four wheelers, snow machines and other trail activities. The community's current road system evolved from roads built to serve the homesteads that developed in the area during 40s and 50s. Today, the Parks Highway is the dominant element of the Meadow Lakes traffic circulation system. Linked to the Parks Highway are two major north-south collectors – Pittman and Church - which circle together at the north end of the community. Branching off this system are many smaller residential subdivision roads, some of which are beginning to carry heavier traffic from multiple subdivisions.



The Alaska Railroad crosses the Meadow Lakes community and provides an important statewide freight and tourist link, but it also creates a significant barrier to new roads linking Meadow Lakes residential areas and the Parks Highway. Natural features such as the Little Susitna River, the wetlands along Lucille Creek, numerous lakes and meadows, and commercial ventures, including several large gravel mining operations form additional obstacles to road expansion.

The southeastern corner of the Meadow Lakes Community Council boundary wraps around the Wasilla Airport. The community also has a number of smaller airstrips and lakes used by wheeled aircraft and floatplanes. With an extensive, but mostly informal trail system, trails in Meadow Lakes have long been used by snowmachines, hikers, dog sleds, horse riders and skiers; virtually all trails cross what are now private lands, and consequently these trails are likely to be closed to future public use.

The Mat-Su Borough and the local road system have rapidly grown over the last two decades, and this trend is expected to continue. Circulation issues have created increased concern in Meadow Lakes. These issues include congestion on the Parks Highway, the transformation of some quiet residential streets into ad hoc collector roads, and the heavy use of Pittman and other residential roads by gravel trucks. In addition to concerns posed by incremental residential and commercial growth, future regional transportation projects that will affect the local circulation system include continued improvements to the Parks Highway, both within and outside Meadow Lakes, and the proposed Knik Arm crossing. The Knik Arm ferry and bridge projects would not improve driving times between Meadow Lakes and Anchorage, and could actually divert traffic that currently passes through the community.

COMMUNITY CIRCULATION GOALS

The circulation element of this plan responds to residents' desires to maintain rural character, concentrate commercial development, and upgrade existing roads and locating future collectors to serve private property that is likely to be developed. Early location of future collector roads will allow the Borough to obtain right-of-way cost-effectively and allow residents and future residents some certainty as to where future main roads will be located. These goals and strategies are derived from a community survey in 2003 and the spring 2004 community workshops.

- 1. Guide Planned Expansion Of The Parks Highway To Create An Attractive, Efficient 'Parkway' That Benefits Meadow Lakes**
- 2. Retain Church & Pittman As Collector Roads With Minimal Driveways And A Largely Rural, Undeveloped Feel.**
- 3. Plan for Future Expansion Of The Residential Road System; Identify Roads To Serve As Collectors; Create Better Connections To Adjoining Communities To Supplement The Parks Highway**
- 4. Set Appropriate Standards for Road Development and Surfacing**
- 5. Plan for Good Town Center Access**
- 6. Plan For Continuing Railroad Use; Maintain Opportunities for Transit, including Rail and Carpools**
- 7. Maintain and Improve Roadside Trails** (covered under recreation & open space)
- 8. Improve Road Maintenance**

GOAL I: Guide Planned Expansion of the Parks Highway to Create an Attractive, Efficient 'Parkway' that Benefits Meadow Lakes

BACKGROUND AND COMMUNITY VALUES

The Parks Highway serves three functions. It is a major state highway carrying freight and through traffic, a means for local residents to reach their homes, and the location for a number of local and regional businesses. This mix of uses creates congestion and safety problems, which will intensify as the traffic continues to grow. In past meetings, the community emphasized that the comprehensive plan should support appropriate road design and development that evokes a "parkway" character, that is, an attractive, tree-lined road, with smooth traffic flow, minimal driveways, and with most roadside businesses reached by way of secondary roads or frontage roads. A parkway is both more attractive and better at moving through traffic than the commercial strip that has evolved in the Wasilla area. What drivers see from their vehicles, determines their impression of the community.

The recently completed Draft Parks Highway Management Plan (ADOT/PF, Nov. 2002, Table 3-4) predicts continued traffic growth, from 15,100 vehicles per day in 2000, to 31,700 per day by 2030. The ADOT/PF plan identifies the eventual need for either substantial widening of the existing road, or a bypass. The State is now in the early stages of planning road improvements. Environmental analysis will be done over the next several years, and construction completed by the end of the decade. Meadow Lakes can be active in shaping this project through this comprehensive plan and providing comments and information about community goals to ADOT/PF.

HOW? - PARKS HIGHWAY IMPROVEMENT THAT BENEFITS MEADOW LAKES

A. Plan for future expansion of the Parks Highway to create an attractive, safe and efficient route that better separates through and local traffic

Meadow Lakes faces the same set of issues that have confronted communities around the US for decades – what to do with an increasingly congested regional highway crossing through the center of town? The ADOT/PF Parks Highway Corridor plan is evaluating several alternative approaches for upgrading the Parks Highway through Wasilla and Meadow Lakes. Currently, DOT favors widening the Parks on its existing alignment, rather than shifting the road to a new location. Under this approach the road would grow from two to four lanes, requiring an increase in ROW from 200 to 400 feet. Major, freeway-style intersections will ultimately be needed at the intersections of Church, Rocky Ridge, Pittman and west of Meadow Lakes at the Big Lake turn-off. Construction is not expected for 8-12 years.

The community looks forward to working with DOT to help plan this project, to identify and compare different alternatives, and to select the alternative that best meets the community's goals. Currently this plan supports the recommendation to maintain the Parks Highway on its existing alignment, provided this decision incorporates the actions listed below.

- Create a controlled access, 4 lane highway, with grade separated intersections, to reduce congestion, improve flow of through traffic and maximize safety. Minimize driveways and intersections along the Highway; uses located near the Parks should gain access from frontage roads and shared entryways rather than individual driveways. .

- Work with DOT/PF to identify the preferred route for the upgraded Parks Highway. Three alternatives have also been proposed. The first is to upgrade the existing highway. The second is to move the road south, beginning at about the Charles Street intersection, into the vicinity of Calico Drive, and then west till it meets the existing route near the Randall Road intersection. The third is tied to a possible bypass of the Parks through southern Wasilla. This would likely enter Meadow Lakes from the southeast, along Knik Goose Bay Road, and continue west near Calico Drive and back to the existing highway near the Randall Road intersection.
- Encourage the majority of commercial and industrial uses in the Meadow Lakes area to concentrate in several discrete districts, rather the spread along the length of the Highway. In particular, work to create a Meadow Lakes town center area, located south of the Parks Highway near the Pittman Parks Highway intersection, to include an attractive, pedestrian-oriented commercial and civic core serving local residents and visitors.
- Provide a series of well designed intersections that provide access off the Parks Highway into adjoining residential areas, and the town center commercial district.
- Retain existing vegetation or provide landscaping so the large majority of the Highway is lined by trees. Retain several substantial areas adjoining the Parks Highway in a largely natural state, to create a clearer sense of identity for the Meadow Lakes as distinct from adjoining communities. In particular, work to maintain the Alaska Railroad property on the eastern side of the community as an undeveloped, natural area.
- Provide for safe crossings of the Parks Highway by pedestrians and other trail users including bridges and tunnels. Improving the pedestrian crossing at Pittman is a very high priority.
- Minimize adverse environmental impacts of highway development, for example, minimizing impacts on wetlands and stream systems.
- Consistent with other considerations outlined above, minimize road construction costs, including costs for construction and ROW acquisition.

B. Improve Parks Highway Intersections

Parks Highway improvements are not expected for at least 8-12 years. Meanwhile actions are needed to improve key community intersections. Most important are improvements at Pittman, including improving visibility, improving pedestrian safety, reducing gravel truck-vehicular conflicts, and reducing problems due to ice. A signal at Vine is also a priority.

C. Limit commercial development along the Parks Highway

In order to create a successful town center, these facilities and services need to be the focus of commercial development in Meadow Lakes. If commercial enterprises are allowed to sprawl along the Parks Highway and other community roads, it will be more difficult to achieve the concentration of development necessary for a functional town center. (See Land Use Chapter for details.). One way to implement this strategy is to take advantage of the relocation of businesses that will be required when ADOT/PF expands the Parks Highway ROW, and buys the adjoining properties. Businesses can use this opportunity to relocate the town center area.

GOAL 2: Retain Pittman, Church & Schrock as Collector Roads with Minimal Driveways and a Largely Rural, Undeveloped Feel.

BACKGROUND AND COMMUNITY VALUES

Meadow Lakes residents have consistently emphasized their enjoyment of the rural character of their community, and the desire to maintain this rustic character into the future. One major reason for this character is the tree-lined, largely undeveloped nature of Pittman and Schrock – the two major gateways into the community’s residential areas. In addition to aesthetic benefits, the lack of driveways and commercial development on these roads means traffic flows smoothly.

HOW? – MEANS TO MAINTAIN EXISTING CHARACTER OF PITTMAN, CHURCH AND SCHROCK ROADS.

Pittman and Schrock shall be managed in the same general style proposed for the Parks Highway, that is, these should be limited access, “parkway-style” roads with minimal driveways to individual properties. Instead, as is largely the case today, properties adjoining these roads should gain access using shared drives or separate roads. A buffer of vegetation (natural evergreen) should be retained along the length of both roads. (See Land Use Chapter for a proposed buffer).

GOAL 3: Plan for Future Expansion of the Residential Road System; Identify Roads to Serve as Collectors; Create Better Connections to Adjoining Communities to Supplement the Parks Highway.

BACKGROUND AND COMMUNITY VALUES

The Meadow Lakes Area road system has developed organically over the years. The road circulation system is likely to go through growing pains as more land is developed. The roads serving subdivisions were originally constructed for low levels of use. With increased development some of these roads are effectively functioning as ‘collectors’, that is, roads that carry traffic from multiple subdivisions. To avoid too much traffic on residential roads, a plan is needed that identifies a hierarchy of roads – a road system - with higher capacity collectors that are buffered from residential development. Certain existing roads need to be identified as collectors, or even as arterials, and improved and maintained to a higher standard. New collector roads are needed to augment existing roads, as well as to provide more direct road and trail connections to surrounding communities.

In addition, several neighborhoods with significant populations have only one way in or out. Greater connectivity and secondary access between neighborhoods and main highways can improve public safety in case of emergency and can spread traffic over additional routes.

HOW? – MEANS TO CREATE AN IMPROVED RESIDENTIAL ROAD SYSTEM

A. Improve the Capacity of Existing Roads to Better Serve Current and Expected Future Increases in Traffic

During planning meetings residents described how traffic has increased on Beverly Lakes, and other roads serving multiple subdivisions. Since many of these roads were built to modest standards with gravel surfacing, traffic should be monitored to ensure that the road standards and surfacing are appropriate for traffic volumes. As volumes increase, road geometrics and surfacing should be improved to keep pace. Although the common response to increased traffic levels is wider, straighter and harder-surfaced roads, residents also voiced the desire to maintain the rural character to roads in the area and to avoid the appearance of urbanization (see more under Goal 4).

Specific road segments recommended for near term improvements are listed below, and shown on the accompanying map.

- Beverley Lakes Road
- Meadow Lakes Loop Road

B. Develop a “Corridor Preservation Program” to Reserve Routes That Will Improve Connectivity Between Existing Residential Roads and Serve Future Growth on Currently Undeveloped Private Property.

Corridor preservation is a pro-active strategy that will help the community address its future transportation needs. This approach can also identify areas where roads are not needed or wanted. Nearly all of Meadow Lakes is privately owned. Only a portion of this private property has been subdivided. In many of existing subdivision, only a minor fraction of the lots have had homes or other structures built upon them.

Through this plan, the Borough should designate and immediately begin reserving needed rights-of-way for future arterial and collector-level roads, in anticipation of expected future growth. Early identification of future collector and arterial road locations is important for a number of reasons:

- Reduces the chance that too much traffic will use previously quiet residential streets.
- Minimizes the cost of right-of-way acquisition. In a developed community, the cost of right-of-way for a new road can equal or exceed construction costs.
- Minimizes hard feelings, by giving residents realistic expectations about traffic levels on the roads where they live or intend to buy.

An initial identification of key routes to be reserved is included in this comp. plan. This effort should be refined by the Borough, working with the community. These initial routes are based on a review of property ownership and soil suitability, to identify which parts of the Meadow Lakes area are most likely to be developed through 2025. Ownership and physical constraint information were combined with a consideration of existing roads, rights-of-way and section-line easements to create a preliminary set of future collector-level road

connections, shown on the following page. These routes are designed to accomplish a number of purposes:

- Connect developable property to the existing road system cost-effectively.
- Provide an additional way to access the larger subdivisions – “two ways in and out”.
- Connect subdivisions with one another so that travel between subdivisions need not always involve travel to and on the major highways. Providing this upgrade would be accomplished in a roundabout means as to not lure through traffic while allowing emergency vehicles access.
- Provide improved links to adjacent communities.

New connector roads recommended for the Meadow Lakes area include: Bozinoff, Skyview Drive, Spruce Skyview, Mine Properties/Beverly Lake, and Knik Goose Bay Road. It is possible that some of the proposed connections confront topographical or other constraints that will result in a different alignment. It is important to take action in the near future to refine and preserve specific corridors for these connections, including:

- Identify section line and other existing, potential but un-constructed roadway easements;
- Finalize the “preliminary” corridor needs identified in this plan, provide enough ROW to allow space for trails on both sides of the road;
- Field verify the recommended corridors to make sure the routes are constructible;
- In cases in which recommended or existing (section line) rights-of-way are not feasible, select alternative alignments; and
- Develop an “Official Streets and Roads Map” recognized by the Borough that identifies future road corridors and road classifications.

Where possible on these routes, the Borough should reserve 80 to 100 feet of right-of-way to accommodate collector or minor arterial level streets. In order to implement the corridor program, the following measures should be considered as a basket of tools to be developed, and in some cases codified as Borough ordinances²³:

Tools For Corridor Preservation

- Fee simple purchase of land for right-of-way, coupled with requiring building setbacks from road rights-of-way.
- Voluntary dedications or donations of right-of-way on a case-by case basis during the land development process.
- Restrictions on building in the right-of-way of a mapped but un-built road.

²³ Adapted from *Managing Corridor Development: A Municipal Handbook*, Center for Urban Transportation Research, 1996.

- Requiring subdividers to contribute funds toward upgrades on roads that will be more heavily used as a result of their subdivisions; in the future, the Borough will not approve subdivisions unless new and affected roads are improved to Borough standards;
- Allowances for some interim use of transportation right-of-way for uses having low structural impact through an agreement that requires the property owner to relocate or discontinue the use at their expense when the land is needed for a road or trail;
- Criteria for right-of-way exactions and a process for determining the amount of right-of-way dedication that is roughly proportionate to the impact of the proposed development;
- A reduction or reprieve from property taxes on property subject to corridor preservation restrictions. Examples are removing property from the tax roll, lowering the tax rate for preserved land, or providing a tax credit;
- An option for clustering developments by reducing setbacks or other site design requirements to avoid encroachment into the right-of-way;
- Procedures for intergovernmental coordination between the Borough and the ADOT/PF.

C. Create New Connections to Adjoining Communities to Supplement the Parks Highway

Several new roads are needed to help relieve congestion on the Parks Highway, and provide for more efficient movement to adjoining communities. Most important is creation of a new east-west road, referred to as “Seldon West”, north of and generally parallel to the Parks Highway, that ultimately will provide a connection from Houston, through Meadow Lakes, to Wasilla and Big Lake. In addition, Sylvan should be extended south, across Lucille Creek, to the Knik-Goose Bay Road. This will create a more efficient road system, provide the opportunity for a needed roadside trail, and provide for more vehicular and pedestrian traffic to the planned Meadow Lakes Town center. The need for these roads will be integrated into the corridor preservation program described above.

D. Create New Connections for Gravel Trucks to Reach the Parks Highway

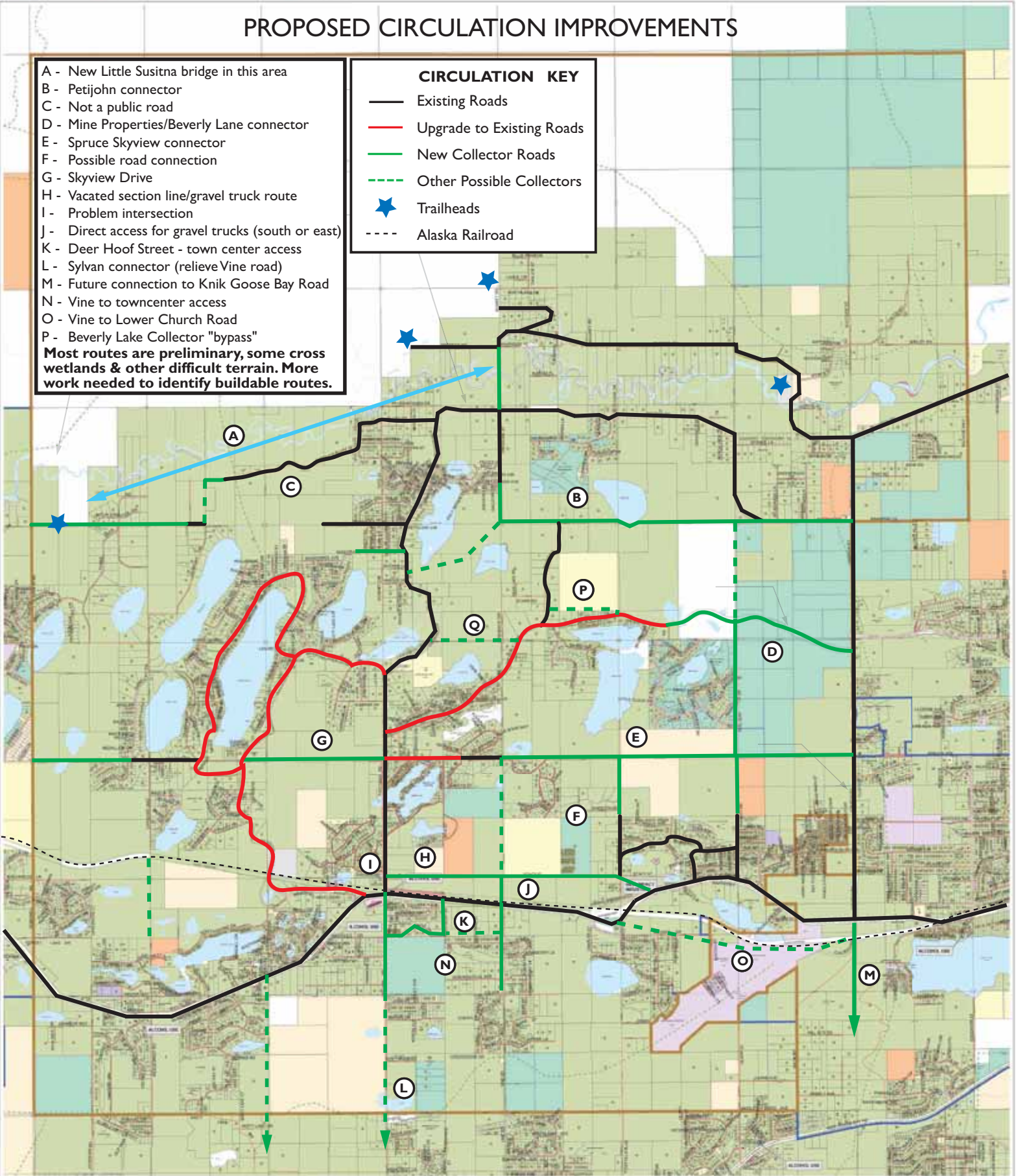
Pittman receives heavy use by gravel trucks and heavy equipment, with trucks coming and going every few minutes for much of the summer construction season. Truck traffic creates issues of safety for vehicles and pedestrians, delays in traffic, noise and dust. Alternative routes for these trucks should be planned, which separates industrial uses from streets with regular residential traffic. Options to solve this problem, from west to east, include: improving the intersection at Pittman, having the trucks cross the railroad and enter at a new signalized intersection immediately south of the main gravel yard, or for the trucks to go east and connect in the vicinity of Vienna Woods. In any case, trucks will have to enter the Parks Highway at a signalized intersection.



- A - New Little Susitna bridge in this area
- B - Petijohn connector
- C - Not a public road
- D - Mine Properties/Beverly Lane connector
- E - Spruce Skyview connector
- F - Possible road connection
- G - Skyview Drive
- H - Vacated section line/gravel truck route
- I - Problem intersection
- J - Direct access for gravel trucks (south or east)
- K - Deer Hoof Street - town center access
- L - Sylvan connector (relieve Vine road)
- M - Future connection to Knik Goose Bay Road
- N - Vine to towncenter access
- O - Vine to Lower Church Road
- P - Beverly Lake Collector "bypass"

Most routes are preliminary, some cross wetlands & other difficult terrain. More work needed to identify buildable routes.

- Existing Roads
- Upgrade to Existing Roads
- New Collector Roads
- - - Other Possible Collectors
- ★ Trailheads
- - - Alaska Railroad



GOAL 4: Set Appropriate Standards for Road Development and Surfacing.

BACKGROUND AND COMMUNITY VALUES

Many residents like the rural character of the Meadow Lakes area and would like to see it preserved as growth occurs. One key part of the rural nature of the area is that local roads are relatively narrow, with low speed limits, typically with a gravel-surface. While many residents would like to see their neighborhood roads preserved with the “country” feel, others would like to see their roads improved, allowing for more traffic and higher speeds. The result of this may be a road improvement plan that would be specific to each neighborhood.

To provide the character of roads that meet neighborhood needs, road standards should be developed that permit both straight fast paved roads and roads with a more rural character. The desire to avoid paved roads is tied to the ultimate density of residential areas; as densities of actual development increase beyond one dwelling unit per 10 acres the need for hard-surfaced roads increases. For roads that serve higher traffic volumes, for which gravel surfacing is not practical, the first hard-surface options should emphasize surfaces that are less expensive and have less of an urban “feel” than asphalt.

HOW? – MEANS TO SHAPE THE STANDARDS FOR FUTURE ROADS

A. Develop Rural or “Country” Road Standards That Call for Appropriate Road Widths, Horizontal and Vertical Curves, and Surfacing.

Road standards and their interpretation have been both contested and evolving in the past several years. Conservative and rigid use of the roadway design standards established by the American Association of State Highway and Transportation Officials (AASHTO) has softened to some extent. There is increasing understanding that incorporating community values, creativity and the flexibility provided in the AASHTO “Green Book” can produce designs that provide superior all-around service to the community. In 1997, the Federal Highway Administration (FHWA) published *Flexibility in Highway Design*, which provided guidance and encouragement to transportation engineers to conceive of roadway solutions broadly and creatively. Congress in 1995 passed the National Highway System (NHS) act, which states in section 304:

A design for new construction, reconstruction, resurfacing...restoration, or rehabilitation of a highway on the National Highway System...may take into account ...(in addition to safety, durability and economy of maintenance)...

- (A) the constructed and natural environment of the area;
- (B) the environmental, scenic, aesthetic, historic, community, and preservation impacts of the activity; and
- (C) access for other modes of transportation.

In *Flexibility in Highway Design* the FHWA points out that “by emphasizing the importance of good design for NHS roads, Congress is saying that careful, context-sensitive design is a factor that should not be overlooked for any road.”

Local and collector road standards in the rural parts of the Borough should provide sufficient flexibility to ensure roads that are designed and constructed strike a balance between capacity and design speed on one hand and roads that are rural in nature and “rest easy” on the land. They should also have lower speed limits and provide emergency access.

B. Provide Development Density Standards Supportive of Lower-Density Development That Can Be Supported By Gravel-Surfaced Roads.

Gravel-surfaced roads are ideal at limiting speeds and maintaining a “country” feel to the road. However, without treatment, gravel roads and traffic can produce large amounts of dust, and higher traffic volumes result in the need for frequent grading and resultant high maintenance costs. Recent research on the relationship between gravel-surfaced roads and development density helps establish reasonable standards for determining limits on development density in order to avoid paved, higher-speed roads. Research shows the maximum density for a higher-capacity gravel road is about six acres per dwelling unit, assuming the area served by the road is fully built-out.

Some parts of Meadow Lakes will have low densities, but in general, a desire to limit the area to gravel-surfaced roads will require more limitations on the density of development than the community generally wants. Therefore, as the town grows, it is likely that nearly all roads will ultimately require paving.

C. In Cases Where Traffic Volumes Require Hard-Surfacing, Consider Alternatives to Asphalt.

If low densities at full build-out are impractical in most areas, then methods to build hard-surfaced roads that are not wide and straight should be considered. Limits on street lighting and alternative surfacing methods, such as chip-sealing, avoiding straight road alignments, and building roads on the narrow side of accepted standards will all contribute to lower travel speeds and traffic, and a “country” rather than urban aesthetic. Roads with non asphalt road surfaces require a good base.

Although chip-seal in the place of pavement and a narrow road profile will reduce the cost of road development, alignments that depart from straight roads built will increase the cost of collector roads. An additional factor is travel speed. While most residents of a community support lower travel speeds, narrower, curving, gravel-surfaced roads mean more time required to make a trip. The general sense of the comments made during the public meetings held for the Comprehensive Plan is that residents prefer “slow and country” to “fast and urban,” even if it means trips take a bit more time. To the Borough, “slow and country” will likely require more unique sections of right-of-way and less reliance on section line easements.

D. Locate Roads Within Right-of-Ways in a Manner That Serves Traffic Needs and Minimizes Impacts on Adjoining Homes.

In the past, roads have been established and then paved without reference to the location of established rights of way. In the future, when roads are improved, the centerline of the road should generally be placed on the centerline of the right-of-way, to ensure that maximum land is available for roadside trails and snow storage. Exceptions may be made where shifting the road off the centerline reduces impacts on adjoining properties and reduces construction costs while maintaining a safe roadway.

GOAL 5: Plan For Good Access to Town Center.

BACKGROUND AND COMMUNITY VALUES

Good access is key to a successful town center - by road, trail, transit, perhaps ultimately including rail. “Good access” means the town center is readily accessible by vehicle, and at the same time, is a safe and comfortable place for moving around on foot. Downtown Talkeetna is an example of a place that strikes a good balance on these issues; Wasilla and Midtown Anchorage generally are readily accessible by vehicle, but offer little pleasure to pedestrians.

HOW? – MEANS TO ENSURE GOOD TOWN CENTER ACCESS

Develop a town center circulation plan, identifying options that would provide for good access, visibility, parking, and pedestrian circulation needed for a successful town center.

As described above, plans for improving the Parks Highway are a key step toward developing a successful town center. Particularly important is the policy to limit commercial development along the road, while concentrating a critical mass of commercial, civic and other uses in the town center.

The town center will be located predominantly on the south side of the Parks Highway. Vehicular access will need to occur at at least two intersections. Possibilities include Pittman, Deer Hoof and an extension of Vine. An additional future road will connect from the south (from the Knik Goose Bay Road), either along Sylvan or a road a mile to the west. Details of a town center circulation plan need to be developed as part of the ongoing planning for the Parks Highway. While the specifics of this eventual plan can’t be tied down in the comp plan, it is possible to outline the objectives to be met by the eventual town center circulation system

Good Access Into The Town Center:

- Provide at least two and preferably three intersections on the Parks Highway providing clear, safe, attractive and convenient vehicular access in and out of the town center.
- Design roads that cross through the town center so businesses within the center are conveniently reached both on foot and by vehicle. Traffic in the town center should move slowly.
- Intersection Design – work with DOT so intersections create attractive positive entryways into the town center.
- Transit connection – plan for the option for a park and ride, bus and eventually a rail connection to the town center.

Good Access Within The Town Center:

- Commercial and community functions need to be located close enough to each other that people are encouraged to walk. Walkways and sidewalks need to be designed so they are not impinged upon by parked or moving cars, and have amenities (seating, flowers, storefronts, etc.) that encourage a stroll in place of a short trip by car.

- Provide for easy, safe walking from parking to commercial uses.
- Allow for safe and enjoyable pedestrian accessibility to all parts of the town center, including a central, pedestrian core, and a more auto-oriented outer ring. (see land use chapter map)

GOAL 6: Plan For Continuing Railroad Use; Maintain Opportunities For Transit, Including Rail and Carpools.

BACKGROUND AND COMMUNITY VALUES

The option of getting around without a car is likely to grow in importance over the years. The Meadow Lakes area can encourage transit use by influencing the pattern of development (more concentrated, more options for transit) as well as taking advantage of the Alaska Railroad.

HOW? – DEVELOP WITH AN EYE TO THE FUTURE; PLAN AHEAD FOR TRANSIT AND CARPOOL OPTIONS

A. Locate and Reserve Carpool and Park-And-Ride Lots.

The first transit option for the Meadow Lakes area is likely to be carpooling and vanpooling. A significant portion of the families living in the area have a household member who commutes to work in Wasilla, Palmer or Anchorage. Over time and with growth, the number is likely to increase. Development of ridesharing can save users significant amount of money otherwise spent on gas, repairs, and wear and tear to the family vehicle. The service can be ad-hoc, organized by the Borough, or by a special-purpose private-non-profit.

If there is public or private property that can be used as a park-and-ride lot located near the Meadow Lakes area, then the service could start relatively quickly. Areas with most promise for park-and-ride lots include the town center area (perhaps the corner of the Parks Highway and Pittman) and the Church Road- Parks Highway intersection. The property could be set aside, or used without the creation of structures in order to save it for future park-and-ride use. Initially, the service could operate on a public-use basis--simply as a location for commuters to park their cars and join the day's driver.

Ultimately, the community will want to work with the Alaska Railroad to establish regular commuter rail service. Land for a future commuter rail depot should be reserved for this purpose.

B. Work In Concert With The Alaska Railroad To Guide Continuing Use Of The Rail Route To Meet The Railroad And Community Needs.

Freight traffic on the Alaska Railroad has grown and is expected to continue to grow at three percent per year. Principal commodities on the railroad as it traverses the Meadow Lakes area are petroleum products, coal and scrap. Passenger services and ridership are also increasing. Princess Cruises is considering establishing separate trains carrying only Princess cars from Whittier direct to Denali National Park. This addition would result in two passenger trains in each direction each day during the summer. While commuter rails service is not likely in the near term, it would still be worthwhile to establish a future "station" location as part of the town center detailed planning process. This proposed new station

needs to plan to work with the Commuter Trail Station planned near the S. Mack Sports Complex just east of Meadow Lakes in Wasilla.

Rail crossings are a major concern, for safety and efficiency reasons. ARRC is unlikely to allow any additional at-grade crossings, and the cost of over crossings is beyond the budget for most collector or local roads. Over time, it will be essential to establish grade separated crossings where collectors cross the railroad. Improving the Pittman crossing is a priority.

GOAL 7: Maintain and Improve Roadside Trails and Trailheads.

BACKGROUND AND COMMUNITY VALUES

The Meadow Lakes area has gained a major recreation and transportation resource with the creation of the paved roadside trail along the Parks Highway. As is discussed in more detail in the recreation chapter, the community should work with ADOT/PF and the Borough to create roadside trails to access the more populated parts of Meadow Lakes, in particular, through construction of roadside trails along Pittman and Church roads, in addition to all new roads. Over time, as improvements are made to east-west collector roads, these projects should also include roadside trails See recreation chapter and trails map for details.

GOAL 8: Improve Road Maintenance.

BACKGROUND AND COMMUNITY VALUES

Maintenance is carried out by the two local road service districts. Improvements in maintenance practices are needed to better address the issues below:

- Dust management
- Snow storage and removal
- Plowing before gravel is laid
- Improved policies for cutting the vegetation along the roads (avoid leaving sharp, vegetation “spikes”)
- In some areas, request that DOT and the Borough maintain the shoulders in grass, which will require wider, lower angle road shoulders

3.0 Major Goals & Strategies

3.4 PUBLIC SERVICES & FACILITIES

“I moved out here knowing that many of the services found in cities wouldn’t be available. The affordable rural lifestyle is what I enjoy. If we improve our public services and facilities, we need to first address what’s most important, and make sure we can afford to maintain it.”

OVERVIEW

Meadow Lakes is a fast-growing unincorporated area lying between several incorporated cities. Currently, Meadow Lakes relies on the Borough and State for many of the services and facilities it requires. The community has shown a broad desire for certain improvements to public services and facilities in the area. Developing a community center multi-use facility is the highest priority for Meadow Lakes residents. Other priorities include establishing a garbage transfer station/recycling center in the area; improving emergency access and egress; improving the addressing system for responding to 911 calls; and establishing a post office in Meadow Lakes. Responsible for implementing the comprehensive plan, the Meadow Lakes Community Council (MLCC) plans to work closely with the Borough, the State Dept of Transportation & Public Facilities (DOT&PF), and other agencies and organization to plan for these services and facilities. In addition, MLCC plans to monitor funding opportunities as they become available. Appendix D: Community Development Resources Guidebook, located at the end of this document, provides preliminary information about potential funders for public services and facilities projects.



In addition to the above priorities, residents have identified the need for improved law enforcement (i.e., police sub-station or neighborhood watch program), upgrades to sub-standard roads, senior housing, land to be set aside for future high school and junior high school, land to be set aside for a cemetery, and improved handicapped access to facilities throughout the community.

This chapter on public services and facilities provides a summary of overarching goals that have been identified by the Meadow Lakes Planning Team with input from residents throughout the area. For each of these overarching goals, a more detailed list of specific objectives is provided to identify how the community hopes to achieve each of its goals.

PUBLIC SERVICES & FACILITIES GOALS

During the April 2005 Meadow Lakes Community Planning Workshop, the community confirmed earlier discussions on the highest priority service and facility needs. The three overarching public service and facilities goals are:

1. Develop a Community Center Multi-Use Facility in Meadow Lakes.

Developing a community center – multi-use facility – is the overarching highest priority for residents in Meadow Lakes. Desired functions of the multi-use community center facility include the following:

- youth services
- senior center
- adult education programs
- indoor and outdoor recreation
- regional satellite office space
- space for community meetings and events
- business resource center/
business incubator
- cottages for visiting artists,
writers, and crafts teachers
- library
- MLCC office space

2. Identify and Develop Other High Priority Community Needs.

Public services and facilities needs addressed under this goal include:

- garbage transfer station/
recycling center
- better emergency access and
egress
- better addressing system for
responding to 911 calls
- post office
- police/ law enforcement services
- improved handicapped access to
facilities throughout Meadow
Lakes
- senior housing
- land for junior high school
- land for middle school and high
school
- library (stand alone or as part of
the community center facility)
- land for a cemetery
- ensured water quality/quantity
- upgraded sub-standard roads
- improved EMS

3. Improve the Community's Capacity to Fund Development and Operation of Needed Community Services and Facilities.

GOAL I: Develop a Multi-Use Community Center in Meadow Lakes.

BACKGROUND AND COMMUNITY VALUES

Over the last several years the Council has worked to develop a multi-use community center facility in Meadow Lakes and has acquired the site from the Borough. This community center building is intended to efficiently serve community needs by pooling several public services into one multi-use building. Specific proposed uses are listed below. Meadow Lakes will market the facility as a center that can be shared by residents and groups. The proposed community center is a multi-use facility, and should not be confused with the proposed business-oriented town center site. Desired functions of the multi-use facility include:

- youth services
- senior center
- adult education programs
- indoor and outdoor recreation
- regional satellite office space
- space for community meetings and events
- business resource center and business incubator
- cottages for visiting artists, writers, crafts teachers
- library
- MLCC office space

HOW? – PLANNING FOR COMMUNITY CENTER USES

A. Improve Services Available to Youth in Meadow Lakes by Establishing a Youth Center as a Component of the Proposed Community Center.

Youth services are important to the Meadow Lakes community. A youth center, if appropriate into the community center, can provide a meeting place; opportunities for leadership and skill building; opportunities for exploring individual talents in areas such as arts, music, sports and crafts; a safe, positive place for kids to spend time; and education and job opportunity training. The center should be a fun place for youth, offering organized opportunities and a chance for youth to be actively involved in the community.

B. Establish a Senior Center as a Component of the Proposed Community Center.

Input of Meadow Lakes seniors has been and will continue to be very valuable in identifying the desired functions of the senior center.

C. Establish an Adult Education Program in Meadow Lakes.

The Meadow Lakes community will need to identify alternatives available for operating and managing the program; identify specific educational programs of interest to residents; and identify equipment and resources required for offering these services such as a variety of distance learning programs.

D. Evaluate Alternatives for Establishing Indoor and/or Outdoor Facilities as a Component of the Proposed Community Center.

E. Establish a Regional Satellite Office Space

In an effort to improve the communications network with the Borough, State, and other agencies, the Meadow Lakes Community Council proposes to establish an office space in the proposed community center that is dedicated to assuring office services for regional and state agency functions.

F. Establish Space for Community Meetings and Events

Meadow Lakes is currently in short supply of adequate meeting space and community events space. In order to alleviate pressures on the school and fire station (which provide current demands in meeting space), the Council hopes to establish meeting and events space in the proposed community center facility that can be used for a variety of community purposes.

G. Establish a Business Resource Center/ Business Incubator

In an effort to improve opportunities to entrepreneurs in the Meadow Lakes area, the Council hopes to establish business resources that enhance opportunities locally for start-up businesses. Establishing a business resource center and business incubator in the proposed community center facility is intended to improve business opportunities locally.

H. Establish Cottages for Visiting Artists, Writers, and Crafts Teachers

In an effort to enhance the attractiveness of Meadow Lakes to inviting unique opportunities for those in surrounding communities and other visitors through the area, the Council hopes to develop lodging accommodations along with the proposed community center facility to house visiting artists, writers, and crafts teacher from outside the local area. This investment, along with recruiting efforts, is intended to attract individuals who can provide unique opportunities that attract local residents and visitors from outside the area to participate.

I. Establish a Library in the Meadow Lakes Area

Meadow Lakes residents would like to see a library built within the Meadow Lakes Community Council Area. In terms of efficiency of use, the library should be built as part of the proposed community center. However, if that proves to be limiting in any way, residents would still like to see a library built (either as part of the proposed community center, or as a stand-alone facility).

J. Establish Office Space for the Meadow Lakes Community Council

In an effort to increase the capacity of the Meadow Lakes Community Council to implement the priority projects, policies, and actions of the Meadow Lakes Community Comprehensive Plan, office space is needed. By locating office space in the proposed community center, MLCC could lease the space rather than constructing a stand-alone building. In addition, the office space would be more accessible by those residents visiting the community center for a variety of other functions.

K. Identify Funding Sources for the Community Center.

It has been the continued goal of the community to have the community center be self sufficient and not place a burden on area residents in the form of taxes. It is expected that a non-profit organization will be established to operate the facility. This entity will be responsible for establishing a business plan, and carrying out fundraising for capital operating budgets. Possibilities for funding include grants from federal, state and foundations (see Appendix D: Community Development Resources Guidebook).

L. Prepare a Business Plan for the Proposed Community Center.

Planning for a multi-use facility such as a community center will require the Meadow Lakes Community Council to take the initial following steps (also see Appendix E: Community Facilities Planning Workbook):

- Prepare a preliminary business plan identifying the capital and ongoing operations costs and funding sources;
- Establish a management entity for the facility;
- Identify and evaluate site alternatives and then establish and secure a preferred site;
- Secure design and construction funding to ultimately construct the facility; and
- Establish a facilities operation plan.

GOAL 2: Identify and Develop Other High Priority Community Needs.

BACKGROUND AND COMMUNITY VALUES

Meadow Lakes relies on the Borough for a range of services including fire, solid waste disposal, emergency medical services, schools, and as the areas planning authority. Other service providers include electric and telephone utilities, and the State for police services. Typically, most homes have septic systems and wells, although there are some private community well systems. Some homes have outhouses and haul water from a local water source.

Priorities for improvement include emergency access/egress; evaluating long-term water and wastewater capacity; locating a junior high school, middle school, and high school in Meadow Lakes; upgrading sub-standard roads; establishing a local post office; improving the community's capacity to manage solid waste; improving law enforcement services; enhancing emergency response capabilities; improving the addressing system for responding to 911 calls; establish senior housing; improve handicapped access to facilities throughout the community; and reserving land for a cemetery.

With the high growth rate of the Meadow Lakes area, long-range planning is needed to assure public services and facilities are available to meet community needs as the area continues to grow. The community must also recognize the requirement to balance the desire for improved services with what the community can afford.

HOW? – MEETING HIGHEST PRIORITY COMMUNITY NEEDS

A. Improve Emergency Access/Egress to Residential and Commercial Areas Throughout the Meadow Lakes Community.

Emergency access/egress is a high priority in the Meadow Lakes area, which is characterized by long roads with relatively few residents and high maintenance costs. As outlined in the circulation chapter, a system of new and improved residential roads is needed, including ensuring that residential areas have two ways in and out.

B. Ensure Quality of the Water Table and Water/ Wastewater Carrying Capacity.

Approximately 85% of the homes in the Meadow Lakes area are fully plumbed using individual water wells and septic systems. In addition to individual wells, there are some private community well systems. A few residents haul water from a safe source and use outhouses. Currently existing water and wastewater systems appear satisfactory. There is a growing concern regarding water quality and water supply.

As private and currently undisturbed properties are developed, the demand for water and land needed for septic systems will grow dramatically. To adequately address future needs and the ability to meet those needs, a study is needed to evaluate water quality and quantity and wastewater carrying capacity. This study will help determine the point at which demand may exceed available resources and the point at which public water and wastewater systems may be needed. The study will set the stage for actions needed to manage and protect the community's water supply (quantity & quality), including:

- controlling water withdrawals from area lakes (education, enforcement)

- securing community water rights (e.g. access to aquifers for domestic water use)
- ensuring protection of adequate in-stream flow to protect habitat, recreation values and water quality of the area's streams, lakes and wetlands
- controlling land use activities, such as development in watershed areas, or gravel mining, that have the potential to harm the community's water supply.

Factors that will adversely affect water quality and wastewater carrying capacity need to be closely monitored and managed. These include population densities and industrial/commercial activities including gravel extraction, mining and drilling. Residents are becoming increasingly concerned about the depths that material is being extracted for producing gravel. If gravel extraction operations dig deep enough to hit the water table, it could dewater or contaminate the water supply of the area.

C. Secure Land for Building a Junior, Middle, and High School in Meadow Lakes.

Meadow Lakes is located in the Matanuska-Susitna School District. Schools in the District are operated by the Borough. Currently, two schools are located in Meadow Lakes including Meadow Lakes Elementary School (grades P thru 5) operated by the Borough, and the Midnight Sun Family Learning Center (grades K thru 8) operated by a MSB Charter. As the community grows there will be a need for a junior high school and a high school in Meadow Lakes. Sites for these needed facilities should be determined now. The two Borough parcels are the logical sites to reserve for this purpose.

D. Upgrade Sub-Standard Roads in Meadow Lakes.

This plan provides a full discussion of circulation issues and policies in the Circulation chapter for upgrading sub-standard roads in Meadow Lakes.

E. Locate a Federally-Owned and Operated Post Office in Meadow Lakes (Located in the Town Center).

At present there is a contract post office in Meadow Lakes, while the closest full-service post office is located in Wasilla. Shortcomings of the current contract station include unsafe access and limited services. Currently Meadow Lakes residents with rural delivery who receive packages, certified and registered mail, must travel on average 30 miles round trip to a building located on the Palmer-Wasilla Highway that has limited hours of service. Growing residential areas will increase the already existing need for improved postal services in the Meadow Lakes area. The proposed town center would be an appropriate location for the post office.

F. Work with the Matanuska-Susitna Borough to Locate a Solid Waste Transfer Station in Meadow Lakes; and establish a recycling center in Meadow Lakes.

The Borough operates a central landfill and eight transfer stations throughout the Borough, none of which are located in Meadow Lakes. The Borough has programs for Junk vehicle removal, Roadway Clean-Up, Adopt-a-Highway and a Litter Clean-Up. MSB conducts an annual spring clean-up and works with community councils on roadside clean ups during the summer months.

Trash dumping, abandoned and “junk” vehicles are growing problems in Meadow Lakes and around the Borough. Dumping in public places has led to illegal dump spots becoming known and well-used. Problem spots have been identified and with the success of clean-up efforts, there has been less trash each year. These problem spots need to be cleaned-up and blocked to prevent future trash dumping. Enforcement should also be increased to encourage the proper disposal of solid waste. As Meadow Lakes continues to grow, a transfer station may be warranted.

Residents are also interested in establishing a recycling center in the area. In the long-term future, Meadow Lakes residents are extremely interested in pursuing early plans for a recycling center in the Meadow Lakes Community Council Area.

G. Improve Local Policing Services Throughout the Meadow Lakes Area.

Meadow Lakes is a growing residential community that will require growing police services to the area. In addition, there is a need for greater capacity to manage recreational uses, such as trespass, vandalism, trash and disruptive behavior. Some options include establishing a Trooper sub-station in Meadow Lakes, improving coordination of services with nearby communities, establishing a neighborhood watch program, or establishing a sheriff in Meadow Lakes. (See Appendix F: Matanuska-Susitna Borough Resolution 04-01 – Blue Ribbon Task Force, Appendix G: USA on Watch Resources, and Appendix H: Citizen’s Task Force.)

H. Improve the Emergency Medical Technician Services

Establish improved EMT/EMS service in Meadow Lakes – locate a new station at the Johnson Road fire station.

I. Emergency Response – Improve the Addressing System for Emergency Response.

The overall emergency response “addressing system” in Meadow Lakes should be improved, increasing the ability for police, fire and emergency medical services to locate addresses efficiently. As the area grows, additional full time emergency response staff will be needed, based in the community.

J. Senior Housing – Establish Senior Housing in Meadow Lakes.

Senior housing is a growing need in the Meadow Lakes area as it is around the country. In Meadow Lakes, there are approximately 250 residents that are currently age 65 or over. Meadow Lakes residents have identified the need to establish senior housing within the area.

K. Handicapped Access – Improve Handicapped Access to all Facilities – Both Public and Private - Throughout Meadow Lakes.

Meadow Lakes has a large senior population, and, like the nation as a whole, the percentage of seniors will be growing as the baby boom ages. An active program is needed to encourage and ultimately require compliance with nationally accepted standards for handicapped access to all buildings open to public use.

L. Cemetary – Reserve land for a public cemetery in Meadow Lakes.

As is the case with many growing rural residential communities, generations of families are typically forced to locate their ancestors burial spots in areas outside the community. Meadow Lakes is in need of establishing a cemetery locally to strengthen community ties to its family members that have shaped its past. Although not frequently recognized, access to deceased relatives helps to strengthen the sense of local identity for those in the community.

GOAL 3: Improve the Community’s Capacity to Fund Development and Operation of Needed Community Services and Facilities.

BACKGROUND AND COMMUNITY VALUES

With many of the strategies identified in this chapter, entities are required to own, operate, and manage the recommended programs, services, and facilities. The chapter titled “Community Governance & Identity” identifies funding and management possibilities.

3.0 MAJOR GOALS & STRATEGIES

3.5 Economic Development

OVERVIEW

“Jobs at what price? – What kind of jobs and what kinds of industry to create jobs?”

Meadow Lakes has evolved from an area of wilderness homesteads into what it is today

- the fastest growing community in the fastest growing borough in the state. The primary transportation corridor through the community is the Parks Highway, providing a direct link between Anchorage and Fairbanks, where the majority of the state’s commercial and industrial activities are located.

At present, Meadow Lakes is largely a residential community. People living in Meadow Lakes find most of their jobs, goods and services in Wasilla, Palmer or Anchorage. The most visible commercial and industrial activity is gravel extraction; other types of local economic activities include a range of construction businesses, a diverse range of other small service-oriented businesses, and a few farms. Businesses seen along the Parks Highway include automobile and trucking services, log home construction, fish processing, propane services, storage facilities, a flea market/storage/housing area, refrigeration services, wood crafts, taxidermy services, water-well drilling services, gravel extraction, lumber supplies, top soil and sand supplies, fire place supplies and services, gas stations, an RV park, greenhouse businesses, heavy and light equipment rentals, and a host of food, beverage, entertainment, and retail businesses.

A large majority of Meadow Lakes residents work outside the Meadow Lakes community. According to survey results collected in 2003 by the Matanuska-Susitna Borough, 10% of the Meadow Lakes working population work in Meadow Lakes; another 38% work in other areas of the Borough; and 29% work in Anchorage.

Based on input from the community survey and public workshops, Meadow Lakes residents enjoy the freedoms of a rural setting while having easy access to the services and employment opportunities of larger communities. They value their environmental resources and are not interested in attracting large-scale economic development. Priority economic goals for the community focus on maintaining options for home-based business, improving job opportunities for the youth of the area, and minimizing residential impacts from industrial development such as gravel extraction.

ECONOMIC DEVELOPMENT GOALS

In the two-day workshop conducted in April 2004, three goals were identified as recommendations for economic development. These goals, confirmed at the November 2005 workshop, frame the economic development strategies presented in this chapter.

- 1. Encourage the Expansion of Job Opportunities in the Meadow Lakes Area While Maintaining the Rural Character of the Community.**
- 2. Maintain Recreational Resources (Open Space, Trails, Lakes, Etc.) both for Residents and as a Basis for Attracting Out-of-Town Visitors.**
- 3. Guide the Character and Location of Commercial and Industrial Development to Minimize Off-Site Impacts.**

GOAL I: Encourage the Expansion of Job Opportunities in the Meadow Lakes Area While Maintaining the Rustic Character of the Community.

BACKGROUND AND COMMUNITY VALUES

Population growth in the southern portion of the Borough is creating opportunities to provide goods and services locally instead of in Anchorage. Because the Parks Highway serves as a conduit linking residents to other larger communities, and out-of-town visitors frequently travel through the area, Meadow Lakes has a variety of options for increasing local job opportunities. The Meadow Lakes area and the Matanuska-Susitna Borough as a whole have relatively higher unemployment, and lower average annual earnings, than other railbelt communities. As reported in the Anchorage Daily News (9.16.04), the Borough's average annual earnings are at 67% of the US average, while Alaska as a whole is at 106% of the US average. The following strategies outline how the Meadow Lakes community plans to achieve this first goal. Appendix I: Meadow Lakes Employment and Industries provides additional information about employment, occupation, and types industry found in the Meadow Lakes region.

A. Economic Development Forum - Organize a local forum where business owners can meet and discuss business needs, niches, local/regional linkages, and ways to strengthen the local economy while maintaining the community character.

Establish an active organization to advocate for improvements in local job and business opportunities, and to help carry out the other goals outlined in this section. This could be a new organization, or an offshoot of the local Chamber of Commerce. Such a group can bring together a wide range of organizations and business leaders to discuss common issues, advocate for local businesses, and advise the Meadow Lakes Community Council on issues relating to the development of Meadow Lakes' economic interests. Members of the forum should identify and agree upon a clear statement of priorities to be addressed during a specific time frame that is consistent with this comprehensive plan. This will provide the framework for an action plan that focuses on areas of greatest importance to current and planned economic activity. The forum should meet regularly (at least quarterly) each year and can form sub-groups that carry out key activities and meet more regularly.

B. Business Incubator – Create a business incubator program and facility to support local start-up businesses.

Business “incubators” are a common strategy employed by local and state governments and non-profit organizations to help small businesses get started and grow. Business incubators are facilities that provide start-up entrepreneurial businesses with affordable space and shared support and business development services, such as financing, marketing, and management. Incubators can play a nurturing role in helping young businesses survive and grow during the start-up period when they are most financially vulnerable.

Incubators come in many formats, with different objectives. They may be:

- Public or not-for-profit incubators, sponsored by government and nonprofit organizations, whose primary purpose is to promote economic development.
- Private incubators, run by venture and seed capital investment groups, or by corporations and real estate development partnerships. These incubators generally

seek a return on their investment, often through a stake in the firm, further development, royalties, etc.

- Academic-related incubators, which share characteristics of the first two types, but also have objectives in faculty development, and creating business spin-offs from faculty research.
- Public/private incubators, which are joint efforts between government or other non-profit agencies and a private developer. These offer the advantage that government funding can often be secured to support private sector expertise and financing.

For the Meadow Lakes area, the proposed community center building could offer a practical solution in providing possible incubator space. Ideally, the incubator program would be structured to provide support services and technical assistance to small businesses residing in the community center building, and also would provide support to other small start up or growing home-based businesses or other locations around the community. One option would be to partner with Federal or State organizations like the Small Business Development Center in Anchorage, perhaps through establishing a satellite office in this location.

C. Community Resources Directory - Create a community resource directory that includes all businesses, services, and facilities located in Meadow Lakes.

Creating a directory of services available in Meadow Lakes can help promote increased use of local products and services, both by residents and visitors from outside the community. The directory could be presented in several different forms: a brochure, signs, and/or a community website. One option is a link to the “Meadow Lakes 99629” website at www.meadowlakes99629.com that currently provides information on Meadow Lakes. The directory, which could include information on lodging, recreational attractions and other local activities, could also be targeted to visitors regionally and statewide through the Convention & Visitors Bureaus and other statewide outlets.

Another example of a community resource directory is the community of Gustavus, which provides a well-developed electronic version of their directory. Gustavus is more focused on tourism and promotion than is likely to be the case for the Meadow Lakes area, but this site (<http://www.gustavus.com/>) demonstrates how much a community can do to describe businesses, community events, community facilities, etc.

A related project, which might be done by the Economic Development Forum in cooperation with the youth of the area, would be to conduct a skills and assets survey of Meadow Lakes residents. This would identify not only established businesses, but also provide a snapshot of the diverse range of skills available in the community.

D. Jobs for Teens – Encourage businesses to give young people in the area opportunities to gain job experience.

About 33% of the Meadow Lakes population is under the age of 18. Many residents of Meadow Lakes would like to

“We need local jobs for young people – so they can learn what it means to work.”

see increased opportunities for youth to gain work experience. As part of the strategy for developing the town center, a greater number of appropriate job opportunities should be available to youth. In addition, services provided in the community center should specifically identify ways to link the youth to jobs in the area, such as a Job Corps program

or other training. With the encouragement of the Community Council and the availability of job training programs, local employers could hire more local youth, particularly during the busy summer months.

E. Town Center – Utilize the planned town center to encourage and promote small, diverse businesses, particularly products of home-based businesses and cottage industry.

As described in the land use section of this plan, establishing a town center will help to centralize commercial development in a attractive, pedestrian-oriented setting. The mix of businesses in the town center can highlight the unique character of the community while creating opportunities to market and sell locally-made products and services. It will help convey a positive image of the community, and encourage out-of-town visitors to slow down, take notice, stop and buy local products and services to benefit the local economy.

Within the town center, visitors should be provided a directory of other activities, products, and services available outside the town center (e.g., recreational areas, B&Bs, events, and other businesses). Meadow Lakes can also use the proposed business center (a component of the planned community center multi-use facility) to assist local and home-based businesses market their products in the town center.

F. Events – Target and promote local events to appropriate markets in the region and state to encourage visitors to spend time and money in the Meadow Lakes area.

Meadow Lakes has the potential to be a popular destination for out-of-town visitors. The Matanuska-Susitna Borough is actively promoting itself as destination for in-state and out-of-state visitors alike. By identifying appropriate events in the area, and carefully developing recreation amenities, the community can promote Meadow Lakes as a destination, rather than merely passing through.

Promoting and holding events can encourage visitors to use local accommodations, stop at local restaurants, buy local products, and utilize local services. Examples of possible events include farmers market, arts and crafts markets, music festival, local dances, athletic events such as a bike or ski race, and fishing derbies. Gustavus also provides a good example of an unincorporated community using a range of community events to support community programs.

G. Well-Managed Tourism & Recreation – Encourage amounts, location, and types of tourism and recreation development that provide economic and help maintain and enhance community values.

Writer and peach farmer Mas Masamoto coined the term “micro-brewed tourism” to capture the idea there are two kinds of tourism: mass market (like mass market, low cost beers) and small volume/high value tourism. The latter category, like micro-brewed beers, emphasizes sale of small quantities of high value products – products that tell stories about places and create significant economic benefits with little disruption of local life. Tourism, if well managed can bring significant local benefits, including opportunities for businesses directly serving tourists, added spending at service businesses like stores or gas stations, and a way to effectively subsidize services and businesses that local spending alone can’t support.

Tourism strategies for Meadow Lakes are focused on maximizing benefits and minimizing adverse impacts are outlined below; more details are presented in the recreation chapter:

Take better advantage of the large volume of packaged and independent tourists passing through the area. Provide facilities for travelers that encourage them to slow down, and spend money in the Meadow Lakes area. Examples include roadside turnoffs and viewing areas (interpretive information), a new pedestrian-oriented town center featuring locally produced products, and camping and picnic areas.

Encourage well-managed, low impact trail activities (hiking, biking, dog-mushing, cross-country skiing).

Use targeted promotions, and careful sharing of information to steer visitors toward recreation areas (e.g. trails) that residents see as appropriate; and away from areas that are intended primarily for local use.

H. Home-Based Businesses – Encourage and support opportunities for home-based businesses.

This comprehensive plan acknowledges the value and importance of home-based businesses. Policies in the Special Use District should allow continued development of home-based businesses as a recognized approach to enhancing economic opportunities for residents of the Meadow Lakes area.

GOAL 2: Maintain Recreational Resources (Open Space, Trails, Lakes, Etc.) Both for Residents and Out-of-Town Visitors.

BACKGROUND AND COMMUNITY VALUES

The chapter on Recreation and Open Space addresses this goal in greater detail. The following strategies identify some ways to attract out-of-town visitors to appropriate Meadow Lakes recreational resources.

HOW? – MEANS OF MAINTAINING RECREATIONAL RESOURCES

A. Signage – Post signs identifying recreational areas that are appropriate for out-of-town visitors.

Post standardized signs at trail heads, lakes, fishing areas, and other recreation spots to identify and promote these resources to residents and visitors.

B. Privately-Owned Campgrounds – Develop local, privately-owned campgrounds that target out-of-town visitors.

This approach serves the dual purpose of supporting the local economy/creating local jobs and creating recreational areas that are appropriate for out-of-town visitors. In promoting these areas, Meadow Lakes can work with the Mat-Su Borough and Mat-Su Borough Convention & Visitors Bureau.

C. Seasonal Attractions – Identify appropriate seasonal events/attractions to encourage out-of-town visitors to stay in the Meadow Lakes area, to participate in events, to utilize local services, and to buy products locally.

D. Volunteers Day – Encourage businesses community-wide that benefit from visitor attractions to volunteer one day a year (or more) to clean-up, repair, and improve the recreational resources throughout the community.

E. Supporting the Local Economy – Attract those out-of-town visitors to recreational resources who will also utilize other local services and buy local products; encourage visitors to slow down, stop, stay, and spend money locally; in order to attract specific visitors to the area, efforts to target appropriate markets should be made.

Examples of high value/low impact visitors include trail users, small group tours and in-state residents looking for weekend getaways.

F. User Fees – Establish modest user fees for recreational area users that contribute to the cost of maintaining and improving recreational resources.

G. Visitors Center – Establish a Meadow Lakes Visitors Center that informs the public of recreational resources in the Meadow Lakes area; that identifies appropriate and inappropriate activities; and that serves as a point of collection for user fees.

More details on these proposals are presented in the Recreation/Open Space Chapter.

GOAL 3: Guide the Location and Character of Commercial and Industrial Development to Minimize Off-Site Impacts.

Strategies on this topic are outlined in the Land Use chapter

3.0 Major Goals & Strategies

3.6 COMMUNITY GOVERNANCE & IDENTITY

“We have a lot of interesting things here but it’s going to take a while for that to grow together as a community - but we’re working on that.”

OVERVIEW

Meadow Lakes area is facing rapid residential growth, commercial development along the Parks Highway, planned improvements to the Parks Highway and other roads, pressures for resource development, and growing public service needs. Residents want to improve their ability to guide these changes, and to manage these demands on Meadow Lakes’ community resources. To respond to the need for greater local control the community has developed this comprehensive plan. This chapter outlines strategies for strengthening the community’s identity and increasing the community’s control over its future.

The community is cautious about finding the right level of local governance. “If you want to get a roomful of angry people, start talking about incorporation. But we need to understand our options, and better understand what Houston and Wasilla are thinking about annexation.” This chapter includes a section on Community Governance Alternatives addressing options on this subject.

COMMUNITY GOVERNANCE & IDENTITY GOALS

In the draft “Issues and Goals Report” published in April 2004, four goals were identified as preliminary recommendations for community governance and identity. These goals frame the strategies presented in the remainder of this chapter.

- 1. Establish a Stronger, Positive Image for Meadow Lakes.**
- 2. Create an Umbrella Organization to Provide Community Facilities and Services.**
- 3. Improve Communication Network (Bulletin Boards, Phone, Newspaper, Email, Newsletter, Website).**
- 4. Narrow Priorities to Increase Odds of Success of Community Projects.**

GOAL I: Establish a Stronger, Positive Image for Meadow Lakes.

BACKGROUND AND COMMUNITY VALUES

As highlighted throughout this plan, the Meadow Lakes area is currently facing rapid residential growth. Many people passing through the area don't realize that Meadow Lakes is one of the most populous communities in the Borough.

Establishing a stronger sense of community identity is important for residents and visitors. Meadow Lakes is a distinct area with the opportunity to guide its own destiny. The strategies listed below focus on ways of bringing out Meadow Lakes' distinct personality.

HOW? – MEANS TO CREATE STRONGER COMMUNITY IDENTITY

A. Community Center Building – Establish a community center building in Meadow Lakes as a gathering point for residents, and to serve as a distinct landmark identifying the Meadow Lakes community for those traveling through the area.

Over the last several years, the Council has worked on developing plans for a multi-purpose community center. This community center building is intended to serve the needs of local residents by pooling several public services in this one multi-use building including space for meetings and events, youth and senior programs, and for a handful of businesses to lease space in the building. The community center facility will be a gathering place for Meadow Lakes residents. See Public Services & Facilities chapter for details.

B. Town Center – Establish a town center district to distinctively identify the Meadow Lakes area and to centralize appropriate development in the town center.

See Land Use and Economic Development chapters.

C. Events – Promote events that attract active support by local residents, match community values, and that appeal to larger statewide or regional markets.

Events can bring a range of community benefits – increased spending to benefit local businesses; promoting the community's character; opportunities to raise money for supporting local organizations; and the fun of participation. Events are a good way to promote the identity of the Meadow Lakes area. Meadow Lakes residents would like to establish events that do not adversely impact local life. Some examples of appropriate events include the Chugach carvers workshops; running races (such as to Hatcher Pass); workshops on crafts; crafts fairs; and other small-scale events.

D. Promote Meadow Lakes' Identity – Establish community-wide agreed upon goals for promoting the identity of the Meadow Lakes area, especially along the Parks Highway corridor.

To better promote the identity of the Meadow Lakes community, the Council can encourage residents to agree on the image that the community wants to project to visitors. Based on work to date as part of this comprehensive plan process, key ideas include: self reliance, access to the natural environment, entrepreneurship, and a great place to raise a family.

The community wants to develop a set of consistent, attractive community signs that help with way-finding and create a stronger sense of community identity. Signs should be

developed that identify entry points (in both directions) along the Parks Highway for those traveling through the Meadow Lakes area, such as “Welcome to Meadow Lakes” and identify lakes (and stocked lakes) that are located off of Pittman Road. To encourage more local participation in the maintenance of public access points, one alternative is to establish an “adopt-an-access” similar to the “adopt-a-highway” program. Businesses should also be encouraged and supported to post appropriately-scaled signs that clearly identify their location to those driving by.

During the 2005 Community Planning Workshop held in Meadow Lakes to review and discuss the draft comprehensive plan, residents expressed concerns regarding the style of signs that businesses post. The community has clear definitions about what constitutes a good or bad example of signage. Future measures may require guidelines to be established that businesses should adhere to.

E. Improve the Appearance of the Storage Buildings/Flea Market Area Near the Intersection of Pittman & Parks Highway.

This unruly development area is the primary image most people hold of Meadow Lakes. Actions should be taken to change the character and/or move these uses to another site. In the longer term this area is likely to be removed as part of the widening of the Parks Highway. In the near term, the community should work with the landowner and tenants to investigate options to upgrade the functions, parking, utilities and appearance of this area, so it might become a “funky” but interesting place to shop for residents and visitors. Possible specific actions include, screening with landscaping and provision of necessary sanitary services.

GOAL 2: Create an Umbrella Organization to Provide Community Facilities and Services.

BACKGROUND AND COMMUNITY VALUES

Currently, the Meadow Lakes community relies upon the Mat-Su Borough, and the Borough-established Meadow Lakes Community Council and service districts for local governance. With the growing need for expanded services and facilities in Meadow Lakes, there needs to be an entity established to manage these services and facilities. At the end of this plan is an appendix with information about alternative approaches to local governance. The community can use this information to evaluate the appropriate level of governance to meet the needs of the community.

HOW? – MEANS TO PROVIDE LOCAL SERVICES AND FACILITIES

A. Community Council – Review and select a preferred strategy to strengthen the capacity of the Meadow Lakes Community Council to better serve the Meadow Lakes Area.

Three options for local governance were discussed – stick with existing system, strengthen the community council, and investigate incorporation. Based on community discussions, the preferred governance alternative is to strengthen the existing Community Council. This would include establishing an office location for the Council (perhaps in the proposed

community center building), pursuing funders to receive grant funding for priority projects, and funding a part-time staff position. One good short-term option for this latter goal would be to work with the VISTA Program which could train and fund a local resident.

Options for funding a staff person and paying for office costs include local fundraising events and rental fees from offices located in the proposed community center facility. The community of Gustavus is a good example of a town that, for many years, raised funds for a range of community services without being incorporated or receiving external financial support.

While strengthening the Community Council is a good near-term strategy, many people have pointed out the benefits of incorporation. One widely-shared motivation for this action would be to avoid being annexed by the City of Wasilla, or worse yet, to have Wasilla gradually annex Meadow Lakes' commercial and industrial uses that provide significant property taxes. Other motivations include greater local control over fiscal and land use issues; disadvantages include the challenges of raising sufficient funds locally to provide needed services. In the coming years the community will need to further investigate this issue. (See Appendix J: Governance Alternatives for additional information on community governance options.)

B. The Comprehensive Plan – Completion of the Comprehensive Plan.

This comprehensive plan gives the community a voice in the development decisions made by state, regional, and federal agencies. In addition, it expresses the community's voice regarding decisions by large landowners and businesses that affect the Meadow Lakes area. The comprehensive plan is an important step towards gaining greater local control and increasing funding opportunities available to the community.

GOAL 3: Improve Communication Network (Bulletin Boards, Phone, Newspaper, Email, Newsletter, Website).

BACKGROUND AND COMMUNITY VALUES

Many residents in Meadow Lakes frequently commute out of the community for work, shopping, and needed services. Residents have expressed a need to improve their communication network both within and outside the community. As Meadow Lakes and surrounding communities continue to grow, coordinated planning efforts will require an improved communication network both within the community as well as with other communities, regionally and statewide. This will help to assure Meadow Lakes residents have a voice in decisions made about Meadow Lakes that affect their interests.

HOW? – MEANS TO IMPROVE COMMUNICATION

A. Common Voice – Maintain and strengthen the advisory capacity of the Community Council to represent community-wide agreed upon directions.

Completing this comprehensive plan is an important step towards establishing a common voice representing the community's interests. Ultimately, the plan helps to unify the community's voice and to limit the opportunities for outside entities to ignore or misrepresent community-wide views. The Council will continue to pursue avenues for improving its ability to reach community members and gaining their input.

B. Community Communication Network – Improve the existing communication network between residents, business owners, and the Community Council.

Explore the existing communication network in the community to determine which combination of approaches most effectively improves communication community-wide. Most promising options are listed below:

- Bulletin Boards – establish accessible locations where the community can get updates on meetings, plans, projects, etc.
- Newspaper – work with the local newspaper to establish a regular “Meadow Lakes News” section that keeps the community informed about upcoming meetings, special events, etc.
- E-mail/List-Serve/Website – establish a collection of email addresses that would receive regular updates on community issues (perhaps a regular electronic newsletter) and post information on a community website. (a local individual is already offering a popular site serving many of these functions – is this sufficient?)
- Newsletter – circulate a newsletter (quarterly?) providing regular updates on community events.
- Radio – utilize the local radio station to announce meetings, events, and plans; and to report on locally-impacting issues. Use this approach to inform and engage local residents in activities in the community. Perhaps a 30-minute (or longer?) community talk show – where residents can call-in and comment on a local “topic of the day.”

- Community Council Office – establish a location where community members can check in on community business, ask questions, pick up information.

C. Regional Communication Network – Improve communication between the Community Council and the Borough, other agencies, neighboring communities, and local business owners.

Use the comprehensive plan to communicate the community values, goals and policies to those outside the community. Ensure the community's voice is heard with the Borough Planning Commission and Assembly meetings, but having a community representative attend those meetings.

GOAL 4: Narrow Priorities to Increase Odds of Success of Community Projects.

BACKGROUND AND COMMUNITY VALUES

Currently, the Meadow Lakes Community Council is volunteer-driven and limited in its capacity to take on too many community projects. By focusing resources on the top priorities, the Council will have greater likelihood of achieving the goals of this comprehensive plan.

HOW? MEANS TO FOCUS ON PRIORITY COMMUNITY PROJECTS

A. Choose Your Battles – Identify the top priorities (e.g., 3 – 5) that the community wants and needs.

One of the main values of this comprehensive plan is that it provides a mechanism for setting priorities among competing projects. Section Four: Implementation outlines these priorities, focusing on projects that are strongly needed, that have a likelihood of success, and are realistic. Setting and achieving priorities can be one of the best ways for a community to gain citizen support and build capacity to take on more challenging projects. During the process of preparing this plan, residents identified their highest priority projects.

B. Monitor Funding Sources – Encourage the Council to monitor potential funding sources for the priority projects.

Once a community identifies the goals or projects they want to pursue, it can take several years of identifying various funding opportunities, timing for applying for these funding sources, planning for these projects, applying for grants or other funding, acquiring land and securing financial capacity before the projects are even initiated. Therefore, identifying needs today may not be met for several years or even a decade later.

Appendix D: Community Development Resources Guidebook identifies possible funding sources for community projects.

4.0 IMPLEMENTATION

4.1 Summary of Priority Projects

The following pages present an implementation program for carrying out the recommendations of the Meadow Lakes Comprehensive Plan. This section provides both a summary of priority projects and a complete table showing all short-term and long-term actions identified by the community to achieve the goals of the comprehensive plan. Recognizing that the comprehensive plan is a long-term planning tool, the implementation plan is intended to be revised periodically to reflect successful completion of certain tasks and updates to the progress of other tasks.

SUMMARY OF HIGHEST PRIORITY PROJECTS

Meadow Lakes residents gathered in April 2005 for a two-day workshop where they gave input on the draft version of the Meadow Lakes Comprehensive Plan. During this workshop, residents discussed and identify priorities for the implementing the plan which are summarized below:

Land Use & Town Center Priorities

- Prepare, Adopt Special Use District establishing standards for development
- Establish “Open Space” subdivision policies (working with MSB)

Recreation & Open Space Priorities

- Retain State and Borough lands for public uses, for recreation
- Prepare, adopt “SPUD” with standards for development of private land on river corridors, wetlands
- Form a local recreation/ open space and trails committee
- Roadside trails on Pittman Road
- New trail route for new, legal Baldy trail
- Complete community trails master plan
- Retain, improve public access to lakes
- Prepare recreation/ parks and open space master plan
- Identify, reserve and improve land for a community lakefront beach park
- Complete community center multi-use facility

Circulation Priorities

- Adopt the comprehensive plan with clear statement of community wishes for future Parks Highway expansion (route, driveways, use of frontage roads, etc.)
- Adopt Special Use District with standards for roadside development
- Improve Beverly Lakes Road
- Improve connectors for gravel trucks
- Plan for good access to town center

Public Services & Facilities Priorities

- Create a community center multi-use facility including youth services, senior center/ senior housing, library, MLCC office space, MSB satellite office, community meeting space/events space, business resource center/business incubator, cottages for visiting artists/writers/crafts teachers, indoor/outdoor recreation, and visitors center.
- Garbage transfer station / recycling center
- Emergency access and egress
- Improved addressing system for responding to 911 calls
- Post office

Economic Development Priorities

- Establish an Economic Development forum
- Improve job opportunities for teens
- Create a town center
- Improve/ establish signage for recreation sites
- Minimize off-site impacts of commercial and industrial development

Community Governance & Identity Priorities

- Establish a community center multi-use facility
- Establish a town center
- Strengthen capacity of Community Council – choose preferred governance alternative
- Complete the comprehensive plan
- Narrow priorities to increase odds of success

IMPLEMENTATION

Implementing the Comprehensive Plan

Project	Lead	Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
<u>LAND USE & TOWN CENTER</u>							
GOAL 1 – MAINTAIN RURAL CHARACTER							
Encourage low density residential development in the majority of the community.	MLCC		MSB	X			
Retain and expand public open space, waterways and trails.	MLCC		MSB; landowners		X		
Establish “Open Space” subdivision policies	MLCC		MSB	X			
GOAL 2 – CONCENTRATE & SCREEN COMMERCIAL DEVELOPMENT; AVOID SPRAWL ALONG THE PARKS HWY							
Encourage new commercial develop to locate in relatively concentrated nodes, rather than scattered along the length of the Parks Highway.	MLCC		MSB; landowners	X			
Maintain several undeveloped “green spaces” along the Parks Highway to separate developed areas.	MLCC		MSB; landowners		X		
Require retention and/or planting of buffers, trees and other landscape features so roadside development is attractive.	MLCC		MSB	X			
Encourage modest sized, attractive signage and roadside development.	MLCC		MSB; DOT&PF; business owners		X		

\$ = \$100s \$\$ = \$1,000s \$\$\$ = \$10,000s \$\$\$\$ = \$100,000s \$\$\$\$\$ = \$1,000,000s

Project	Lead	Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
LAND USE & TOWN CENTER (cont.)							
GOAL 3 – CREATE A PEDESTRIAN-ORIENTED, MIXED-USE TOWN CENTER							
Identify the right location and size for a town center site	MLCC		MSB; landowners	X			
Improve vehicular and pedestrian access and transit	MLCC	\$\$\$\$	MSB; DOT&PF		X		
Encourage public facilities in this area to serve as “anchors” for development	MLCC		MSB; Funders; Landowners; consultants		X		
Partner with agencies or organizations like Denali Commission, AIDEA, Rasmuson, Great Land Trust	MLCC		MSB; agencies; organizations	X			
Partner with private landowners, developers.	MLCC		MSB; Landowners; developers	X			
GOAL 4 – GUIDE LOCATION & CHARACTER OF DEVELOPMENT							
Reduce impacts of potential development, rather than prohibit uses.	MLCC			X			
Adopt land use standards to minimize the off site impacts of development.	MLCC		MSB; consultants	X			
Discourage certain high impact uses in specific portions of the community	MLCC			X			
Establish a special land use district that requires a conditional use permit for high impact uses and sets rules on the location and magnitude of these activities.	MLCC	\$\$\$	MSB; consultants		X		

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Project	Lead	Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
<u>LAND USE & TOWN CENTER (cont.)</u>							
LAND USE DEVELOPMENT STANDARDS							
Adopt site development standards for commercial, industrial or other development with significant off-site impacts.	MLCC		MSB; consultants; commercial/industrial developers		X		
Adopt development standards for the rural residential district.	MLCC		MSB; consultants; residents		X		
Adopt site development standards for future subdivisions	MLCC		MSB; consultants; developers		X		
Adopt site development standards for existing subdivisions	MLCC		MSB; consultants; developers; residents		X		
Adopt site development standards for home-based, cottage industry, and commercial activity in the residential district	MLCC		MSB; consultants; home-based business owners; residents		X		
Adopt development standards for residential collector road corridors.	MLCC		DOT&PF; MSB; consultants		X		
Adopt development standards for the Parks Highway corridor.	MLCC		DOT&PF; MSB; consultants		X		
Adopt development standards for the town center – pedestrian core.	MLCC		DOT&PF; MSB; consultants; business owners; residents		X		

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Project	Lead	Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
LAND USE & TOWN CENTER (cont.)							
Adopt development standards for the town center – commercial/outer ring.	MLCC		DOT&PF; MSB; consultants; business owners; residents		X		
Adopt development standards for open space/stream corridors.	MLCC		MSB; consultants; USF&WS; State DNR		X		
Adopt development standards for Baldy Mountain area.	MLCC		MSB; consultants; State DNR		X		
\$ = \$100s	\$ \$ = \$1,000s	\$ \$ \$ = \$10,000s	\$ \$ \$ \$ = \$100,000s	\$ \$ \$ \$ \$ = \$1,000,000s			

Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
RECREATION & OPEN SPACE							
GOAL 1 – RESERVE, PROTECT & ENHANCE NATURAL FEATURES & PUBLIC OPEN SPACES							
Reserve Remaining Public Lands for Use as Rec./O.S.	MLCC	?	MSB; landowners	X			
Reserve Recreation and Open Space Values on Private Land	MLCC		Landowners		X		
Provide Greenbelts on Key Waterbodies	MLCC	\$\$\$	Landowners		X		
Protect Water Quality, Open Space, and Habitat Values in Key Wetland/Watershed Areas	MLCC		State DEC; MSB; EPA; DNR		X		
GOAL 2 – CREATE AN INTEGRATED COMMUNITY REC. SYSTEM TO MEET NEEDS OF DIVERSE USERS							
Form a recreation, trails and open space subcommittee of the Community Council. Contact user-groups to discuss specific recreation needs and interests.	MLCC		Recreational users	X			
Meet with specific subdivisions/neighborhoods; carry out neighborhood work sessions to identify currently, locally-used trails and open space areas; identify different types of expected uses; identify parcels for potential neighborhood parks.	MLCC		Residents; trail users; landowners	X			
Identify areas where new, expanded/ more restricted rec. and open space uses should be considered. Make specific recommendations about specially-identified areas.	MLCC		DNR; USF&WS	X			
Use the outcome of these first three steps to add to and refine the recommendations of under the other goals this chapter, producing specific recommendations for retention/improvement of open space areas, neighborhood parks, or other recreation facilities; and new recreation and open space management strategies.	MLCC		MSB; consultants		X		

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
RECREATION & OPEN SPACE (cont.)							
Engage the community to play a more active role in the maintenance of neighborhood and community scale recreation sites, e.g. lake access points, working with the State and Borough. Urge the community to conduct annual clean up days, and to take pride in the signs and upkeep of local parks.	MLCC		Residents; MSB; State; volunteers	X			
Relate recreation and open space uses to goals established for Land Use, Economic Development, and Governance.	MLCC		MSB; consultants	X			
GOAL 3 – RETAIN, DEDICATE & IMPROVE A COMMUNITY TRAIL SYSTEM							
Identify existing trails	MLCC	\$	Trails sub-committee; trail volunteers; trail users; MSB	X			
Identify and reserve key trails to serve as the backbone to a community trails system	MLCC	\$	Trails sub-committee; trail volunteers; trail users; MSB	X			
Upgrade existing and add new bridge crossing of Little Sustitna River.	MLCC	\$	DOT&PF; MSB			X	
Establish trail heads to support and direct trail use	MLCC	\$	MSB; consultants; Trails sub-committee		X		
Establish a recreation, trails and open space master plan.	MLCC	\$	MSB; consultants; Trails sub-committee		X		

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
<u>RECREATION & OPEN SPACE (cont.)</u>							
Complete a community trails master plan.	MLCC	\$	MSB; consultants		X		
Develop a trail along Pittman Road.	MLCC	\$\$\$	DOT&PF; Trails sub-committee			X	
Find a route and reserve a trail connecting the community's primary residential areas with the Baldy Mountain/Talkeetna Mountain area (including a crossing of the Little Susitna).	MLCC	\$	Landowners; Trails sub-committee		X		
Create neighborhood park facilities at lake access points with picnic tables, play equipment, etc.	MLCC	\$\$\$	Funders			X	
Proceed with plans for a community building including indoor recreation areas and outdoor sports facilities.	MLCC	\$\$\$	Consultants; funders (i.e., Denali Commission)	X			
Reserve site for one large (20 – 60 acres) community park.	MLCC	?	Landowners; MSB; funders	X			
Upgrade play equipment and sports fields at the school.	MLCC; School	\$	School Board; funders		X		
Work with the State, Borough and private owners to establish a public day use area or campground.	MLCC	\$	MSB; landowners			X	
Secure new sites for neighborhood parks and other recreation facilities.	MLCC	\$	Landowners			X	
Establish rules to create and dedicate space for neighborhood parks in subdivision development.	MLCC		Developers		X		
Secure land for a community lake front park with swimming, picnicking, parking and trail access.	MLCC	\$	Landowners; funders		X		

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
<u>RECREATION & OPEN SPACE (cont.)</u>							
Identify scenic viewpoints.	MLCC		MSB; consultants; residents; volunteers; DOT&PF	X			
Work with residents to determine the need for individual lake management plans.	MLCC		MSB; consultants; residents	X			
GOAL 4 – ESTABLISH A SYSTEM OF COMMUNITY RECREATION LANDS							
Identify public access points with small, attractive signage, including rules for responsible use of these sites.	MLCC	\$\$	DOT&PF; State DNR; MSB		X		
Improve small-craft launches and lake-access trails where they currently exist.	MLCC	\$\$	MSB; funders			X	
Improve parking areas, but keep them small in size to limit over-use.	MLCC	\$\$\$	MSB; DOT&PF			X	
Create a system for managing recreation use with community-supported management measures.	MLCC		MSB; consultants; State DNR; residents		X		
Establish a community center with indoor sports and workout space.	MLCC	\$\$\$\$	Consultants; landowners; funders (i.e., Denali Commission)			X	
Establish a community park with sports fields.	MLCC	\$\$\$				X	
Establish a cross country ski area.	MLCC	\$\$\$				X	
Establish an ATV/motor-cross area	MLCC	\$\$\$				X	

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
<u>RECREATION & OPEN SPACE (cont.)</u>							
Dedicate an area as undeveloped open space for rec.	MLCC	?			X		
Improve water and lake access for boat launches, parking, camping, etc.	MLCC	\$\$\$				X	
GOAL 5 –CREATE A SUSTAINABLE RECREATION MANAGEMENT SYSTEM							
Establish a Meadow Lakes Trails Committee.	MLCC		Residents; recreational users	X			
Engage recreation sub-committee of the Council to advocate for improved rec. mgmt by the State and MSB.	MLCC		MSB; State; trail users	X			
Engage recreation sub-committee of the Council to do fundraising and volunteer recruiting and coordination.	MLCC		Trails sub-committee; volunteers	X			
Establish a recreational education and information program.	MLCC	\$\$	DNR; other existing programs			X	
Establish directional roadway signs marking trailheads, roadside, lake access points, etc.	MLCC	\$\$	DOT&PF; MSB; local donations		X		
Create local outreach/educational programs.	MLCC	\$\$	Outreach/ed. program providers			X	
Create economic incentives for development and ongoing maintenance of recreational facilities.	MLCC		Bed tax (?)		X		
Establish user fees for specific areas.	MLCC				X		

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
<u>RECREATION & OPEN SPACE (cont.)</u>							
Create individual lake management plans.	MLCC	\$	Consultants; residents; lake users		X		
Establish regulations to be enforced through public and private means.	MLCC				X		
Establish a system of assessing fees and maintaining parks, such as a recreation service district, land trust, neighborhood patrol, or community association.	MLCC		Existing programs as models		X		
\$ = \$100s \$ = \$1,000s \$ = \$10,000s \$ = \$100,000s \$ = \$1,000,000s							

Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
CIRCULATION (roads, trails, trains, planes)							
GOAL 1 – GUIDE PLANNED EXPANSION OF THE PARKS HWY TO CREATE AN ATTRACTIVE, EFFICIENT ‘PARKWAY’ THAT BENEFITS MEADOW LAKES							
Plan for future expansion of the Parks Highway to create an attractive, safe and efficient route that better separates through and local traffic.	MLCC	\$\$\$	DOT&PF		X		
Limit commercial development along the Parks Highway.	MLCC		Landowners		X		
GOAL 2 – RETAIN CHURCH & PITTMAN AS COLLECTOR ROADS WITH MINIMAL DRIVEWAYS & A LARGELY RURAL, UNDEVELOPED FEEL	MLCC		DOT&PF		X		
GOAL 3 – PLAN FOR FUTURE EXPANSION OF RESIDENTIAL ROAD SYSTEM; IDENTIFY ROADS TO SERVE AS COLLECTORS; CREATE BETTER CONNECTIONS TO ADJOINING COMMUNITIES/ SUPPLEMENT PARKS HWY							
Improve the capacity of existing roads to better serve current and expected future increases in traffic	MLCC	\$\$\$\$	DOT&PF			X	
Develop a “corridor preservation program” to reserve routes that will improve connectivity between existing residential roads and serve future growth on currently undeveloped private property.	MLCC	\$	DOT&PF		X		
Create New Connections to Adjoining Communities to Supplement the Parks Highway	MLCC	\$\$\$\$\$	DOT&PF			X	
Create New Connections to for Gravel Trucks to Reach the Parks Highway	MLCC	\$\$\$\$\$	DOT&PF; gravel companies; residents		X		

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
CIRCULATION (cont.) (roads, trails, trains, planes)							
GOAL 4 – SET APPROPRIATE STANDARDS FOR ROAD DEVELOPMENT AND SURFACING							
Develop rural or “country” road standards that call for appropriate road widths, horizontal and vertical curves, and surfacing.	MLCC; DOT&PF		DOT&PF; MSB; consultants		X		
Provide development density standards supportive of lower-density development that can be supported by gravel-surfaced roads.	MLCC		DOT&PF		X		
In cases where traffic volumes require hard-surfacing, considered alternatives to asphalt.	MLCC; DOT&PF		DOT&PF	X			
Locate roads within right-of-ways in a manner that serves traffic needs and minimizes impacts on adjoining homes	MLCC; DOT&PF		DOT&PF	X			
GOAL 5 – PLAN FOR GOOD TOWN CENTER ACCESS							
Develop town center circ. plan, identify options to provide for good access, visibility, parking, and pedestrian circulation needed for a successful town center.	MLCC	\$\$	DOT&PF; MSB; consultants			X	
GOAL 6 – PLAN FOR CONTINUING RAILROAD USE; MAINTAIN OPPORTUNITIES FOR TRANSIT, INCLUDING RAIL & CARPOOLS							
Locate and reserve carpool and park-and-ride lots.	MLCC	\$\$\$	Landowners		X		
Work in concert with the Alaska Railroad to guide continuing use of the rail route to meet the railroad and community needs.	MLCC; ARR		ARR	X			
GOAL 7 – MAINTAIN & IMPROVE ROADSIDE TRAILS	MLCC	\$\$	DOT&PF		X		
GOAL 8 – IMPROVE ROAD MAINTENANCE	MLCC; DOT&PF	\$\$\$	DOT&PF	X			
\$ = \$100s \$\$ = \$1,000s \$\$\$ = \$10,000s \$\$\$\$ = \$100,000s \$\$\$\$\$ = \$1,000,000s							

Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
<u>PUBLIC SERVICES & FACILITIES</u>							
GOAL 1 – DEVELOP A MULTI-USE COMMUNITY CENTER IN MEADOW LAKES.							
Improve services available to youth in Meadow Lakes by establishing a youth center as a component of the proposed community center.	MLCC; youth providers	\$\$\$	Local youth; funders; consultants			X	
Establish a senior center as a component of the proposed community center.	MLCC; seniors	\$\$\$\$	Senior citizens; funders; consultants			X	
Establish an adult education program in Meadow Lakes.	MLCC	\$\$\$	Adult ed. providers; funders; consultants			X	
Evaluate alternatives for establishing indoor /outdoor rec. facilities as part of the proposed community center.	MLCC		Funders; consultants		X		
Identify funding sources for the community center.	MLCC		Consultants; Appendix D	X			
Prepare a project plan for proposed community center.	MLCC	\$	Consultants Appendix E	X			
GOAL 2 – IDENTIFY AND DEVELOP HIGHEST PRIORITIES.							
Improve emergency access/egress to residential and commercial areas in Meadow Lakes.	MLCC	\$\$\$\$	DOT&PF	X			
Ensure quality of the water table and water/wastewater carrying capacity.	MLCC		State DEC		X		
Secure land for building a junior and senior high school in Meadow Lakes.	MLCC; school; MSB	?	MSB; landowners	X			

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
<u>PUBLIC SERVICES & FACILITIES (cont.)</u>							
Upgrade sub-standard roads in Meadow Lakes.	MLCC; DOT&PF	\$\$\$\$\$	DOT&PF			X	
Locate a federally-owned and operated post office in Meadow Lakes located in the town center.	MLCC; USPS	\$\$\$\$\$	USPS; landowners			X	
Work with MSB to locate solid waste transfer station in Meadow Lakes.	MLCC; MSB	\$\$\$\$\$	MSB			X	
Improve local policing services throughout the Meadow Lakes area.	MLCC	\$ - \$\$\$\$	Neighborhood Watch; MSB; State; Appendices F, G, and H		X		
Improve the addressing system for emergency response.	MLCC	\$	EMS; volunteers; residents	X			
Establish senior housing in Meadow Lakes.	MLCC	\$\$\$\$	Seniors; funders			X	
GOAL 3 – IMPROVE THE COMMUNITY'S CAPACITY TO FUND DEVELOPMENT AND OPERATION OF NEEDED COMMUNITY SERVICES AND FACILITIES.	MLCC	\$	Funding sources	X			
(See "Community Governance & Identity" implementation schedule.)							

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
<u>ECONOMIC DEVELOPMENT</u>							
GOAL 1 – ENCOURAGE EXPANSION OF JOB OPPORTUNITIES WHILE MAINTAINING THE RURAL CHARACTER OF THE COMMUNITY.							
Establish a Meadow Lakes Economic Development Forum	MLCC		Business owners Fundors; consultants; SBDC; SBA; EDA		X		
Create a business incubator program and facility	MLCC	\$\$\$\$	Businesses; volunteers; internet		X	X	
Create a Community Resources Directory	MLCC	\$	Business owners; Job Corps; SBDC; voc-ed programs		X		
Encourage business owners to offer opportunities for young people to gain job experience in Meadow Lakes	MLCC	\$	Business owners; entrepreneurs			X	
Utilize town center to encourage/promote small businesses, esp. home-based and cottage industry	MLCC	\$	State V&CB; MSB V&CB; Anch. V&CB		X		
Target/promote local events to appropriate markets in the region and state to encourage visitors to spend time/money in Meadow Lakes.	MLCC	\$	State V&CB; MSB V&CB; Anch. V&CB; business owners; lodging providers		X		
Encourage amounts, locations, and types of tourism and recreation development that provides economic opportunities and help maintain and enhance community values	MLCC	\$	Home-based business owners		X		
Encourage and support opportunities for home-based businesses	MLCC				X		

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
<u>ECONOMIC DEVELOPMENT (cont.)</u>							
GOAL 2 – MAINTAIN RECREATIONAL RESOURCES (OPEN SPACE, TRAILS, LAKES, ETC.) BOTH FOR RESIDENTS AND AS A BASIS FOR ATTRACTING OUT-OF-TOWN VISITORS.							
Post signs identifying recreational areas that are appropriate for out-of-town visitors.	MLCC	\$\$	DOT&PF; local donations; MSB; Trails sub-committee		X		
Develop local, privately-owned campgrounds that target out-of-town visitors.	MLCC; private owners	\$\$\$	Local entrepreneurs/ landowners; DNR; MSB			X	
Identify appropriate seasonal events/attractions to encourage out-of-town visitors to stay in Meadow Lakes, participate in events, utilize local services and buy products locally.	MLCC		State V&CB; MSB V&CB; Anch. V&CB; local businesses; lodging providers		X		
Encourage businesses community-wide that benefit from visitor attractions to volunteer one day a year (or more?) to clean-up, repair, and improve recreational resources throughout the community.	MLCC		Local business owners		X		
Attract those out-of-town visitors to rec. resources who will also utilize other local services and buy local products. (Slow down, stop, stay, and spend money locally.)	MLCC	\$\$	State V&CB; MSB V&CB; Anch. V&CB; internet		X		

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
ECONOMIC DEVELOPMENT (cont.)							
Establish modest user fees for rec. area users that contribute to the cost of maintaining and improving recreational resources.	MLCC				X		
Establish a Meadow Lakes Visitors Center that informs the public of recreational resources in Meadow Lakes; identifies appropriate/inappropriate activities; and serves as a point of collection for user fees.	MLCC	\$\$\$\$	MSB V&CB; Funders; DNR			X	
GOAL 3 – GUIDE THE CHARACTER & LOCATION OF COMMERCIAL & INDUSTRIAL DEVELOPMENT TO MINIMIZE OFF-SITE IMPACTS.							
Establish rules and locations encouraging commercial development in a way that ensures compatibility with other community goals.	MLCC		Industrial developers; MSB; State		X		
Establish rules and locations for industrial development to ensure compatibility with other community goals.	MLCC		Commercial developers; MSB; State		X		
Limit the hours of operation for commercial /industrial activities to minimize off-site impacts to residential areas.	MLCC		Commercial// industrial owners; residents		X		
Create appropriate (natural landscaping) buffers surrounding commercial and/or industrial activities to reduce the visual off-site impacts.	MLCC	\$\$	Commercial// industrial owners; MSB; State		X		
Identify standards to limit the max. decibel allowed by commercial/ ind. activities to minimize off-site impacts.	MLCC		State DEC; EPA; MSB; consultants		X		
Utilize land use policies and planning to appropriately locate future commercial and industrial activities away from residential areas to minimize off-site impacts to residential areas.	MLCC		MSB; developers		X		

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
GOVERNANCE & IDENTITY							
GOAL 1 – ESTABLISH A STRONGER, POSITIVE IMAGE FOR MEADOW LAKES							
Establish a multi-use community center facility.	MLCC	\$\$\$\$\$	Funders; consultants; landowners			X	
Establish a town center district.	MLCC		Landowners; MSB; businesses		X		
Promote events to attract active support by local residents, match community values, and that appeal to larger statewide or regional markets.	MLCC		State V&CB; MSB V&CB; Anch. V&CB; businesses		X		
Establish community-wide agreed upon goals for promoting the identity of the Meadow Lakes area.	MLCC			X			
Improve the appearance of the storage buildings/flea market area near the intersection of Pittman and Parks.	MLCC	\$\$\$	DOT&PF; ARR		X		
GOAL 2 – CREATE AN UMBRELLA ORGANIZATION TO PROVIDE COMMUNITY FACILITIES AND SERVICES							
Review and select a preferred strategy to strengthen the capacity of the Meadow Lakes Community Council to better serve the Meadow Lakes area.	MLCC		Funding opportunities; Appendix J	X			
Complete the comprehensive plan.	MLCC	\$\$\$	MSB; consultants; residents	X			
GOAL 3 – IMPROVE COMMUNICATION NETWORK							
Maintain and strengthen the advisory capacity of the Community Council to represent community-wide agreed upon directions.	MLCC			X			

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Project	Lead	Capital Cost	Resources	Schedule			Committee Comments
				2005	2006	After 2006	
<u>GOVERNANCE & IDENTITY (cont.)</u>							
Improve the existing communication network between residents, business owners, and the Community Council.	MLCC	\$	Residents; business owners; newsletter; newspaper; radio	X			
Improve the communication between the Community Council and the Borough, other agencies, neighboring communities, and business owners.	MLCC	\$	MSB; agencies; neighboring communities; business owners	X			
GOAL 4 – NARROW PRIORITIES TO INCREASE ODDS OF SUCCESS OF COMMUNITY PROJECTS.							
Identify the top priorities (e.g., 3-5) that the community wants and needs.	MLCC		Comprehensive plan; residents; landowners; MSB; consultants	X			
Encourage the Council to monitor potential funding sources for the priority projects.	MLCC		Comprehensive plan priority projects; funders; Appendix D	X			

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5.0 COMPREHENSIVE PLAN REVISIONS PROCESS

5.1 Process for Revising the Comprehensive Plan

A comprehensive plan is intended to be a long-range planning document, guiding growth development over 20 years and longer. It is a “living document” that helps to guide the long-range goals and strategies of the Meadow Lakes area. Recognizing that changes occur within the term of 20 years, a comprehensive plan needs to be open to change in two ways.

First, there is need for a process to make amendments to specific plan policies. This can be done through a process beginning with the community council, and requiring approval by the Borough Planning Commission and Assembly.

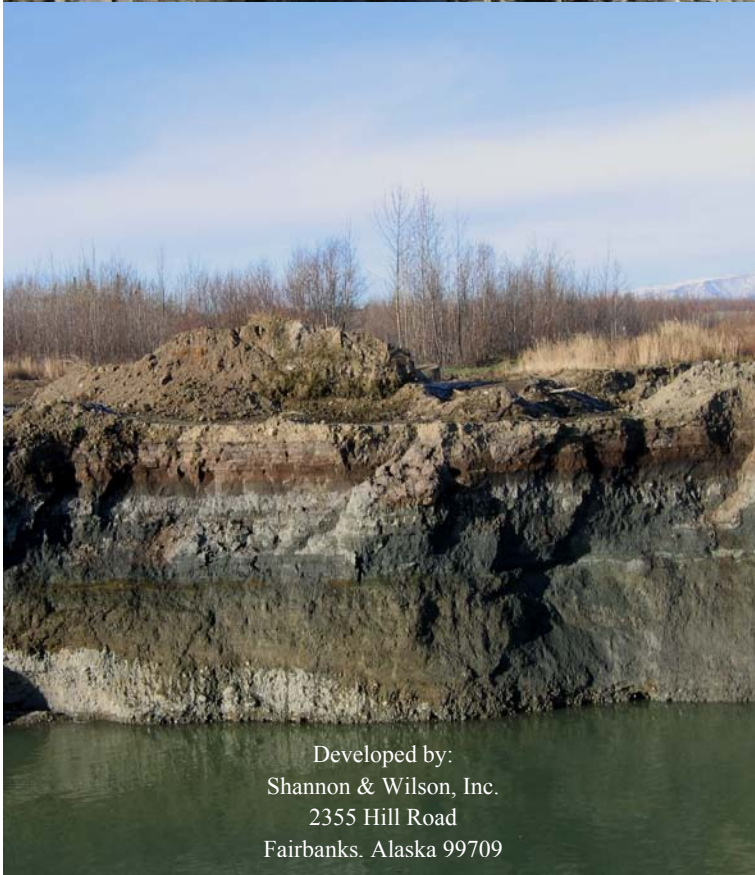
The second category of changes is the need for a regular updating process – typically done every five years. The Meadow Lakes Comprehensive Plan should be reviewed after five years by the Meadow Lakes Community Council to determine which actions have been accomplished and which priority actions should be focused on during the following years. Over time, these revisions to the comprehensive plan will help to document the accomplishments made and new priorities that surface.

After 20 years, and the completion of many of the goals and strategies of the comprehensive plan, the Meadow Lakes Community Council will want to reflect upon the accomplishments of the preceding 20 years and, again, plan for the next 20 years by taking on a public participation process to gain community-wide input on the next Meadow Lakes Comprehensive Plan. Upon completion of the next 20 year comprehensive plan, an ordinance will again be required to legally adopt the plan under Borough codes.

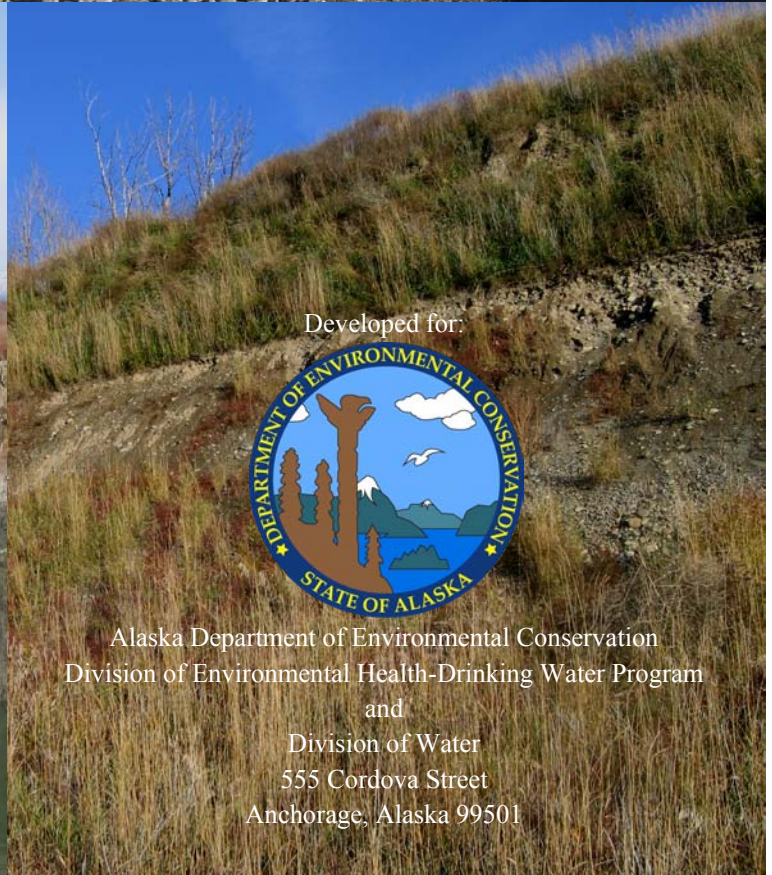
Although not required, one excellent way of documenting a community’s accomplishments is to produce a summary of those accomplishments after five years. The Native Village of Eyak (outside Cordova) provides an excellent example of how to document your community’s accomplishments. This approach improves future funding opportunities by documenting past successes.

BEST MANAGEMENT PRACTICES FOR GRAVEL/ROCK AGGREGATE EXTRACTION PROJECTS

Protecting Surface Water and Groundwater Quality in Alaska
September 2012



Developed by:
Shannon & Wilson, Inc.
2355 Hill Road
Fairbanks, Alaska 99709



Developed for:



Alaska Department of Environmental Conservation
Division of Environmental Health-Drinking Water Program
and
Division of Water
555 Cordova Street
Anchorage, Alaska 99501

Alaska DEC User's Manual

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PREFACE

This document is a revision to the *User's Manual: Best Management Practices for Gravel Pits and the Protection of Surface Water Quality in Alaska*, dated June 2006. Revisions were made in 2012 to provide updated information regarding permitting processes and agencies, and to address the growing need for best management practices pertaining to the protection of groundwater.

ACKNOWLEDGEMENTS

This 2012 revision of the *User's Manual* is the result of the collective efforts and contributions of a number of individuals and organizations. The Alaska Department of Environmental Conservation would like to thank all of those that contributed to the development of this document. Special thanks go to the 2012 Revision Interagency Review Team:

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DISCLAIMER

This document is intended to be used as a general guide to assist the aggregate mining community in designing and implementing effective best management practices for protecting surface water and groundwater quality. It is not intended to be the only source of such information or to provide legal advice of any nature. Users of this document are encouraged to seek legal, technical, and engineering advice from qualified professionals who are familiar with their project area. The organizations and individuals contributing to the preparation of this document expressly disclaim any responsibility or liability for any acts or omissions taken by any party as a result of this document's use.

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ACRONYMS

AAC	Alaska Administrative Code
ADR	Alaska Department of Revenue
DEC	Alaska Department of Environmental Conservation
AMD	Acid Mine Drainage
APDES	Alaska Pollutant Discharge Elimination System
BMP	Best Management Practices
CGP	Construction General Permit
DMLW	Division of Mining, Land, and Water
DNR	Alaska Department of Natural Resources
EDGP	Excavation Dewatering General Permit
EPA	United States Environmental Protection Agency
FBATFE	Federal Bureau of Alcohol, Tobacco, Firearms, and Explosives
HMC	Hazardous Materials Control
MSGP	Multi-Sector General Permit
NOI	Notice of Intent
NOA	Naturally Occurring Asbestos
NPDES	National Pollutant Discharge Elimination System
NTU	Nephelometric Turbidity Units
PWS	Public Water System
SWPPP	Storm Water Pollution Prevention Plan
TAH	Total Aromatic Hydrocarbon
TAqH	Total Aqueous Hydrocarbon
TMDL	Total Maximum Daily Load
TWUP	Temporary Water Use Permit

1 INTRODUCTION

1.1 Purpose of the Manual

Aggregate is an important resource for Alaskan communities, used extensively in road building, foundation preparation, concrete, and other applications. Alaskan communities also depend on the quality of their surface and groundwater for drinking and livelihood. Aggregate mines occur throughout Alaska, and their improper operation can result in adverse impacts to surface water and groundwater quality. The primary purpose of this manual is to help protect the quality of Alaska's water from such impacts. One of the most effective ways to control impacts is the use of effective best management practices (BMPs). BMPs are physical, chemical, structural, and/or managerial techniques to minimize water pollution. This manual provides owners and operators of gravel/rock extraction operations in Alaska with guidance regarding permitting processes, as well as a comprehensive list and description of BMPs which can be implemented to help meet permit requirements, protect the quality of water, and reduce conflict with the public.

Key Points – Chapter 1

- The manual provides information on permitting and best management practices for gravel and rock aggregate operations to protect surface water and groundwater quality.
- The manual provides meaningful and comprehensive guidelines that will reduce impacts to water quality.

1.2 Organization of the Manual

This manual is organized into the sections described below:

- Chapter 1** – Introduction, including how to use the manual.
- Chapter 2** – Provides information on state and federal permit requirements.
- Chapter 3** – Describes how to determine potential impacts.
- Chapter 4** – Gives guidelines and recommendations for protecting surface water and groundwater quality.
- Chapter 5** – Describes how to choose Best Management Practices.
- Chapter 6** – Contains BMPs for preventing chemical pollution.
- Chapter 7** – Contains BMPs for erosion control and stormwater management.
- Chapter 8** – Contains operational BMPs.
- Chapter 9** – Contains BMPs for reclamation.
- Chapter 10** – Provides a list of references used in the manual.
- Appendix A** - Provides definitions for terms used in the User's Manual.
- Appendix B** – Lists contacts throughout Alaska for additional information on gravel pit BMPs and requirements.
- Appendix C** – Provides additional resources of information.
- Appendix D** – Provides limited information regarding state and federal permit requirements.
- Appendix E** – Is an index of BMPs presented in this manual.

1.3 How to Use the Manual

This manual is appropriate for use by owners and operators of gravel and rock aggregate extraction projects throughout Alaska. The techniques and practices given in this manual can be applied to both small and large-scale operations. Personnel that do not have extensive expertise in designing and implementing control measures may benefit from review of the entire manual. Personnel that have previous experience with the planning, design, and implementation of BMPs may benefit primarily from the BMP guidance given in Chapters 6 through 9, indexed in Appendix E – Best Management Practice Index.

2 PERMITTING AND REGULATORY REQUIREMENTS

This section provides a brief description of the DEC Alaska Pollutant Discharge Elimination System (APDES) Multi-Sector General Permit, DEC's Excavation Dewatering General Permit, the Alaska Water Quality Criteria, and Alaska Department of Natural Resources (DNR) Temporary Water Use Permit (TWUP) and Material Sale application as they apply to gravel pits. This is not intended to be a complete list

of regulatory requirements but instead to provide a brief introduction to major regulations for gravel pits with respect to stormwater. Appendix D presents a summary of state and federal permits that may apply to material extraction operations in Alaska.

Key Points – Chapter 2

Links to Key Documents:

- EPA's Multi-Sector General Permit: <http://cfpub.epa.gov/npdes/stormwater/msgp.cfm>
- DEC's Excavation Dewatering General Permit: http://www.dec.alaska.gov/water/WPSDocs/2009DB0003_pmt.pdf
- Alaska Water Quality Criteria (18 AAC 70): <http://www.dec.state.ak.us/regulations/index.htm>
- EPA's NPDES Website: <http://cfpub.epa.gov/npdes/>

DEC permit requirements:

- APDES MSGP
- Excavation dewatering
- Water quality criteria

DNR permit requirements:

- Temporary Water Use Permit
- Material Sale Application

2.1 APDES Multi-Sector General Permit and Other APDES Requirements

Certain stormwater discharges, including those from industrial sites such as gravel pits, are regulated under the DEC APDES program. Both the discharge of stormwater and the discharge of dewatering effluent (uncontaminated groundwater) from gravel pit operations are permitted under the APDES Multi-Sector General Permit (MSGP) under Sector J (Mineral Mining and Dressing).

To apply for permit coverage under the MSGP, a facility operator must complete and submit to DEC a Notice of Intent (NOI) form. To comply with the permit, the facility operator must prepare and follow a Storm Water Pollution Prevention Plan (SWPPP). To discontinue permit coverage, a facility operator must complete and submit to DEC a Notice of Termination form.

There are certain circumstances where a general permit is either not available or not applicable to a specific operation or facility. In this type of situation, a facility operator must obtain coverage under an individual permit. DEC will develop requirements specific to the facility.

Some permits may remain in effect that had been issued by the Environmental Protection Agency (EPA) under an old permit that has since expired. For example, for North Slope Oil and Gas Exploration activities, gravel pits/material sites used for construction of pads and roads were permitted under a Slope-wide NPDES General Permit AKG33-0000. However, pursuant to

Section 401 of the Clean Water Act, the state of Alaska certifies EPA permits, which then become enforceable by the state.

2.2 Excavation Dewatering General Permit

Authorization for excavation dewatering is covered under DEC's Excavation Dewatering State Permit (Permit No. 2009DB0003). The general permit covers wastewater disposal from excavations on sites located less than one mile from a contaminated site and excavations located more than one mile from a contaminated site not eligible for coverage under the ADPES MSGP. Eligible projects covered under this general permit include gravel extraction.

A Notice of Disposal must be submitted to DEC when a total excavation dewatering discharge volume equal to or greater than 250,000 gallons is planned. A Notice of Disposal is not required if the total discharge volume is less than 250,000 gallons. However, it is important to note that the water quality standards in 18 AAC 70 and the terms and conditions of the general permit still apply. If DEC determines that a known contaminated site is located within one mile of a proposed dewatering activity and the wastewater discharge volume is equal to or greater than 250,000 gallons, additional information regarding the contaminated site including hydrogeologic conditions at the site may be needed. Monitoring wells and/or proposed treatment may be additionally required. Monitoring requirements are listed in the general permit.

Management practices must ensure that the dewatering operation is conducted so that the terms of the general permit are met. Some BMPs are outlined in the permit. This may include leaving the dewatering site, including any settling ponds, in a condition that will not cause degradation to the receiving water beyond that resulting from natural causes. If an earthen channel to transport wastewater from a dewatering operation to the receiving water is used, construction equipment should not be driven in the channel, which will result in re-suspended sediment. Fuel handling and storage facilities shall be managed to ensure petroleum products are not discharged into receiving waters.

The DEC dewatering permit was intended to authorize short-term discharges associated with construction. Gravel pits tend to be on-going projects, sometimes planned in phases. Although DEC has not issued an individual permit for a gravel operation, it is an option for larger, on-going gravel extraction with wastewater discharge associated with it.

2.3 Alaska Water Quality Criteria

Water quality criteria adopted by the State of Alaska are found in the Water Quality Standards in 18 AAC 70.020(b) and the DEC's Alaska Water Quality Criteria Manual for Toxic and Other Deleterious Organic and Inorganic Substances (May 26, 2011). These criteria were taken from the EPA criteria documents and Alaska Drinking Water Regulations in 18 AAC 80. Although these EPA criteria documents are no longer adopted directly into state regulation, they contain valuable information on the science used to create the criteria limits and may affect how the criteria are applied or modified. DEC can use these criteria as limits in the absence of mixing zones or other water quality standard exceptions in 18 AAC 70.

Pollutants that might be expected in the discharge from gravel pits are sediment, turbidity, total metals, and petroleum hydrocarbons. Table 2-1 and Table 2-2 contain numeric surface water quality standards for sediment, turbidity, and petroleum products in freshwater and marine waters. Narrative criteria are not included in Table 2-1 and Table 2-2. Criteria for total metals can be found in *Alaska's Water Quality Criteria Manual for Toxic and Other Deleterious Organic and Inorganic Substances* (2011). Alaska regulations (18 AAC 70) should be consulted for a full list of requirements, both numeric and descriptive criteria, and uses.

2.4 Temporary Water Use Permit

A water right is a legal right to use surface or groundwater under the Alaska Water Use Act (AS 46.15). A water right allows a specific amount of water from a specific water source to be diverted, impounded, or withdrawn for a specific use. When a water right is granted, it becomes appurtenant to the land where the water is being used for as long as the water is used. If the land is sold, the water right transfers with the land to the new owner, unless the DNR approves its separation from the land. In Alaska, because water is a common property resource wherever it naturally occurs, landowners do not have automatic rights to groundwater or surface water.

A temporary water use authorization may be needed if the amount of water to be used is a significant amount, the use continues for less than five consecutive years, and the water to be used is not appropriated. This authorization does not establish a water right but will avoid conflicts with fisheries and existing water right holders. To obtain water rights in Alaska, you need to submit an application for water rights to the DNR office in the area of the water use. After your application is processed, you may be issued a permit to drill a well or divert the water.

2.5 Material Sales Application

Material Sales Applications are required for extracting material from state-owned land. To determine if a site is on state-owned land, visit or contact the DNR Public Information Center:

DNR Public Information Center
550 West 7th Avenue, Suite 1260
Anchorage, AK 99501-3557
Phone: 907-269-8400
Fax: 907-269-8901

DNR Public Information Center
3700 Airport Way
Fairbanks, AK 99709-4699
Phone: 907-451-2700
Fax: 907-451-2706

DNR Public Information Office
400 Willoughby Street, 4th Floor
Juneau, AK 99801
Phone: 907-465-3400

There are three different types of state material sales:

- The first and smallest is a “limited” material sale which cannot be for more than 200 cubic yards per 12 month period per person. This is a revocable, nonexclusive contract for personal or commercial use.

- The second type is the “negotiated” sale, which generally cannot exceed 25,000 cubic yards per year per person or company. Material purchased under this type of sale can be sold or used for commercial purposes. The term of the sale is generally one year, but can be longer depending on circumstances.
- The third and largest is the “competitive” sale. The sale contract can be issued for an unlimited amount of material to be taken over many years. Award will be determined by public auction if there are multiple bidders for the same location. If no competitive interest is expressed during the public notification period, no auction is necessary and the sale can proceed to contract upon completion of the decision making process. Material purchased through competitive sale can be sold or used for commercial purposes.

Material Sale Applications are available from and may be submitted to any of the DNR Public Information offices listed above. Applicable State statute and regulations include, but are not limited to: AS 38.05.110-120, AS 38.05.550-565, and 11 AAC 71. Additional information on Material Sale Applications can be found at http://dnr.alaska.gov/mlw/factsht/material_sites.pdf.

Table 2-1: Summary of Selected Freshwater Criteria from 18 AAC 70.020(b)¹

Pollutant	Water Use	Criteria
Sediment	Water Supply – Agriculture	For sprinkler irrigation, water must be free of particles of 0.074 mm or coarser. For irrigation or water spreading, may not exceed 200 mg/l for an extended period of time.
	Growth and Propagation of Fish, Shellfish, Other Aquatic Life, and Wildlife	Percent accumulation of fine sediment in the range of 0.1 mm to 4.0 mm in the gravel bed of waters used by an anadromous or resident fish for spawning may not be increased more than 5% by weight above natural conditions. In no case may the 0.1 mm to 4.0 fine sediment range in those gravel beds exceed a maximum of 30% by weight.
Turbidity	Water Supply – Drinking, culinary, and food processing	Nephelometric turbidity units (NTU) may not exceed 5 above natural conditions when the natural turbidity is 50 NTU or less. May not have more than 10% increase in turbidity when natural turbidity is more than 50 NTU, not to exceed a maximum increase of 25 NTU.
	Water Supply – Aquaculture & Growth and Propagation of Fish, Shellfish, Other Aquatic Life, and Wildlife	May not exceed 25 NTU above natural conditions. For all lake waters, may not exceed 5 NTU above natural conditions.
	Water Recreation – Contact	May not exceed 5 NTU above natural conditions when the natural turbidity is 50 NTU or less. May not have more than 10% increase in turbidity when natural turbidity is more than 50 NTU, not to exceed a maximum increase of 15 NTU. For all lake waters, may not exceed 5 NTU above natural conditions.
	Water Recreation – Secondary recreation	May not exceed 10 NTU above natural conditions when the natural turbidity is 50 NTU or less. May not have more than 20% increase in turbidity when natural turbidity is more than 50 NTU, not to exceed a maximum increase of 15 NTU.

Table 2-1: Summary of Selected Freshwater Criteria from 18 AAC 70.020(b)¹

Pollutant	Water Use	Criteria
		For all lake waters, may not exceed 5 NTU above natural conditions.
Petroleum Hydrocarbons	Water Supply – Aquaculture & Growth and Propagation of Fish, Shellfish, Other Aquatic Life, and Wildlife	Total aqueous hydrocarbons (TAqH) in the water column may not exceed 15 µg/L. Total aromatic hydrocarbons (TAH) in the water column may not exceed 10 µg/L.

¹ Refer to regulations for full description of criteria and designated uses:
DEC, 18 AAC 70, Water Quality Standards (Amended as of April 8, 2012)
<http://dec.alaska.gov/commish/regulations/pdfs/18%20AAC%2070.pdf>

Table 2-2: Summary of Selected Marine Criteria from 18 AAC 70.020(b)¹

Pollutant	Water Use	Criteria
Sediment	—	No numeric criteria. See 18 AAC 70 for descriptive criteria.
Turbidity	Water Supply – Aquaculture & Water Recreation (Contact and Secondary)	May not exceed 25 NTU.
	Growth and Propagation of Fish, Shellfish, Other Aquatic Life, and Wildlife & Harvesting for Consumption of Raw Mollusks or Other Raw Aquatic Life	May not reduce depth of the compensation point for photosynthetic activity by more than 10%. May not reduce the maximum secchi disk depth by more than 10%.
Petroleum Hydrocarbons	Water Supply – Aquaculture & Growth and Propagation of Fish, Shellfish, Other Aquatic Life, and Wildlife	TAqH in water column may not exceed 15 µg/L. TAH in water column may not exceed 10 µg/L.

¹ Refer to regulations for full description of criteria and designated uses:
DEC, 18 AAC 70, Water Quality Standards (Amended as of April 8, 2012)
<http://dec.alaska.gov/commish/regulations/pdfs/18%20AAC%2070.pdf>

3 DETERMINING POTENTIAL IMPACTS

Potential pollutants of surface and groundwater from gravel pits include sediment, turbidity, total metals, and/or petroleum hydrocarbons. An increase in turbidity within a stream environment may result in a potential decrease in available free oxygen necessary to support aquatic life. An increase in the concentration of total suspended solids, such as silt or decaying plant matter, can destroy water supplies for human, animal, and other wildlife consumption. Increased sediments in water can also potentially damage fish gills by abrasion, and smother or bury fish redds, effectively killing them.

Key Points – Chapter 3

- Prevent potential impacts by gathering information and understanding the characteristics of the mine site:
 - Topography
 - Climate
 - Vegetation
 - Soil properties
 - Extraction material properties
 - Groundwater conditions
 - Proximity to
 - Public water system sources
 - Surface water bodies
 - Contaminated sites

It is easier and cheaper to prevent impacts to the environment before they happen, rather than attempting to fix them after they have occurred. When planning a mining operation, it is important to determine what impacts that operation might have on the surrounding environment and vice versa. A preliminary assessment should be performed which gathers information on general site conditions, Alaska-specific conditions, and the proximity of public water system sources, surface water bodies, and contaminated sites. Much of the information that should be gathered can be obtained over the internet from sites given below, and by a qualified person performing a thorough field reconnaissance of the mine site.

3.1 General Site Conditions

Before developing a mining plan, it is important to gather information on general site conditions, including local topography, climate, vegetation, soil properties, extraction material properties, and groundwater conditions. In looking at topography, consider the proposed operation with respect to slopes, slope aspects, and natural drainages. Also consider climate, particularly precipitation and wind. These factors will greatly influence the sensitivity of the site to erosion and sediment transport, which can be detrimental to water quality (see Chapter 7). The type of local vegetation, as well as the type, distribution, and thickness of soil are also important to understand because vegetation is one of the best sustainable means of preventing erosion. Local vegetation is already suited to the environment and, if planted in appropriate soil, will require little maintenance and facilitate cost effective reclamation. The type, depth, and thickness of the material to be extracted should also be understood in order to appropriately plan cuts, benches, etc. It is also important to know if the material to be extracted contains naturally occurring asbestos (NOA), which can be a hazard to mine workers and users of the product, or acid-

forming minerals that could contribute to acid mine drainage. The presence of NOA can negatively impact worker health and significantly affect the market available for the resulting aggregate. Basic groundwater characteristics should also be determined, such as groundwater depth, gradient, and the presence or absence of confining layers. It is necessary to have a basic understanding of all these factors (topography, climate, vegetation, soil properties, extraction material properties, and groundwater conditions) in order to understand how a mining operation and the natural environment will interact with one another. It is the understanding of that interaction which allows the development of a mining plan that prevents impacts to surface and groundwater quality.

3.2 Alaska-Specific Conditions

The environments found in Alaska are highly diversified and often extreme. Temperature, precipitation, and wind are key factors that must be taken into account when planning a mining operation, keeping in mind that conditions at one mine site in Alaska may be very different from another at a different location. The mean minimum temperature in Alaska in January ranges from about 23°F in the southeast to -31°F in parts of Northcentral. Figure 3-1 shows mean annual precipitation in Alaska. As shown in this figure, Southeast Alaska and parts of Southcentral receive over 2,000 mm (approximately 78 inches) of precipitation a year. In areas of high precipitation such as these, BMPs targeted to divert or manage stormwater runoff are more critical. Seasonal temperature and precipitation fluctuations also greatly affect the types of vegetation that can be used for soil stabilization, and when they can effectively be planted.

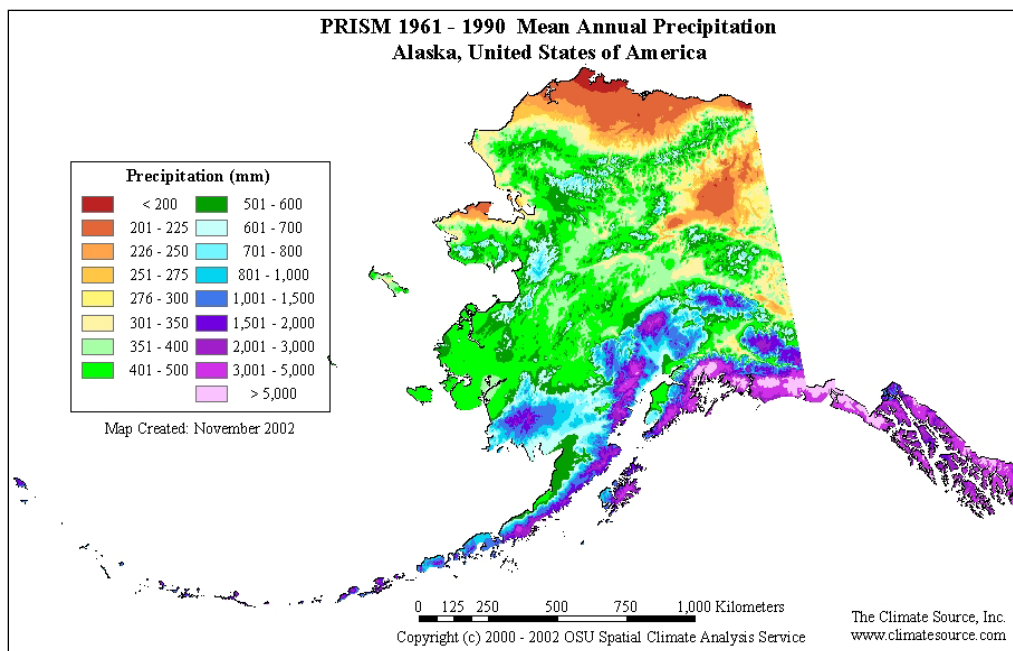


Figure 3-1: Mean Annual Precipitation in Alaska

High winds can increase erosion of exposed soil. A normal storm track along the Aleutian Island chain, the Alaska Peninsula, and all of the coastal area of the Gulf of Alaska exposes these parts of the state to a large majority of the storms crossing the North Pacific, resulting in a variety of

wind problems. Direct exposure results in the frequent occurrence of winds in excess of 50 mph during all but the summer months. Wind velocities approaching 100 mph are not common but do occur, usually associated with mountainous terrain and narrow passes. Winter storms moving eastward across the southern Arctic Ocean cause winds of 50 mph or higher along the arctic coast. Except for local strong wind conditions, winds are generally light in the interior sections (Western Regional Climate Center 2006). Erosion control BMPs should be used in areas with high winds or during high wind seasons.

3.3 Proximity Mapping

Surface runoff and groundwater flow are not constrained by mine site boundaries. Surface and groundwater interact with one another and, although it may not be visible, groundwater can flow from one side of a mine site to another, picking up or dropping off pollutants along the way. Mining changes the natural landscape and therefore can change the flow patterns of surface water and groundwater. It is therefore important to ascertain the proximity of public water system sources, surface water bodies, and existing and potential sources of contamination.

The Alaska Department of Environmental Conservation (DEC) has established drinking water protection areas which act as recommended buffer zones, which are available at their website, given below. Drinking water protection areas should be shown on maps submitted with permit applications wherever proposed project area boundaries fall within drinking water protection area buffer zones. Surface water bodies such as lakes, rivers, and streams can be identified on many web-based maps, such as Google Earth™. Some surface water bodies are considered by DEC to be impaired waters, meaning that they are too polluted or otherwise degraded to meet water quality standards. For these water bodies, a Total Maximum Daily Load (TMDL) for pollutants has been determined or will be developed. A TMDL is the maximum amount of a pollutant that a water body can receive in a day and still meet water quality standards. If a mine operation will place pollutants into impaired waters, via permitted discharge or otherwise, it is important to know the TMDLs for that water body. The location of impaired waters and the associated TMDLs can also be found on the DEC website, given below.

In areas of contamination, mining operations can expose contaminants in groundwater or cause them to migrate to previously unaffected areas by altering the groundwater flow regime. DEC has identified and mapped many contaminated sites, and these can be found on the website below. Other potential sources of contamination to consider are industrial sites where contamination has occurred but has not been detected or reported, abandoned mine sites, and untouched locations with natural acidic drainage.

The locations of drinking water protection areas, locations of impaired waters, TMDL information, identified contaminated sites, and other GIS data associated with DEC permits are available at <http://dec.alaska.gov/das/GIS/apps.htm>.

4 GENERAL GUIDELINES AND RECOMMENDATIONS FOR PROTECTING SURFACE WATER AND GROUNDWATER QUALITY

Some of the best ways to prevent mining impacts to surface and groundwater quality are to maintain distance between mining operations and the water to be protected, and to monitor water quality. This chapter presents recommended setbacks for mining operations from public water system (PWS) source areas, surface water bodies, and the groundwater table. Where proposed mining is closer to these waters than the recommended setbacks, it is recommended that a detailed hydrogeologic study be performed by a qualified person to evaluate potential impacts and design effective mitigation alternatives.

Key Points – Chapter 4

- Surface water and groundwater quality can be protected in part by:
 - Setbacks/Separation from:
 - PWS source areas
 - Surface water bodies
 - Groundwater table
 - Monitoring of:
 - Quantity
 - Temperature
 - pH
 - Specific conductance
 - Contaminants
 - Detailed hydrogeologic studies

4.1 Setbacks

Depending on the site, permits may require specific horizontal setbacks from water bodies or vertical separation distance from the groundwater table. All requirements of any permit should be met at all times. The following sections provide some general guidance for instances where setbacks are not specifically addressed in permitting.

4.1.1 Public Water System (PWS) Source Areas

DEC has established drinking water protection areas and recommended buffer zones for public water system (PWS) sources, which can be found at <http://dec.alaska.gov/das/GIS/apps.htm>. There are also PWS sources for which drinking water protection areas have not yet been delineated. For those PWS sources, it is recommended that the buffer zone be considered a 1,000-foot radius around the source area. It is recommended that excavation limits be restricted to areas outside any PWS source buffer zone. Equipment storage, maintenance, and operation should be as limited as possible within designated buffer zones, and appropriate BMPs should be used to prevent water contamination (see Chapter 6).

4.1.2 Lakes, Rivers, and Streams

Due to the interconnected nature of surface water, an impact to one part of a stream or river can have dramatic consequences downstream or upstream and affect the quality of surface and groundwater far from a mine site. Appropriate setbacks from surface water bodies will vary from case to case, but in general, a minimum setback of 200 feet is recommended between excavation limits and the ordinary high water level of surface water bodies, including lakes, rivers, and streams. For in-water work, a U.S. Army Corps of Engineers Section 404 permit for discharging dredged or fill material would be required. BMPs for in-stream work would be site-specific and

addressed in the permit. Mine sites that affect levee-protected areas may require a U.S. Army Corps of Engineers Section 404 permit.

4.1.3 Groundwater and Working Below the Water Table

In general, it is recommended that mines maintain a minimum of four (4) feet of vertical separation distance between extraction operations and the seasonal high water table, and that they restrict activities that could significantly change the natural groundwater gradient.

If mining must be done below the water table, groundwater may become exposed. Upon issuance of a local government conditional use permit, if available, allowing extraction of materials from below the seasonal high water table, no extraction should be performed below the first aquitard encountered within the saturated zone. During the active operation phase of a gravel pit, the top portion of the groundwater is considered treatment works, as authorized under 18 AAC 60 or 18 AAC 72, as long as it does not come in contact with hazardous contaminants. When operation at the gravel pit ceases, the exposed groundwater will once again become a water of the state. At that time, the water will need to comply with water quality standards based on the applicable designed use.

Notice to discharge is required under the Excavation Dewatering General Permit (EDGP) for discharges to land of equal to or greater than 250,000 gallons, or discharges to land at a rate equal to or greater than 40 gallons per minute. For discharges less than this volume and rate, notice under the Excavation Dewatering General Permit is not required; however, the discharge requirements in the permit must be followed. The Multi-Sector General Permit (MSGP) covers excavation pit dewatering discharges to surface waters. However, if an operation is within 1 mile from a contaminated site, the MSGP does not apply and authorization under the EDGP may be required. The DEC will provide more information on conditions and best management practices for a specific site in its permit. If excavation dewatering is needed, BMPs will be required to minimize adverse impacts to the receiving waters resulting from dewatering activities. Some general BMPs for dewatering are presented in Chapter 8.

4.2 Monitoring

Monitoring is the best way to measure the impact of a mining operation on surface water or groundwater quality, and is often required by permit. If required by permit, parameters to be monitored will be specified. Monitored parameters often include:

- surface water and groundwater elevation,
- surface water and groundwater flow,
- surface water and groundwater temperature,
- turbidity,
- pH,
- specific conductance, and
- likely contaminants.

The appropriate or required timeframe for monitoring will vary from case to case, but in general a good practice is to monitor relevant parameters at least 1 year prior to mining, throughout mining, and at least 1 year after reclamation is complete. Monitoring prior to mining provides a baseline record of preexisting conditions and establishes a range of seasonal variability and responsiveness to external influences among measured parameters. Once mining has started, this baseline data cannot be obtained. Monitoring during mining allows early detection of impacts and provides opportunities to evaluate BMP effectiveness and implement additional or different BMPs as needed. Monitoring after reclamation can provide early indications of slow onset problems that may develop after mining shuts down, such as acid drainage. A thorough monitoring program protects both water quality and the mining operation. It is much easier to resolve disputes quickly and fairly with a complete and comprehensive set of data in hand. Modern datalogging equipment can be used to measure and record many parameters at a high frequency with relatively low labor costs. High frequency data provides the ability to evaluate and document impacts from things like climactic and flood events.

Water quality sampling and hydrologic data collection should be accomplished under the supervision of a qualified professional engineer, hydrogeologist, or hydrologist and follow a written sampling plan approved by the permitting agency. All data should be made available to permitting agencies upon request, with the understanding that the permitting agency may provide the data to other public agencies and to the general public upon request.

DEC has prepared a document entitled Monitoring Well Guidance, which provides recommendations for monitoring well construction, maintenance, and decommissioning (<http://dec.alaska.gov/spar/csp/guidance/Monitoring%20Well%20Guidance.pdf>).

4.3 Detailed Hydrogeologic Studies

Where proposed mining is closer to PWS sources, surface water bodies, or groundwater than the setbacks recommended in this chapter, it is recommended that a detailed hydrogeologic study be performed to evaluate surface and groundwater relationships and potential impacts, and to design effective mitigation alternatives. The hydrogeologic study should be conducted by a qualified person and address the following general framework, modified from Fellman (1982):

1. Geology, topography, and drainage
2. Surface Water
 - Location
 - type (e.g., river/stream, gradient, flow volume, seasonal variability in flow, etc.)
 - present surface water quality and quantity
 - present use of surface water
3. Groundwater
 - depth to groundwater
 - aquifer type (e.g., confined, unconfined, multiple aquifers, perched water, geologic material description, etc.)

- groundwater gradients, flow rates, flow directions
 - surface water and groundwater interaction
 - present groundwater quality and quantity
 - present use of groundwater
4. Determine possible effects of mine development on water quality and quantity
 5. Develop strategies to mitigate possible effects
 6. Establish a monitoring program

5 HOW TO CHOOSE BEST MANAGEMENT PRACTICES

This chapter discusses types of BMPs, BMP selection criteria, and some issues to consider when selecting BMPs. In most cases, one BMP will not meet all the goals of a project. Appropriate BMPs for a project may vary seasonally, may be site specific, and may depend on the phase of mine operation. Chapters 6 through 9 provide detailed BMPs for preventing chemical pollution, controlling erosion and sediment, managing stormwater, mine operations, and mine reclamation. This chapter discusses the process of selecting appropriate BMPs.

Key Points – Chapter 5

- Source controls are usually more cost effective, easier to implement, and more effective than treatment controls.
- The selection of a BMP will most likely be driven by cost, effectiveness, availability, feasibility, durability, compatibility, and operation.
- Several factors, including climate and soil type, impact the effectiveness of a BMP.
- Using BMPs at your site may result in more money in your pocket and more fish in Alaska's streams.

The first steps in selection of BMPs are to understand the site, understand regulatory requirements (see Chapter 2), and determine potential impacts (see Chapter 3). Local, regional, and statewide issues, concerns and requirements should also be considered, as these will also influence aspects of planning, the selection of the BMPs, and the time frame for implementation. With intelligent mine planning, BMPs can be implemented in such a way that they complement one another and efficiently achieve impact mitigation goals.

5.1 Types of BMPs

Stormwater BMPs are implemented at two general levels:

- **Source controls:** practices that prevent pollutants from coming in contact with stormwater.
- **Treatment controls:** practices that treat stormwater once it has come into contact with pollutants.

Source controls are given priority over treatment controls, as they are generally more cost effective, easier to implement, and more effective at minimizing pollution. Source controls include things like vegetating bare slopes to prevent wind and stormwater from transporting sediment, restricting mine traffic to haul roads, and using wheel washers to avoid tracking sediment. Treatment controls are practices that reduce pollutants in water through chemical or physical systems, like settling ponds or oil-water separators.

5.2 Selection Criteria

To determine best practices for a specific project, a menu of potential BMPs should be identified with the goals of the project in mind. Selection criteria for BMPs can include:

- Effectiveness
- Implementation cost
- Temporary vs. permanent
- Cost of construction
- Long-term cost (operation and maintenance)
- Suitability for the site, including environmental compatibility
- Regulatory acceptability
- Availability
- Durability
- Longevity
- Ability to achieve vegetation schedule
- Technical feasibility
- Public acceptability
- Risk/liability

Of these criteria, cost, effectiveness, availability, feasibility, durability, compatibility and operation will most likely drive the selection of a particular BMP. Each of these factors is discussed below. Information was obtained from Oregon Department of Environmental Quality's *Erosion and Sediment Control Manual* (April 2005).

Cost. Things to include in the evaluation of cost effectiveness of a BMP include material costs, preparation costs, installation costs, maintenance costs, and cost of government requirements.

Effectiveness. BMPs should only be implemented if they will be effective. Not all BMPs work in all types of conditions.

Availability. The BMP materials must be readily available from a local supplier or be capable of immediate shipment to the area within the timeframe designated by the plans. This may be a significant issue in Alaska, specifically in areas not accessible by a road year round.

Feasibility. The BMP materials must be capable of relatively quick and easy application with minimal training required. Each BMP should be considered for its flexibility or applicability to a variety of field conditions. Factors to be considered relative to feasibility include:

- The number of steps needed to apply the BMP;
- Whether machinery is required;
- Whether locally available materials can be utilized; and
- The time required for the BMP to be operational, including time needed to not be affected by rainfall.

Durability and Compatibility. Given the nature of the site conditions, the BMP materials must maintain their structural integrity throughout use. History of durability in Alaska or cold weather climate is important. Environmental compatibility is also highly important. For example, if using a vegetative cover BMP, the plants chosen for the vegetative cover must be compatible with

native plants and the climate. The State of Alaska suggests using native plants. The Alaska Plant Materials Center (contact information listed in Appendix B) has published, “A Revegetation Manual for Alaska,” which can be found at <http://dnr.alaska.gov/ag/RevegManual.pdf>.

Operation. Regardless of the BMPs selected, follow-up is always required. Maintenance and repair requirements, and their cost, should be considered. Training of staff for BMP operation may be required for optimal effectiveness of the BMP selected.

Information regarding the required material, equipment, costs, specifications (including operation and feasibility) and compatibility for individual BMPs is provided in Chapters 6 through 9.

5.3 General Considerations

Some issues to consider when choosing BMPs include the following:

- Consider how selected BMPs will work when implemented together as part of a system.
- Climate, particularly precipitation and winds, may have the biggest impact on what type of BMPs are needed for stormwater, erosion, and sediment control.
- Where possible, significant grading operations or exposure of soil should be planned during periods of low rainfall.
- Total exposed soil areas and duration of exposure should be reduced during high rainfall times.
- Wheel washing activities may be needed during high rain events to reduce tracking of sediments.
- Sediment control measures such as berms and silt fencing may not alone adequately reduce discharge during high rainfall.
- Higher than normal amounts of runoff may need to be diverted during high rain events.
- BMPs may need increased inspection and maintenance in areas or times of high rainfall.

5.4 Special Conditions

In addition to the issues discussed previously in this section, some projects may need to consider special operations in choosing appropriate BMPs. Some situations that require special consideration include the dewatering of an excavation pit, mining of gravel below the water table, gravel washing operations, and working in streams and rivers.

5.5 Benefits of Best Management Practices

Properly selected and maintained BMPs can result in economic and environmental advantages for gravel extraction businesses in Alaska.

Some of the **economic benefits** gained from an aggressive soil stabilization plan for a gravel pit may include:

- Stabilized slopes require less repair and are safer for operators;
- Reducing short- and long-term erosion will result in less soil loss;
- Reduction in restoration costs at the end of the project;
- Negative public opinion can be minimized;
- Liability exposure can be decreased; and
- The potential for monetary fines from non-compliance to a permit can be reduced or eliminated.

Some of the **environmental benefits** of effective BMPs are:

- Protection of fish spawning areas, their food sources and habitat;
- Reduction of toxic materials that are introduced into the environment by their attachment and transport by sediment particles;
- Lowered impact on commercial fisheries from decreased sediment;
- Improved water storage capacities in lakes and wetlands; and
- Protection of receiving waters with designated uses such as for drinking water, recreation and wildlife habitat.

6 BEST MANAGEMENT PRACTICES FOR PREVENTING CHEMICAL POLLUTION

Chemical pollution can occur at mine sites due to reactions that release chemicals from the naturally occurring materials, such as acid mine drainage, or by the release of chemicals brought to the site, such as diesel fuel or antifreeze. This chapter provides BMPs to mitigate common forms of both types of chemical pollution. Chemical pollutants can be mitigated with both source and treatment controls. However, as discussed in Chapter 5, source controls are generally more cost effective, easier to implement, and more effective in minimizing pollution.

Key Points – Chapter 5

- Sources of chemical pollution include:
 - Chemical reactions involving naturally occurring materials
 - Acid Mine Drainage
 - Radioactivity
 - Release of chemicals brought to the site
 - Petroleum Products
 - Antifreeze

6.1 Pollution From Native Materials

6.1.1 Acid Mine Drainage

Acid mine drainage (AMD) results from weathering of acid-forming minerals, such as pyrite (FeS_2), in the presence of water and oxygen. The weathering reaction forms sulfuric acid (H_2SO_4), which can drastically lower the pH of surface and groundwater and allow toxic levels of metals to leach into it. While it may occur on natural rock outcrops, it can be exacerbated by excavation for mining or road building.

The first step in preventing AMD is determining if and where acid forming materials are located on your site. Published geologic maps and qualified professionals can help you determine if acid forming materials, such as pyrite, are likely to exist on your site. AMD is most intense in environments where the acid-forming material is cyclically wetted and dried. The key concept in preventing AMD is preventing the weathering reaction in acid-forming materials that generates acid. This is done by limiting the material's exposure to oxygen or water, or both. AMD can be prevented as follows:

- Separate spoils containing acid forming materials for immediate disposal.
- Dispose of the acid-forming material in a designated area with a liner and cap sufficient to keep the weathering reaction from occurring.
- Immediately deal with seams of acid forming minerals remaining in highwalls. This can be done by covering the exposure with water in a permanent impoundment. The impoundment will need to be treated with a buffering agent such as lime until the reaction stabilizes.

If AMD is already occurring at a site, it may be mitigated in part by active or passive measures. Active measures include direct chemical treatment systems. In these systems, chemicals, like lime, are added to the drainage to neutralize acidity and cause metals to precipitate. This often results in a metal-laden sludge which must also be disposed of appropriately. Passive systems, which typically are designed for longer term (decades long) treatment, include constructed anaerobic wetlands and limestone drains. Passive measures are preferred, as they have lower overall maintenance costs.

- To construct an anaerobic wetland, mix limestone with an organic substrate, such as chicken litter. The limestone will reduce the acidity and, in anaerobic conditions, bacteria will remove some of the metal ions. Plants may also incorporate metal ions, helping to fix them to that location.
- A limestone drain is a conduit filled with coarse limestone fragments through which AMD passes. If kept anoxic (covered and saturated), the limestone will reduce acidity without causing metals to precipitate. Precipitates will form when the water comes into contact with oxygen outside the drain, and sludge can be collected in a pond there. The sludge can be placed as a lined and capped fill or sold, if metal content is sufficient. If the drain is open to the air, precipitates may armor the limestone and reduce efficacy.

6.1.2 Radioactive Tailings

Uranium is a naturally occurring radioactive element. It is also soluble in water. If present in uncovered tailings, Uranium can migrate into surface and groundwater, creating increased risk of radiation exposure. Tailings or other excavated materials that may contain Uranium should be isolated from surface and groundwater interaction. This can be accomplished by surrounding the Uranium-bearing fill with a clay liner and cap.

6.2 Petroleum Products

6.2.1 Storage and Handling

- Petroleum product storage and handling should not be performed within PWS source buffer zones, within 200 feet of surface water bodies, or directly adjacent to mining pits, particularly if groundwater is exposed.
- Fuel transfer should always be supervised by an employee to prevent overfill or spillage.
- Storage tanks should be inspected at least once per month.
- Storage tanks should have a secondary containment structure that is impervious to the contents of the tank, that is large enough to accommodate precipitation events, and that has a sump or valve for draining rainwater.
- Water accumulated in containment areas should be visually inspected for the presence of a rainbow sheen, indicating petroleum product contamination. If rainbow sheen is present, the water should be removed for appropriate disposal or allowed to evaporate,

but it should not be discharged. It is illegal to apply any type of oil dispersant without prior state authorization from DEC (this includes soap/dish detergent).

6.2.2 Used Oil

- Used oil can be burned for energy in a properly vented used-oil burner or transported off site for disposal or recycling.
- Check local regulations prior to burning used oil for energy or disposal in a burner or incinerator.
- Do not pour oil into the ground.
- Do not use oil for dust abatement.
- Do not use oil for weed control.

6.2.3 Designated Equipment Maintenance Areas

- Restrict equipment maintenance activity to one area at a site, outside PWS source buffer zones.
- Use drip pans when disconnecting lines to collect dripping fluids.
- Place oil-laden parts on a drip pan instead of the ground.

6.2.4 Hazardous Material Control (HMC)

- Prevent spills by implementing BMPs for the use, storage, and handling of petroleum products.
- Have a Hazardous Materials Control (HMC) Plan that addresses all types of spills possible at the site, such as fuel, hydraulic oil, grease, antifreeze, leaching chemicals, etc.
- Train employees on the HMC plan and practice it annually.
- Have spill response equipment on hand, including:
 - pads, booms, absorbents, shovels
 - containers (drums, dumpsters, etc.) to hold spilled waste and used absorbent products
 - protective equipment, like gloves
- Do not use water to dilute spills.
- For larger spills, use soil and booms to contain and divert spilled product away from surface water and mining pits.
- Have a defined, appropriate off-site disposal agreement in place and train staff on waste management.

6.2.5 Oil/Water Separators

If petroleum products spilled on a site make their way into stormwater runoff, they can be removed through the use of oil/water separators. Oil is less dense than water and will float to the surface if the two are mixed. Figure 6-1 shows two examples of possible oil/water separator designs that make use of this principal. Separated oil can be removed with absorbent pads or by skimming and disposed of appropriately. Keys to successful implementation of oil/water separators include:

- sufficient surface area for the oil to remain on the surface of the water,
- low enough water velocity to avoid mixing, and
- adequate residence time in the sediment pond for sediment to settle out before separation, and
- regular maintenance and clean out.

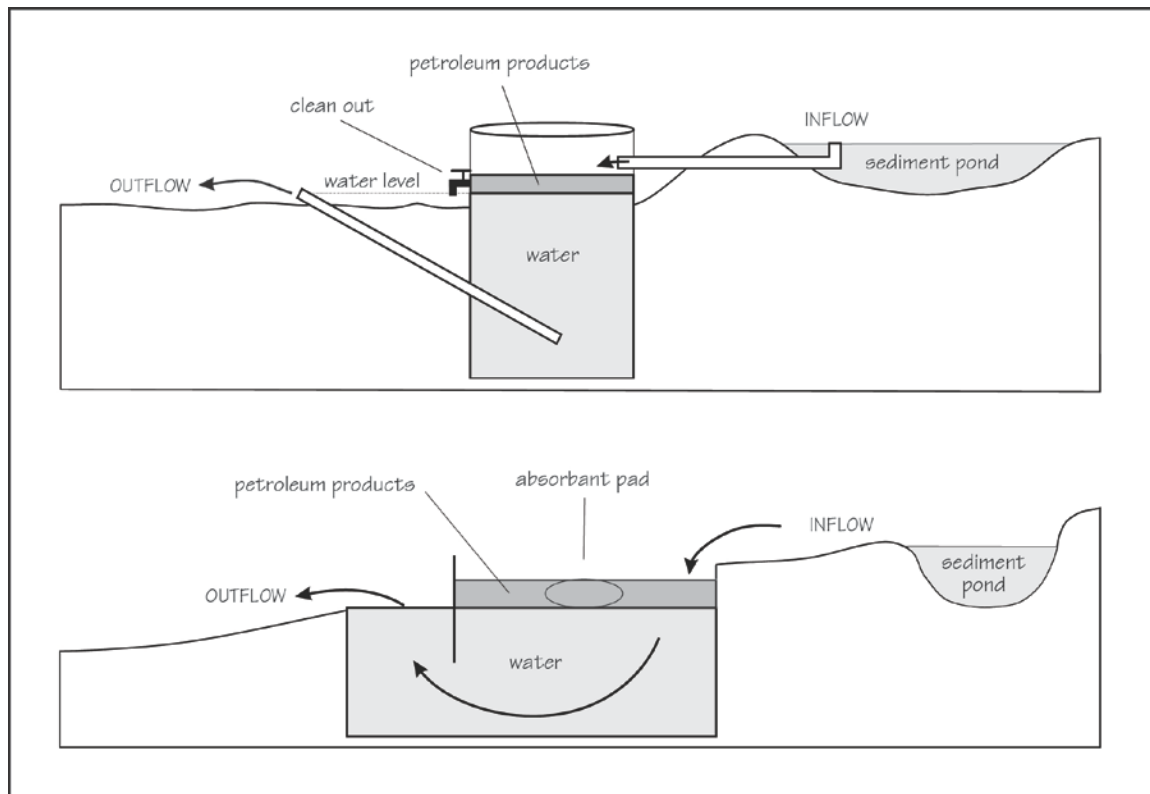


Figure 6-1: Oil Water Separator Details
(Modified from Washington State Department of Natural Resources, 1997.)

6.3 Hazardous Waste

Activities at a mine site may generate hazardous waste. Hazardous waste is any waste material that could be dangerous to human health and the environment. It is the mine's responsibility to determine whether a waste is hazardous or not. The federal government publishes lists of hazardous wastes and regulations regarding them. They may be found at <http://www.epa.gov/osw/laws-regs/regs-haz.htm>.

7 EROSION CONTROL, SEDIMENT CONTROL, AND STORMWATER MANAGEMENT

Stormwater is water runoff from rain and melting snow. Runoff can be sheet flow off of a site or it can drain to streams and ditches that route it to rivers, lakes, and marine water. In some areas, runoff is routed to storm drains, which ultimately discharge to surface waters. When stormwater flows across exposed soils, construction sites, or pavement, it can pick up and carry sediment, oil, bacteria, road runoff and other pollutants. Sediment and associated pollutants can clog ditches and culverts, destroy habitat and reduce oxygen for fish, and be toxic to aquatic life. Stormwater runoff is a common cause of water pollution and is a challenge to control. The key to limiting impacts is to prevent erosion, capture and control sediment that does erode, and proactively manage stormwater runoff, including runoff that comes to your site from other properties. It is important to remember that stormwater can run off of other properties and onto your site, bringing increased erosion potential and contaminants with it.

Key Points – Chapter 5

- Rain, wind, and melting snow can dislodge sediment and carry it to surface water bodies, degrading their quality.
- Use BMPs in this section to:
 - Prevent erosion
 - Control eroded sediment
 - Manage and treat stormwater

Erosion Control is any practice that protects the soil surface and prevents the soil particles from being detached by rainfall, snowmelt, or wind.

Sediment Control is any practice that traps the soil particles after they have been detached and moved by wind or water. Treatment controls, as well as source controls, can be used in controlling the transport of sediment. Such controls include passive systems that rely on filtering or settling the particles out of the water or wind that is transporting them.

Stormwater Management is the practice of collecting stormwater, diverting it away from disturbed areas, collecting it for treatment (if necessary), and discharging it to a receiving area with the capacity to absorb it.

In general, erosion control and good stormwater management practices are more effective than sediment controls, and are preferred because they keep the soil in place and enhance the protection of the site resources.

When implementing erosion and sediment control BMPs, the following principles should be adhered to as much as possible:

- Fit the natural topography, soils, and vegetation of the site;
- Minimize disturbances to natural vegetation;
- Minimize soil exposure during high precipitation storm events;
- Vegetate disturbed areas;

- Minimize concentrated flows and divert runoff away from slopes or critical areas;
- Minimize slope steepness and slope length;
- Utilize channel linings or temporary structures in drainage channels to slow runoff velocities;
- Keep sediment on-site using settling ponds, check dams, or sediment barriers; and
- Monitor and inspect the site frequently and correct problems promptly.

Erosion control systems cannot perform adequately without the control of runoff. It is important to control flow of runoff to prevent scouring exposed soil. Diverting stormwater away from potential pollutant sources and/or managing runoff from a site are one category of source control BMPs. Numerous factors may affect the amount of runoff generated from a site, including the following:

- Precipitation;
- Soil permeability;
- Watershed area; and
- Ground cover.

The risk of high sediment discharge is greatest in the spring when vegetative cover is not yet established and snowmelt runoff occurs. As winter ends, ensure all appropriate BMP structures are in place and that any elements damaged over the winter are repaired.

7.1 Erosion Control

7.1.1 Vegetation

From temporary stockpiles to permanent reclamation of slopes, vegetation is one of the very best guards against soil erosion. Vegetation is so effective because, if implemented properly, it is self-sustaining and works to protect the soil in a variety of ways. Vegetation absorbs some of the energy of falling rain. Its roots hold soil in place and maintain the moisture-holding capacity of the soil. It reduces groundwater infiltration through evapotranspiration, which is the sum of water reintroduced into the atmosphere by evaporation and plant transpiration. In transpiration, water moves up through a plant and is released into the atmosphere as water vapor through stomata in its leaves. At the ground surface, the presence of vegetation reduces surface flow velocities. Additional benefits of vegetation can include noise reduction, dust control, and improved visual appearance. Some guidelines for vegetation are:

- If an area is already vegetated and does not need to be disturbed, do not clear it.
- If an area must be cleared for mining, clear only the amount needed for expansion within one year.
- As an area is cleared, save the sod or slash and stake it down over the cleared slopes to temporarily filter runoff until the area is mined.

- Replace topsoil, revegetate, and reclaim mined areas as soon as possible.
- Use native species whenever and wherever possible. It would be ideal to use the same species that were cleared, but the growth rates of the native plants and the need for more immediate erosion control may make that impractical.
- Use plant species that are appropriate for the application and climate, and plant them at the appropriate time of year. Table 7-1 summarizes plant species that are commonly used at sites in Alaska.

The Alaska Plant Materials Center, under the DNR Division of Agriculture, has created a manual to help those involved in revegetation efforts select appropriate seed mixes and methods for revegetation. Gravel/rock aggregate extraction site operators should refer to this document, *A Revegetation Manual for Alaska* (2008) for detailed guidance on region-appropriate plant species and revegetation methods. It can be found at: <http://dnr.alaska.gov/ag/RevegManual.pdf>.

Additional information, including local sources for native plants and seeds, can be found on the Alaska Plant Materials Center website: <http://plants.alaska.gov/index.php>.

Table 7-1: Species/Cultivar Characteristic Chart (adapted from A Revegetation Manual for Alaska, 2008)

Species	Cultivar Or Equivalent	Availability ¹	Site Conditions Adaptation	Growth Form ²	Height Average	Region Of Use ³
Bluegrass, Alpine <u>Poa alpina</u>	Gruening	Fair	Dry	Bunch	6 in.	All
Bluegrass, Glaucous <u>Poa glauca</u>	Tundra	Fair	Dry	Bunch	10 in.	A,I,W
Bluegrass, Kentucky <u>Poa pratensis</u>	Merion	Excellent	Lawns	Sod	10 in.	I,SC,SE
Bluegrass, Kentucky <u>Poa pratensis</u>	Nugget	Good	Lawns	Sod	10 in.	I,SC,SE
Bluegrass, Kentucky <u>Poa pratensis</u>	Park	Excellent	Lawns	Sod	10 in.	I,SC,SE
Fescue, Red <u>Festuca rubra</u>	Arctared	Very Good	Dry to Wet	Sod	18 in.	All
Fescue, Red <u>Festuca rubra</u>	Boreal	Excellent	Dry to Wet	Sod	18 in.	W,I,SE,SC, SW
Fescue, Red <u>Festuca rubra</u>	Pennlawn	Excellent	Dry to Wet	Sod	12 in.	I,SC
Hairgrass, Bering <u>Deschampsia beringensis</u>	Norcoast	Good	Dry to Wet	Bunch	20 in.	All
Hairgrass, Tufted <u>Deschampsia caespitosa</u>	Nortran	Good	Dry to Wet	Bunch	20 in.	All
Polargrass <u>Arctagrostis latifolia</u>	Alyeska	Fair	Wetter Areas	Sod	24 in.	A,I,W,SC
Polargrass <u>Arctagrostis latifolia</u>	Kenai	Fair	Wetter Areas	Sod	24 in.	SC,SE,SW
Reedgrass, Bluejoint <u>Calamagrostis canadensis</u>	Sourdough	Fair	All	Sod	36 in.	All

1. Availability varies from year to year and within any given year.

2. Growth form and height will vary with conditions.

3. Region of Use: W = Western Alaska; I = Interior Alaska; SE = Southeast Alaska; SC = Southcentral Alaska; SW = Southwest Alaska; A = Arctic Alaska; All = All of Alaska.

7.1.1.1 Water and Fertilizer

Adequate water and nutrients are essential for successful revegetation. If it is suspected that the topsoil may be lacking in nutrients when it is time to plant, it may be worthwhile to have a chemical analysis done on it in order to determine what types of fertilizers would be helpful. When using fertilizers, try to apply them under conditions in which they are less likely to wash off into streams, rivers, and lakes. Losing fertilizer to surface water can have negative impacts on the ecological balance and is a waste of fertilizer.

7.1.1.2 Erosion Control Blankets and Mulching

Erosion control blankets are geotextiles made from natural materials, such as jute, coconut husk fibers, and straw, or synthetic materials like plastic. They help to hold seed and soil in place until vegetation is established. Erosion control blankets are very effective, but often prohibitively expensive for large areas. Mulching and hydroseeding are cheaper and also effective, though less effective in steep, erosion prone areas. A good practice is to use a combination of erosion control blankets in oversteepened and erosion-prone areas and to use mulch elsewhere to stabilize soil while vegetation becomes established. The effectiveness of blankets is greatly reduced if rills and gullies develop, so proper anchoring and ground preparation are important. The type of blanket selected depends on the longevity required, the gradient, climate, and other factors. The drawing below is one example. Follow the manufacturer's specifications for installation and stapling requirements.

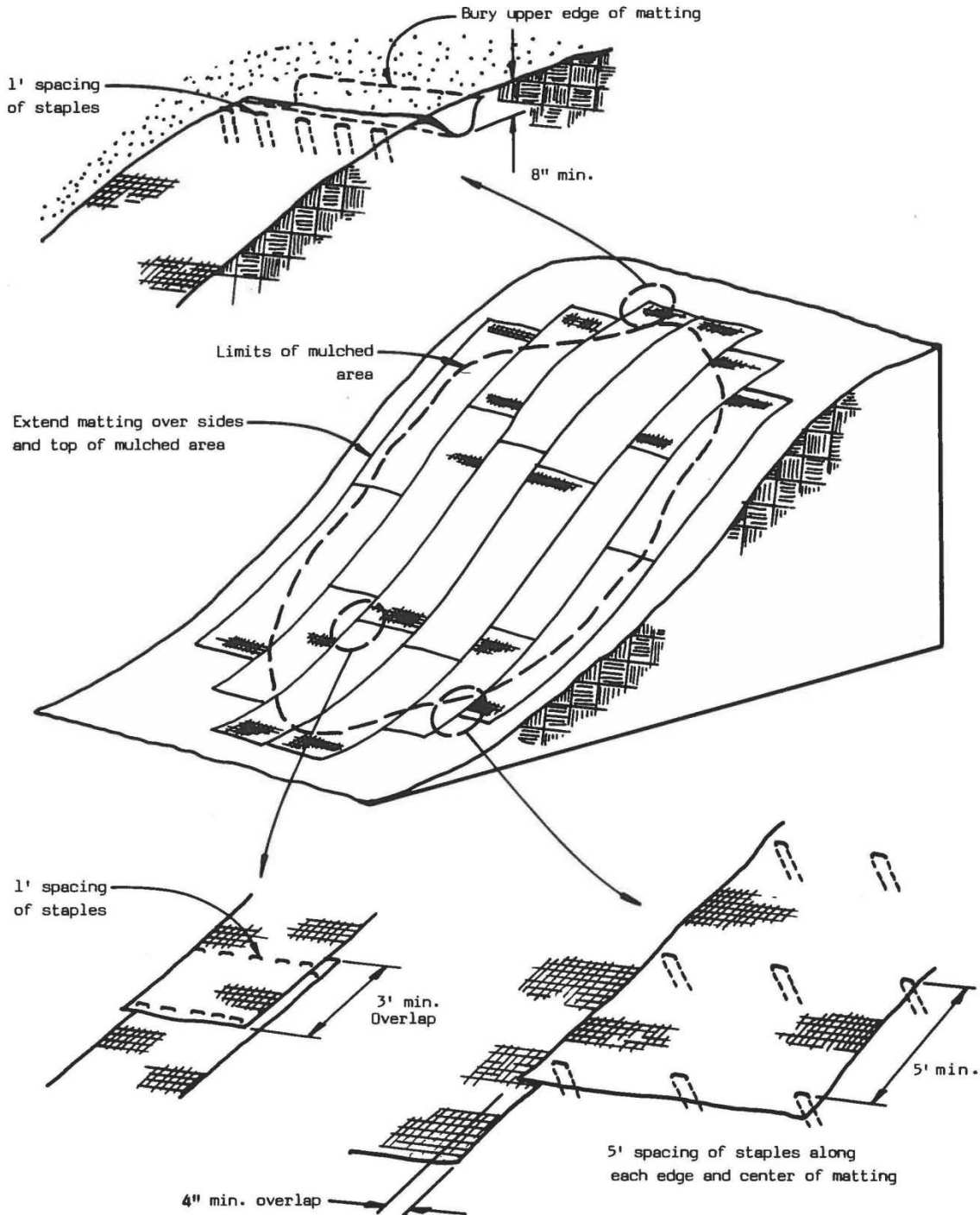


Figure 7-1: Erosion Control Blanket Installation
(Modified from Idaho Department of Lands, 1992.)

7.1.2 Wind Protection

Wind protection is any structure or method to block or reduce wind flow. The purpose of the BMP is to reduce the exposure of dust-generating material to wind. Techniques that reduce the exposure of dust-generating material to wind, or reduce the velocity of wind, will help in controlling dust generation and distribution (such as onto area vegetation or into surface waters)

and in maintaining air quality. This BMP is appropriate for active and inactive sites with exposed soils, and is particularly useful around operations such as screening or crushing activities.

Generally, wind protection includes:

- berms with trees and vegetation either placed or left in place;
- barriers, such as fences, around activities that might produce dust, such as screening and crushing (these barriers create a low pressure shadow which allows particles to settle to the ground rather than being released in the air and possibly settling off-site);

Windbreaks, whether composed of natural vegetation or fencing, will reduce wind speed for a distance of as much as 30 times the windbreak's height. For maximum protection, a windbreak setback should be two to five times the mature height of the trees. Other activities that might help reduce releases of dust include placing erodible mined materials in bays or bunkers, creating temporary enclosures or other containment, and covering transportation loads with tarps.



Figure 7-2: Wind Protection Example
(Photo: Alaska Sand and Gravel)

7.1.3 Grading

Grading is used for surface re-contouring, site operations, for implementing erosion control practices, and reclamation. A good grading plan will address sediment and runoff control needs, as well as final site stabilization or revegetation goals. Prepare a grading plan that details:

- slope angles and grade lengths;
- how graded areas are to be stabilized and protected from runoff;
- where and how excess earth material will be stored or disposed;
- berms for visual and wind protection;
- what potential new erosion and sediment loss conditions must be addressed;
- what drainage areas, patterns, and runoff velocities might be affected, and what provisions must be made, such as check dams or settling ponds; and
- seasonal or weather conditions that are of concern.

If possible, grading should not be done during an extreme rainfall event. Also to the extent possible, stabilize graded areas with hydroseed, vegetation, crushed stone, riprap, or other appropriate ground cover as soon as grading is completed. Use mulch or straw to temporarily stabilize areas where final grading must be delayed, and optimize finished slope angles for successful revegetation. During final grading, roughen slopes to retain water, increase infiltration, and facilitate root growth. In areas with high water tables, install underground drainage to prevent seepage, and thus keep the surface dry. Stable channels and floodways must be maintained to convey all runoff from the developed area to an adequate outlet, to avoid causing increased unintended erosion, ground instability, or off-site sedimentation.

7.1.4 Chemical Soil Binders

Chemical soil binders can be used as a cost effective alternative to geotextiles, or as an additive to mulches, as a means of protecting soil from erosion while vegetation becomes established. The binders are typically long chain polymers that work by binding soil particles together. The material usually comes in a liquid or powder form, is effective for 90 to 180 days, and costs on the order of \$50 per acre. The chemical soil binder used should be tailored to the specific soil conditions found at the site. They should not be used where they might wash into surface water bodies or where forbidden by permit.

7.1.5 Biotechnical Slope Stabilization

Biotechnical stabilization uses live layers of brush imbedded in the ground to reduce surficial erosion and the risk of shallow slope failures. Steps:

- Cut branches and stems of trees and bushes up to 3 inches in diameter, preferably during the dormant season (fall or early spring).
- Lay the branches and stems between lifts of compacted soil in a criss-cross fashion so the structure extends the full width of the fill. Branches should protrude from the face of the fill slope.
- Space horizontal brush layers no more than 3 to 5 feet apart vertically. Closer spacing may be appropriate near the base of the slope.

- Alternate layers of brush and compacted fill from the toe to the top of the slope.
- Ideally, the cuttings will root and live shoots will develop, which will help control erosion.

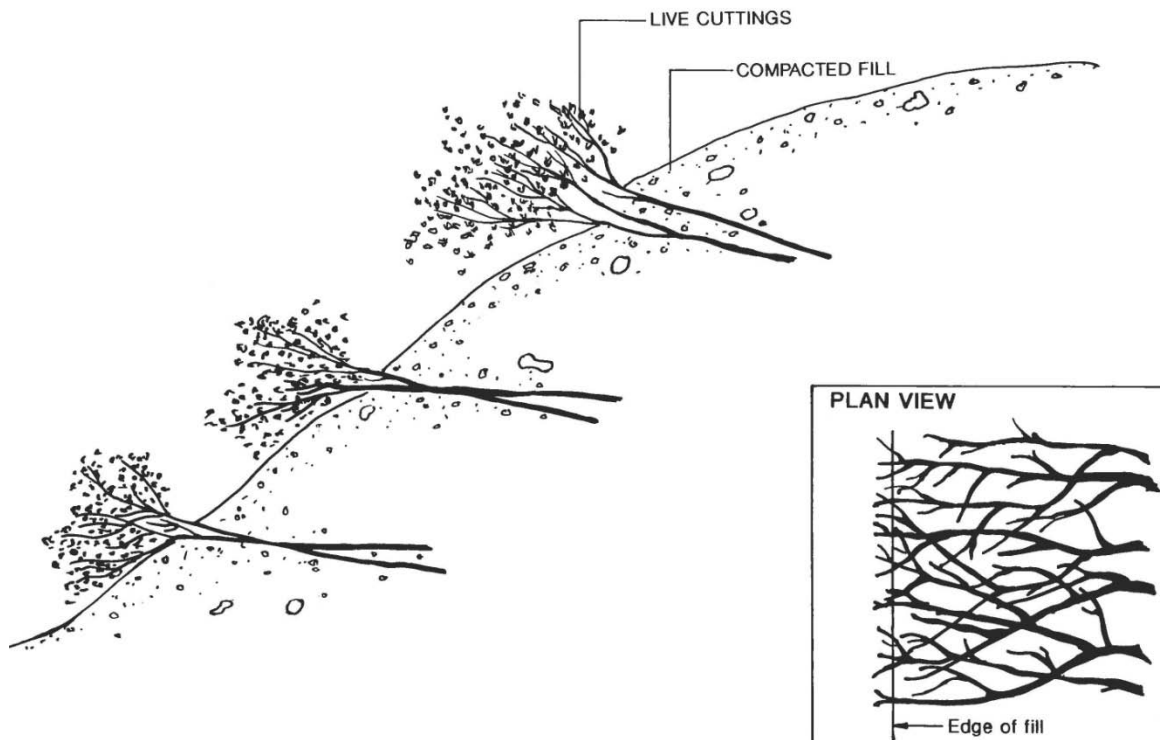


Figure 7-3: Biotechnical Stabilization Detail
(Modified from Idaho Department of Lands, 1992.)

7.1.6 Covering, Tarps, Geotextiles, and Caps

Slopes and stock piles can be covered with a variety of materials for a number of purposes. Some reasons to cover piles include immediate dust and erosion control, establishment of vegetation for sustainable erosion control, chemical stabilization of acid-forming material (reducing water and oxygen), and preventing contaminant release by reducing infiltration. Materials and applications are discussed below.

Tarps – for short term dust and erosion control.

Tarps (tarpaulins) are a synthetic fabric usually made of vinyl, vinyl-coated polyester, or polyethylene. They can be placed over piles and fixed with pins, stakes, ropes, or ties, and weights like sandbags or tires. Edges should overlap like shingles to shed water.

Tarps are effective in temporarily reducing erosion from light wind and stormwater. They tend, however, to degrade quickly. If long term erosion control is needed, other BMPs such as vegetation and geotextiles should be considered.

Geotextiles – for erosion control while establishing vegetation.

The term geotextile encompasses a wide variety of fabrics, some made of natural materials and some synthetic. Geotextile manufacturers can typically recommend

appropriate products for specific applications. Typical uses of synthetic geotextiles at mine sites include use in silt fences (see page 34) and use as a liner for structures like trench drains (see page 38). Natural geotextiles, such as a coconut fiber mesh, can be used to reduce erosion on piles or slopes while vegetation is being established. They degrade over time, but their function is usually taken up by the vegetation they helped to foster.

Caps – for reducing infiltration and availability of oxygen.

Capping material to seal in contaminants, reduce infiltration, or reduce oxygen exposure is typically accomplished with a layer of very low permeability sediment, such as clay. Cap design thickness depends very much on the performance requirements of the cap, the environment, and the properties of material used in the cap. Caps are often on the order of a couple of feet thick. In situations where contaminants like acid rock drainage are involved, cap performance should be monitored. Permanent caps can be covered with topsoil and vegetated.

7.1.7 Riprap Stabilization

Riprap is loose, hard, angular rock (stone) placed over soil to help protect against erosion. It is generally used to protect ditches and channels (Figure 7-4), shorelines and stream banks, or drainage outlets. General guidelines to install riprap stabilization include:

- Place a layer of filter material (geotextile, sand, or fine gravel) between the soil to be protected and the riprap to prevent soil from migrating into the riprap.
- For the riprap, select a mixture of stone sizes. The mixture should contain mostly large stones, with enough smaller clasts to fill most of the void between the larger ones. The appropriate size of the riprap will depend on the site. Faster flows will require larger stones to protect against erosion. Some technical guidance on proper sizing of stones for riprap based on water velocity and other factors is provided in *Stream Restoration Design, Part 654 of the National Engineering Handbook*, published by the United States Department of Agriculture Natural Resource Conservation Service, available at <http://www.nae.usace.army.mil/reg/nrrbs/TECHNICAL-SUPPLEMENTS/TS14C.pdf>.
- Carefully place the riprap so as not to damage the filter material liner.
- In general, the thickness of the riprap layer should be 1.5 times the diameter of the largest stone, and no less than 6 inches thick.
- For shore or bank protection, riprap should be placed along the slope from a depth of 3 feet below the water line to a point above the high water mark where vegetation can be established.
- Routinely inspect riprap stabilization and repair it immediately if it becomes damaged or moves. If disruption is frequent, larger stones may be needed.

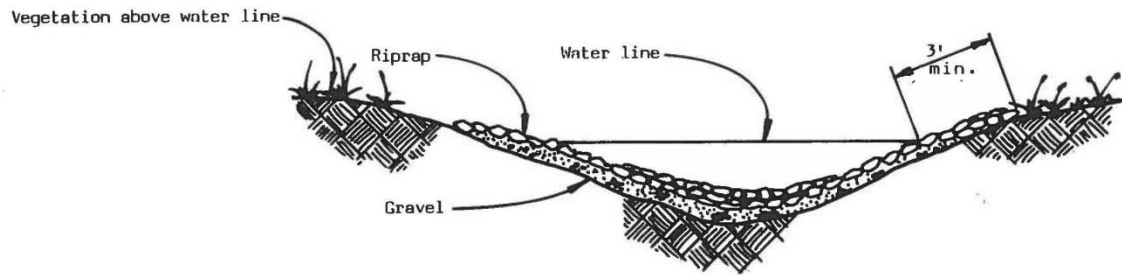


Figure 7-4: Riprap Stabilized Channel or Ditch
(Modified from Idaho Department of Lands, 1992.)

7.1.8 Outlet Protection

Outlet protection prevents scouring and sediment disruption at the location of outlets. It is typically established using riprap stabilization techniques (see page 31) to create an apron immediately below where the outlet releases to the receiving area. If needed, outlet protection can be upgraded to include sediment screens (Figure 7-5) or devices to prevent upstream fish migration.



This culvert captures sediment at a material extraction site that is operated by the City and Borough of Sitka. Photo courtesy of DEC.

Figure 7-5: Outlet Protection Example

7.2 Sediment Control

7.2.1 Sediment Barriers

Sediment barriers are used along the bottom of stockpiles or disturbed areas that trap sediment while allowing water to pass through. Three common types of sediment barriers are straw bale barriers, silt fences, and brush barriers. All of these are temporary measures and should be used to keep sediment contained until the source can be better controlled.

7.2.1.1 Straw Bales

Straw bales can be used to make successful sediment barriers, but are often poorly installed and therefore ineffective. Keys to good installation are:

- Set straw bales in a 6-inch-deep trench with vertical walls, dug along a topographic contour (Figure 7-6).
- Anchor the bales using rebar or steel pickets.
- For higher flow, combine with a gravel check dam (Figure 7-7).

Straw bales are best used as a short-term solution to relatively small sediment problems. They will float until they are wet and will typically last only 3 months once they become wet. Straw bale barriers in swales generally should not receive flows greater than about 0.3 cubic yards per second, and sediment should be removed once it reaches half the dam height. Keep in mind that when straw bale barriers fail, which they ultimately will if they are neglected and never removed, there is often more damage done than if no barrier had been installed. Straw wattles can be used for similar purposes as straw bale barriers, and have similar installation guidelines and limitations.

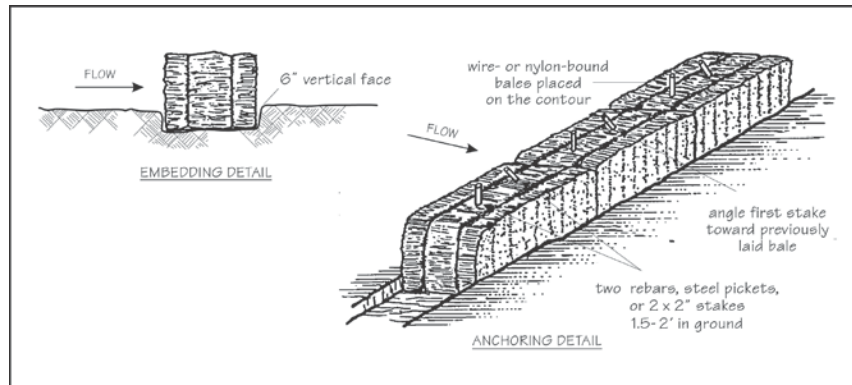


Figure 7-6: Straw Bale Sediment Barrier Detail

(Modified from Washington State Department of Natural Resources, 1997, and Idaho Department of Lands, 1992)

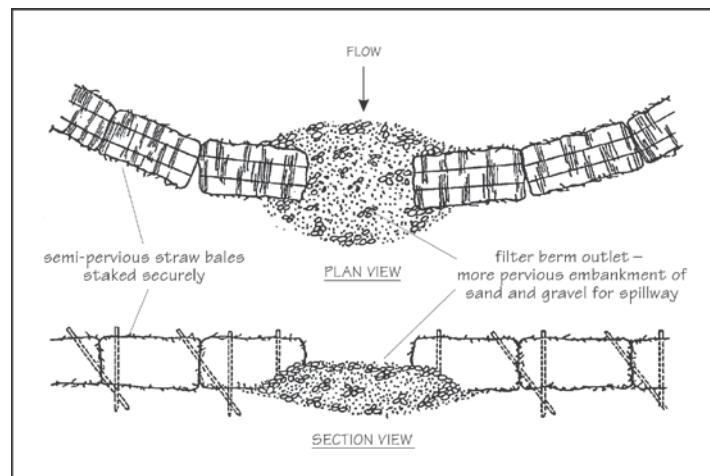


Figure 7-7: Straw Bale Sediment Barrier Detail

(Modified from Washington State Department of Natural Resources, 1997, and Idaho Department of Lands, 1992)

7.2.1.2 Silt Fences

A silt fence is a temporary liner or barrier that slows down or prevents silt or other sediments from moving away from disturbed areas. It is placed perpendicular to slopes below disturbed areas that may be affected by erosion. Using synthetic fabric or geotextile, the silt fence is staked in place and reinforced. Typically, silt fences are less than three feet in height to prevent failure with too much water pressure. Ideally, a silt fence is installed by trenching to anchor the filter fabric with backfill. A trench lined with the bottom of the filter fabric and filled with gravel will provide stability to the BMP. Very often silt fences will become ineffective in heavy rain events or when not monitored; therefore, regular monitoring will help make sure that the BMP is working. Remove all accumulated debris and sediment when they reach half of the height of the silt fence.



Figure 7-8: Silt Fence Example
(Photo: City and Borough of Sitka)

7.2.1.3 Brush Barriers / Slash Filter Windrows

Brush barriers or slash filter windrows can be used below roads, overburden stockpiles, or other bare areas with moderate to steep slopes to filter coarse sediment and reduce water velocity. They are relatively inexpensive, as they can be built with brush cleared from areas prior to mining. They are constructed by piling brush, sticks, and branches in to long rows below areas of concern and can be supported by logs or large rocks.

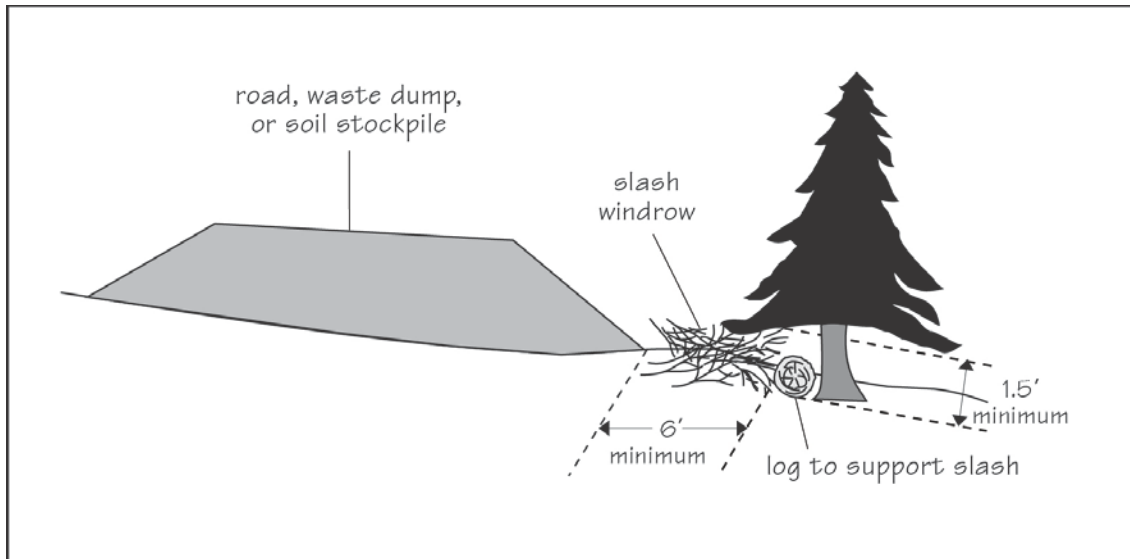


Figure 7-9: Slash Filter Windrow Detail

(Modified from Washington State Department of Natural Resources, 1997, and Idaho Department of Lands, 1992)

7.2.2 Check Dams, Sediment Filters

7.2.2.1 Check Dams

Check dams are used in ditches to slow surface flow, capture sediment, and minimize incision of the ditch.

- They typically consist of 2- to 4-inch-diameter coarse crushed rock, depending on the anticipated water velocity.
- Spacing of the dams depends on the gradient of the ditch.
- The top of the dam should be lower than the channel margins so that water can spill over it and stay in the channel.
- Gabion (wire mesh) baskets can be used to help keep the rocks in the dam from becoming displaced.
- Filter fabric (geotextile) can be placed on the upstream side to trap additional sediment, but it must be anchored in place and its mesh should be sized to avoid clogging. Filter fabric must be cleaned when it becomes clogged.
- Maintenance is required, including excavating captured sediment and maintaining the rock levels.

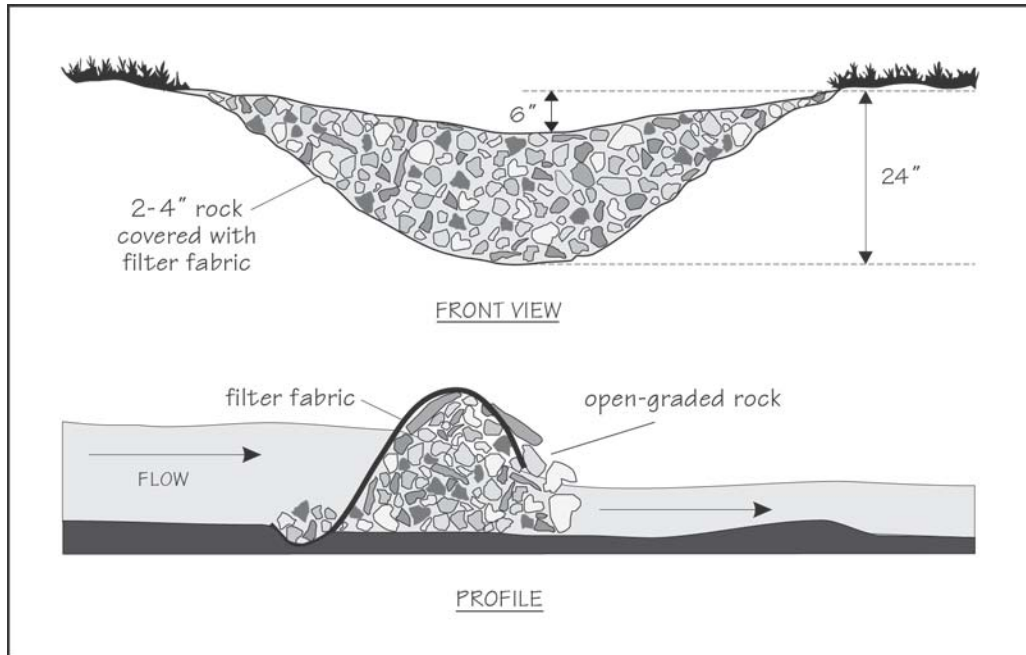


Figure 7-10: Rock Check Dam Detail
(Modified from Washington State Department of Natural Resources, 1997.)

7.2.2.2 Filter Berms

Filter berms are very similar to check dams, but are used in channels with low flow. They are designed to filter out finer sediment. In an ideal berm, fine sand, coarse sand, and gravel are placed sequentially from the upstream side to the downstream end of the berm. The sand will need to be replaced periodically as it becomes clogged with sediment.

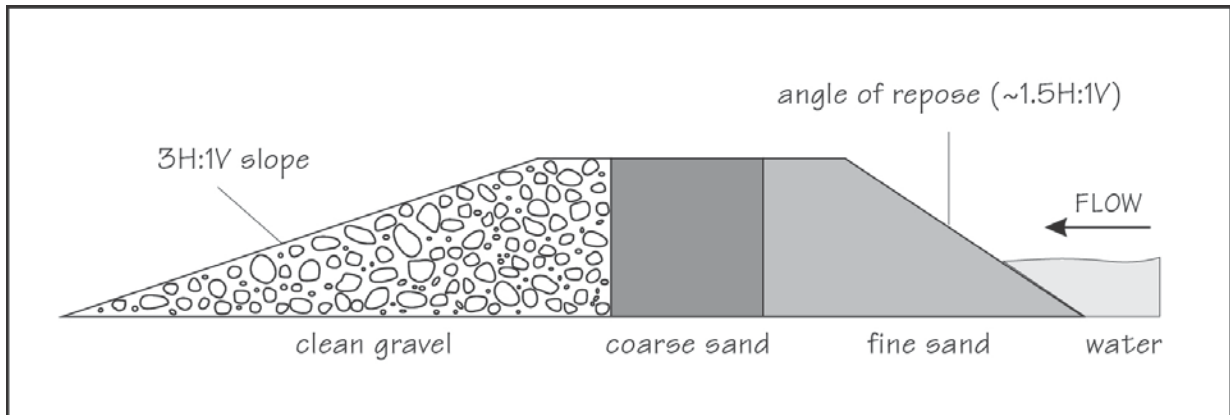


Figure 7-11: Filter Berm Detail
(Modified from Washington State Department of Natural Resources, 1997.)

7.2.3 Dust Abatement

7.2.3.1 Using Water

In dry conditions, dust from haul roads can become a problem. It can get into equipment and blow into surface water bodies. A periodic light spray of water is the most common tool used to control dust. The ground should not be saturated, but just wet enough that dust does not rise from

it when it is disturbed by traffic or wind. This is often accomplished with water trucks, but can also be done with a sprinkler system. If water is in short supply, chemical dust suppressants, such as magnesium chloride, could be considered. Be sure to check state and local law prior to using chemical dust suppressants.

7.2.3.2 Drop Height

It is a good practice to minimize the distance material is dropped from loaders, excavators, and conveyors. This reduces the amount of dust released into the air, reduces noise, and reduces the risk of worker injury.

7.2.3.3 Dust Skirts

Dust skirts are rubber skirts placed around the outlets of conveyors or hoppers that run down to piles, shielding falling aggregate from wind. This reduces dust emissions and prevents material segregation. Dust skirts are useful where drop height is difficult or impossible to control.

7.2.3.4 Naturally Occurring Asbestos

Asbestos is a naturally occurring mineral that is present in some rocks and soils in Alaska. If it becomes airborne in the form of dust from activities like excavation, blasting, or crushing, it is a very serious respiratory hazard. Asbestos inhalation has been linked to numerous illnesses including asbestosis (fibrous scarring of the lungs), mesothelioma, and lung cancer. The possibility of encountering naturally occurring asbestos (NOA) at a mine site should be investigated before ground is broken. The California Geological Survey has published a document called *Guidelines for Geologic Investigations of Naturally Occurring Asbestos in California*. This document may be a useful starting point for determining if NOA exists on your site. It can be obtained at:

http://www.consrv.ca.gov/cgs/minerals/hazardous_minerals/asbestos/Asbestos_Guidelines_SP12_4.pdf. If NOA is present, the dust abatement BMPs listed above will not likely be sufficient to reduce airborne asbestos to an acceptable level.

7.3 Stormwater Management

7.3.1 Diversion

7.3.1.1 Diversion Ditches

Ditches are open drainages that vary in size and depth to capture stormwater runoff and carry it offsite, or to onsite treatment. These can be particularly useful for managing stormwater that runs onto your site from adjacent properties. Ditches can route the flow around your work area, minimizing the exposure of your excavation to stormwater pollutants. Although some ditches may only carry water during rain events, others may be permanently wetted. Ditches may help remove sediments from stormwater, which might otherwise impact rivers, lakes, streams, or other aquatic sites. Naturally occurring vegetation left in ditches may aid substantially in removing sediments from stormwater as it leaves vegetated areas. Vegetation growing on the bank of the ditch can help to remove sediment as surface run-off flows through it.

- Ditches are commonly used to divert stormwater and to keep project sites as dry as possible to inhibit erosion.
- Ditches should be planned to carry more water than at peak flows, especially if they are to be vegetated.
- Oversized ditches may be allowed to naturally vegetate and will probably need less maintenance.
- Severe turns or grade changes along the course of ditches will likely need additional protection. Vegetation (trees or shrubs) may help prevent erosion during peak flows; riprap (see page 32) or other armoring may be necessary.
- Incorporate vegetated swales or check dams to help filter out sediment pollutants.
- In some areas of Alaska, fish (like salmon) have moved into ditches. Avoid this by creating a preventative barrier to fish passage to a constructed ditch.
- If ditches regularly fill with sediments, then use upstream source and sediment controls as needed.



Figure 7-12: Ditch Example
(Photo by permission of Central Paving Products, Anchorage Alaska)

7.3.1.2 Trench Drains

Trench drains can be used to help with stormwater control and dewatering unstable slopes. They are generally ditches that are lined with a geotextile filter fabric and backfilled with crushed drain rock or clean gravel. A perforated pipe can be placed near the bottom of the trench backfill

to move water to the outlet more quickly. Trench drains do require an outlet to remove water. They may also require periodic maintenance. If a pipe is used, it is recommended that cleanouts along the pipe be installed.

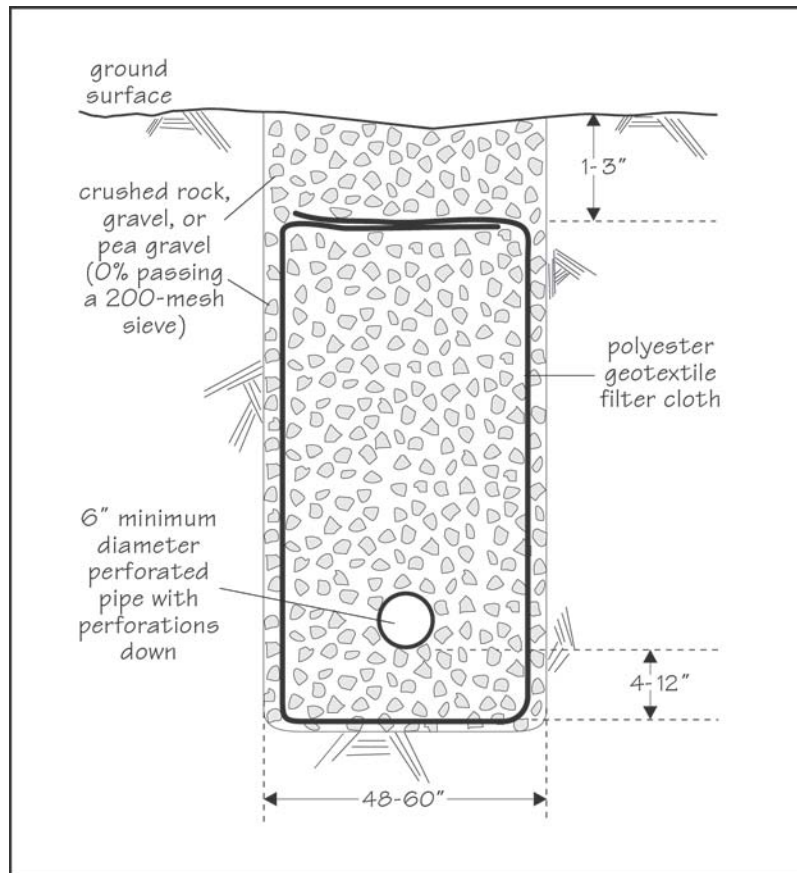


Figure 7-13: Trench Drain Detail
(Modified from Washington State Department of Natural Resources, 1997.)

7.3.1.3 Culverts

Culverts are used to move water under roadways or to divert water around areas or structures. They can be made of metal or plastic; for roadways, metal is typically used. In complex or critical cases, design professionals should be consulted. In general, culverts should:

- have headwalls at the inlet side and erosion protection at outlet locations (see page 32),
- be large enough to carry maximum stream volumes as well as additional seasonal runoff,
- be installed in firm, compacted soil with a minimum cover of 12 inches; and
- be inspected on a regular basis and cleaned or repaired when necessary.

Depending on the location and purpose of a culvert, a local or state permit may be required. Be sure to check before starting culvert construction.

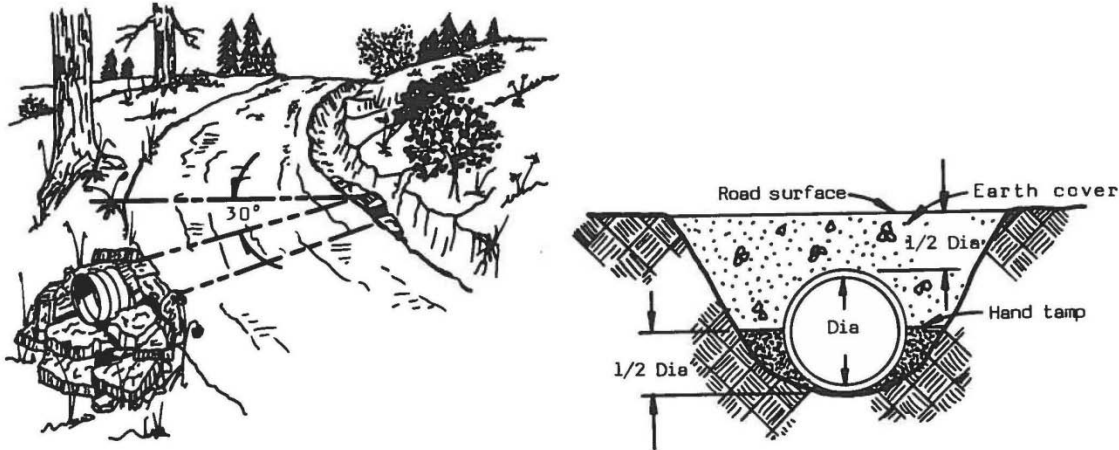


Figure 7-14: Culvert Detail
(Modified from Idaho Department of Lands, 1992.)

7.3.2 Treatment

7.3.2.1 Settling Pond / Retention Basin

Settling ponds are either permanent or semi-permanent structures, such as dugouts, impoundments, or raised tanks, which remove silt and suspended clays from water used for washing aggregate, and/or from sediment-loaded stormwater. Some keys to effective settling ponds are:

- Construct two or more ponds in series, with the coarsest material removed by the first pond, and the finer suspended solids by subsequent ponds. This approach allows one or more ponds to operate while another is being cleaned. (Settling ponds only remove roughly 80 percent of the trapped sediment that flows into them.)
- Locate the ponds in low areas and natural drainageways, but not in streams or wetlands.
- Design ponds for easy access and maintenance.
- Depending on the site conditions and potential for pollutants in the water, it may be appropriate to line settling ponds with plastic.
- Ponds should be cleaned out before they are more than 1/3 full of sediment.
- The distance the water travels within the settling pond should be three to five times the width of the pond.
- Baffles can add to the flow length and pond efficiency.
- Potential materials for construction include earth, riprap, pipe, collars, seed for stabilization of disturbed soil, and new or recycled metal tanks.
- Settling ponds should not be placed where the risk associated with a failure would pose significant risks for people or natural environments such as streams.



Figure 7-15: Settling Pond Example
(Photo: City and Borough of Sitka)

7.3.2.2 Flocculants

Chemical flocculants can reduce the size of settling ponds for a given site by increasing the rate at which particles settle out of water. They work by causing fine particles, like clays, to bind together into larger particles which settle out faster. It is important to choose the right flocculent for the type of fines that will be present in the water to be treated. It is also important to maintain a proper mixture of flocculent in the pond. It must be mixed, but not over-agitated. Ideally, at least 2 ponds are used; one with a retention time of about 20 minutes and another with a retention time of 3 to 8 hours. Ponds will need to be cleaned regularly. Most flocculants are non-toxic to aquatic organisms and fish, but the manufacturer should be consulted regarding the environmental effects of any given flocculent prior to use.

7.3.2.3 Constructed Wetlands

An alternative to a settling pond is a constructed wetland. Constructed wetlands have the added benefit of vegetation to help filter sediment and some pollutants, but they require much greater land area and often require more cost to properly design and upkeep. As they drain to natural waterways, structures must be put in place to prevent fish from entering, and cleaning is more difficult and time consuming due to the presence of vegetation. If a wetland is to be constructed, an environmental professional should be consulted.

7.3.3 Dispersion

7.3.3.1 Discharge to Receiving Waters

If stormwater is discharged directly to a surface water body, a permit is required. The water must meet the quality standards set in the permit. It should not induce physical or thermal erosion at the site of discharge, and should not create thermal barriers to fish movement.

7.3.3.2 Land Application

Land application sends stormwater through dispersal systems that allow turbid water to infiltrate into vegetated areas. The technique can be used to handle all sediment-laden stormwater or just to increase capacity in conjunction with other systems.

- Perforated pipes can be used as a distribution system, laid parallel to slope contours (Figure 7-16).
- Land application should not be used on steep slopes, and turbid water must not be allowed to enter creeks or wetland.
- Land application systems often cannot handle surges in water volume during storms. Soils may not accept stormwater if they are already saturated.
- Infiltration analyses can help determine the capacity and infiltration rate of a site's soils and improve design. Qualified professionals can assist in these analyses and designs.
- Concentration of outflows from land application systems should be avoided, as it may induce erosion.

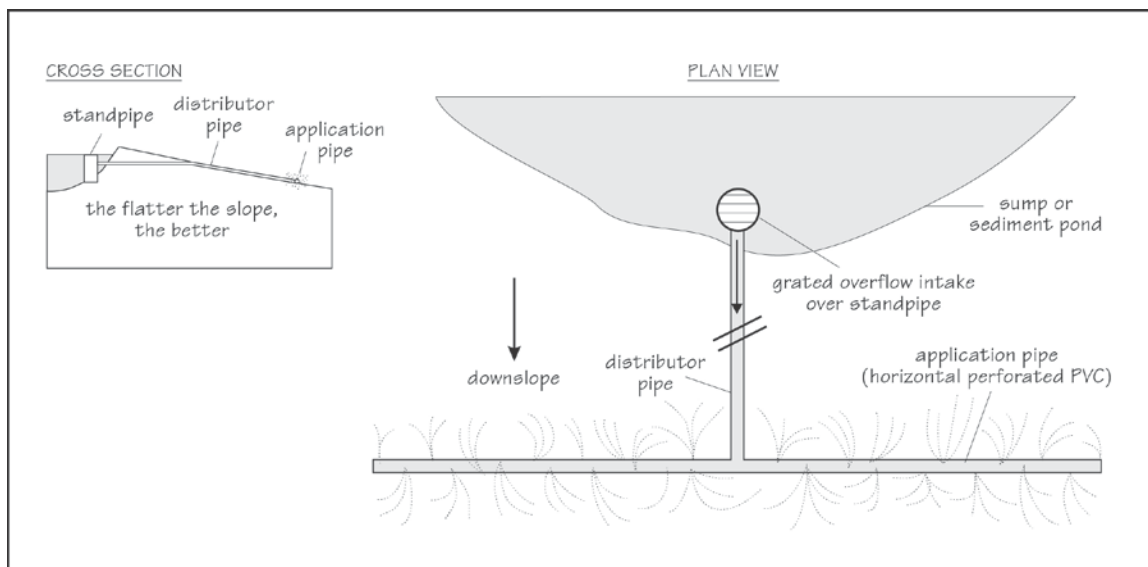


Figure 7-16: Land Application System
(Modified from Washington State Department of Natural Resources, 1997.)

7.3.3.3 Level Spreaders

Level spreaders can be used in locations where concentrated runoff from unvegetated ground needs to be controlled and dispersed over a broad area. They help to reduce water velocities, lessen erosion, allow sediment to settle out, and enhance infiltration. Level spreaders work best in areas with permeable soil. Some guidelines for level spreaders are:

- Do not construct level spreaders on slopes steeper than 3H:1V.
- Level spreaders should be constructed in undisturbed soil.

- Constructed length should be 15 feet for every 0.1 cubic feet per second of discharge water.
- Constructed width should be a minimum of 6 feet from the centerline to the outside edge of the spreader. See Figure 7-17.

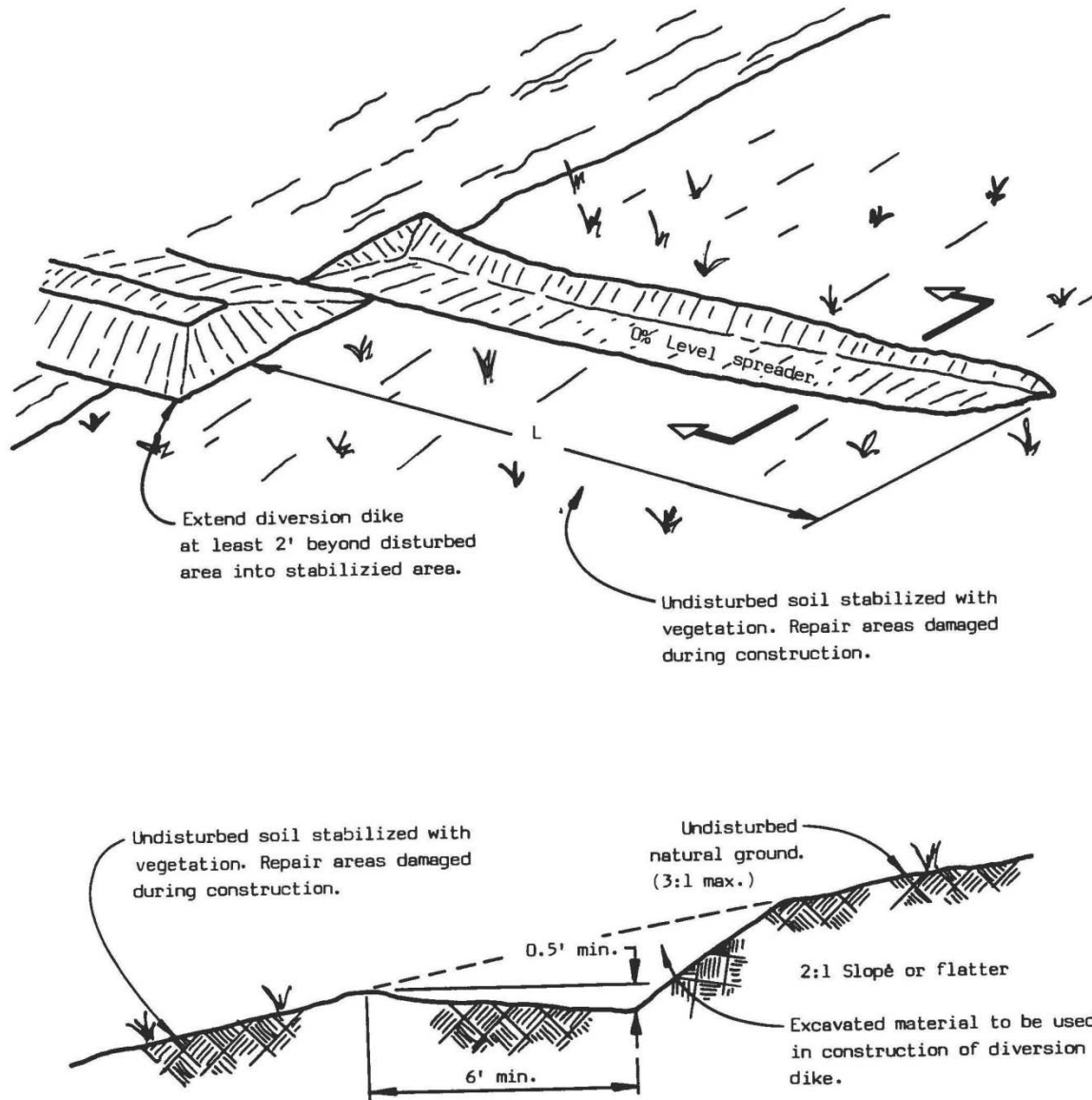


Figure 7-17: Level Spreader Detail
(Modified from Idaho Department of Lands, 1992.)

8 OPERATIONAL BEST MANAGEMENT PRACTICES

Mining Plans should be developed to avoid and/or mitigate potential impacts to surface water, groundwater, and the environment in general. This chapter contains operational BMPs, which can be applied to the layout of a mine site and various mining activities to reduce surface water and groundwater impacts.

Key Points – Chapter 8

- This chapter contains general BMPs for setting up a mine site and mining activities.

8.1 BMPs for the Mine Site

8.1.1 Buffer Zone

As a BMP, a buffer zone is either a natural or enhanced vegetated area around a disturbed site, or near sensitive areas such as a stream, wetland, or inhabited area. It provides distance and adds time to reduce flow and velocity of storm water. If dewatering is performed, buffers reduce offsite groundwater impacts. Buffer zones also reduce noise pollution, allow for dust settling, provide wildlife corridors, and reduce visual impacts. Once established, buffer zones that allow natural succession require little maintenance.

- Preserve or place a buffer zone around the site perimeter, adjacent to streams or other waters, along access corridors, and at the edges of disturbed areas.
- Help reduce sediment and pollution by placing a buffer zone alongside stormwater drainages.
- Retain or plant native trees and shrubs around the perimeter of disturbed areas to help reduce dust, noise, and provide a visual barrier.
- For windbreak protection, tree densities of greater than 20 percent are needed.
- Use other methods to reduce or control flow of surface water such as flow barriers, diversions, sediment traps, check dams, and vegetative plantings, or silt fences when natural buffers are not possible.



Figure 8-1: Buffer Zone Example
(Photo by permission of City and Borough of Sitka)

8.1.2 Berms

Well designed berms may provide some reduction of pollutants and will help reduce noise, dust, and the visual impact of the site within the community. Berms can be used around the perimeter of the property or adjacent to areas sensitive to impacts such as wetlands or surface water bodies. A berm can be used as a site control for surface water entering or leaving a site.

- The elongated and raised structure may be composed of selected material from onsite or offsite.
- Berm heights should be at least 6 feet. For berms taller than 6 feet, vary berms and contour side hills to provide a more natural appearance.
- Plan that berm heights, contours, and vegetation would blend in with naturally occurring conditions.
- If the berm remains in place long-term or permanently, add topsoil to help hold vegetation and provide for natural succession. Seed berm with native grasses or top with other native shrubs, trees, or other indigenous vegetation to reduce draining and drying of the berm.
- Establish ground cover quickly and stabilize soils with mulch, blankets, or other methods.



Figure 8-2: Berm Example
(Photo: City and Borough of Sitka)

8.1.3 Fences

Fences prevent unauthorized entry to a mine site. This protects the mine's equipment from sabotage, helps to manage risk associated with unauthorized people wandering onto the site and getting injured, and prevents wildlife from entering the site and becoming entrapped in pits or falling from high walls. Common fence types are barbed wire and chain link. Fences should be constructed in such a way and to a height sufficient to prevent people or animals from scaling or jumping over them.

8.1.4 Signage

Use signs to inform and remind mine employees of sensitive areas on the site, such as established setbacks from streams or hazardous areas. Also use signs to warn the public and site visitors of mine hazards.

8.1.5 Access and Haul Roads

The use of designated haul roads is recommended for all aggregate site operations. Well-designed and constructed haul roads can make site operations safer, more productive, and cause less wear and tear on equipment. Some keys to effective haul roads are:

- Keep haul roads dry by elevating them and cross-sloping the surface to facilitate drainage.
- For two-way traffic, road widths should be 3 times the width of the largest haul truck.
- Use road shoulder barriers/berms for safety and erosion control.
- Design the banking of curves and curve transitions to minimize the centrifugal forces on vehicles negotiating the curve.
- Maintain safe steepness grades.
- Place intersections at flat, straight alignments.
- Establish a regular grading program to minimize erosion, sediment build-up, noise, and dust. Haul roads may also require periodic scarifying, sanding, and resurfacing.
- Potholes, washboarding, and frost heaving should be repaired immediately to minimize noise, dust, and equipment wear.
- Apply approved dust suppressants such as water or calcium chloride, if necessary.



Figure 8-3: Haul Road Example
(Photo: Alaska Department of Environmental Conservation)

8.1.5.1 Wheel Washer

Wheel washers can be used where materials are being transported off site via paved public roads to help remove dirt, dust, mud, and rocks from trucks prior to mine exit. The reduction of

dirt/dust transported onto paved public roads reduces the dust impacting air quality and the dust covering vegetation and settling into nearby bodies of water. It also reduces windshield damage from thrown rocks. Wheel washers may not be needed if other sediment control mechanisms are in place (stabilized exits, concrete pads), the haul road is paved, or the public roads are dirt/gravel surfaces.

A Wheel washer can be as simple as several railroad rails submerged in a pit, draining to a settling pond (Figure 8-4). Wheel washer design should result in shaking dirt or mud off of a vehicle passing through the pit. Placement of rumble strips, railroad rails, a cattle guard, or steel bars at 2- to 8-inch intervals can provide the agitation needed for removal of dirt, rocks and mud. More advanced designs or high volume facilities may invest in a concrete foundation and mechanized sprayers (Figure 8-5).

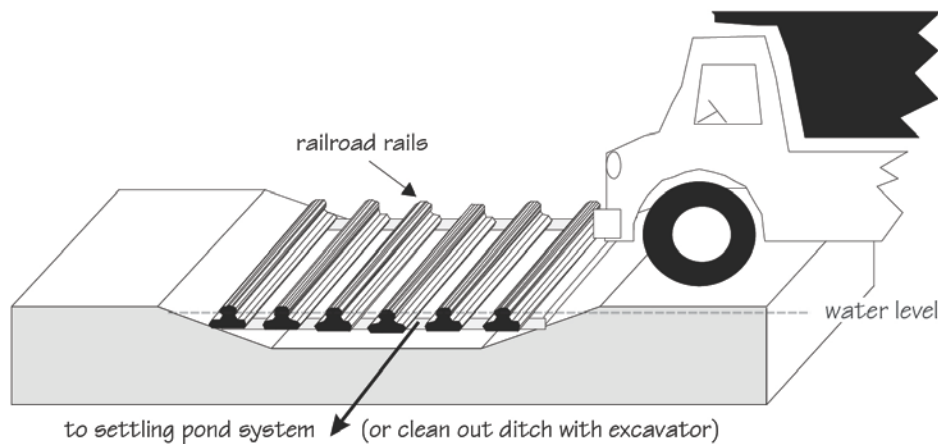


Figure 8-4: Simple Wheel Washer
(Modified from Washington State Department of Natural Resources, 1997.)



Figure 8-5: Wheel Washer with Sprayers
(Photo from January-February issue of Erosion Control Magazine article “Controlling Fugitive Dust on Roadways”
by Carol Brzozowski)

8.1.5.2 Stabilized Construction Exits

Stabilized construction exits provide a transition from dirt roads on a mine site to paved roads, to reduce the tracking of mud onto public right of ways. They are an alternative to a wheel washer, and while less effective, may be sufficient for many situations. To construct a stabilized construction exit:

- Excavate a pad that is about 6 inches deep, as wide as the haul road, and at least 50 feet long.
- Lay down a filter fabric geotextile over the excavated area.
- Cover the geotextile with 6 to 12 inches of 2- to 3-inch-diameter angular drain rock.
- Dress the exit with additional stone as needed.

8.1.5.3 Street Cleaning

This BMP involves sweeping or other pavement cleaning practices for entrances or roadways in front of a site, loading areas, haul roads, parking areas, truck aprons, and where materials are being transported on paved roads. Used in concert with other BMPs, street cleaning aids to remove substances that might otherwise pollute rivers, lakes, and streams. Modern sweeper equipment is capable of removing very fine sediment particles. By using the most sophisticated sweepers, greater reductions in sediment and accompanied pollutants can be realized. By using this BMP, some pollutants can be captured before they become soluble with rainwater. The cost for sweeping using simple mechanical techniques is relatively low, but a more efficient sweeper system can be expensive to own and operate.

- Street cleaning is not effective on unpaved surfaces.
- Do not use water to wash paved areas clean if run-off would migrate to rivers, lakes, or streams.

8.1.6 Vibration Reduction

Blasting, screening, and crushing, as well as movement of heavy equipment on site and from the site may produce ground vibrations. Vibrations can affect unstable slopes and can potentially damage nearby structures such as houses. Since transport of materials is one of the primary causes of vibration, levels can be reduced by maintaining roads free of potholes, reducing speeds, and limiting the weight of loads carried by trucks. For blasting activities, which tend to generate stronger vibrations, it is important to monitor vibrations at nearby locations that may be impacted. A blasting specialist can give guidance for charge weights and sequencing that might minimize effects for operations in community areas with other businesses or residents. In some cases, vibrations from blasting can increase the turbidity of groundwater, which can impact nearby wells. If PWS sources or residential wells are within 1000 feet of a proposed blasting operation, vibration and groundwater turbidity before and after blasting should be monitored at the well sites.

8.1.7 Dumps and Stockpiles

Mines with thick overburden generate large amounts of waste soil and rock. This material is generally stockpiled either permanently or for later use in reclamation. Dumps and stockpiles, if poorly placed or constructed, can easily result in landslides and increased sediment loads to nearby surface waters. The following are some guidelines for placement and construction of stockpiles:

- Select a location that is geologically stable. Qualified professionals may be required to assess landslide hazard.
- Select a location that is away from waterways, seeps, and springs.
- Strip all vegetation from the storage area, as it will rot under the stockpile and create a plane of weakness and increase the chances of downslope movement.
- Vegetation removed from the stockpile area can be used around the perimeter of the stockpile to filter runoff.
- Install a blanket drain (drain rock and geotextile) at the base of the pile on any slope where drainage problems are anticipated, and key it into competent material within the slope.
- Construct diversion ditches above stockpiles on steep ground.
- Place the fill in 12- to 18-inch lifts and compact it with a sheep's foot or vibratory roller.
- Shape the pile to prevent water from ponding and to direct water to a drainage system.
- Final slopes should be between 2H:1V and 3H:1V or flatter. Flatter slopes are easier to access for reclamation. Slope designs may be optimized with the help of qualified professionals.
- Terraces may be constructed to slow runoff water velocities.
- When shaping is complete, seed and mulch the pile to establish vegetation.

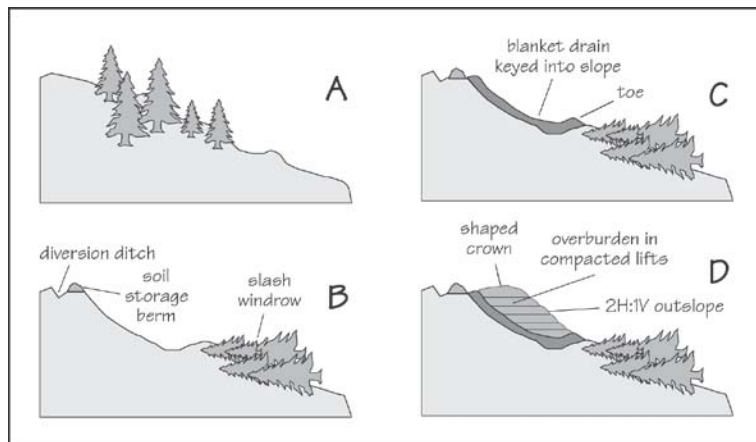


Figure 8-6: Stockpile Construction
(Modified from Washington State Department of Natural Resources, 1997.)

8.1.8 Employee Training

BMPs are only effective if they are properly implemented and maintained. This is accomplished through employee training. Field employees should be taught basic stormwater management and pollution prevention principals. Begin by clearly communicating the company's expectation that its employees should take personal responsibility for helping assure BMP effectiveness.

Encourage and recognize their efforts to watch and monitor for BMP effectiveness. Management should lead by example. Create a learning culture for employees to help assure that stormwater management and pollution concerns are quickly and effectively addressed.

8.1.9 Environmental Timing Windows

Project activities such as blasting or clearing may impact fish or wildlife during certain times of the year. One way to help reduce impacts during critical times of the year is to adjust the project work schedule to minimize effects on seasonal life stages for fish or wildlife (such as in spawning fishes, or nesting waterfowl). Adjust project schedule to avoid impacts to fish and wildlife when project activities expose large quantities of soil or for long term operations. Help reduce siltation of natural watercourses and fish habitat by timing operations and project activities such as blasting and clearing land to avoid sensitive periods for fish and other wildlife. Coordinate with the appropriate agency to determine timing windows.

8.1.10 Scheduled Maintenance and Repairs

Scheduled maintenance and repair is a practice that maintains mine efficiency and protects water quality. Scheduled maintenance of equipment helps to reduce down time and helps to protect water quality by reducing oil and coolant leakage. Likewise, scheduled maintenance of BMPs can keep erosion and sediment under control so that the mine satisfies permit obligations and avoids more costly remedial measures.

8.1.11 Self Environmental Audit

The idea of a self environmental audit reflects a non-regulatory approach to helping assure the well-being of water resources in Alaska. This practice is designed to enhance protection of human health and the environment by encouraging operators to voluntarily and promptly discover, disclose, correct, and prevent potential violations of federal and state environmental requirements. The voluntary discovery, prompt disclosure, correction, remediation, and prevention of negative impacts on water quality are key elements of this BMP. Another key element of the self environmental audit is cooperation with state or federal entities with regard to site operations. There are potential economic benefits to self environmental auditing such as benefits to operators when "good faith" efforts are accomplished that address the needs and concerns of resource managers. There are low to moderate costs associated with possible delays in project activities, but these are offset by avoiding fines or more costly remediation measures if problems are not found early.

8.2 BMPs for Mine Activities

8.2.1 Test Holes

Follow all regulations at the state and federal level when drilling test holes to determine the depth and extent of deposits to be mined. Avoid contaminating groundwater by:

- placing holes in areas that do not flood and that have good surface drainage away from the hole;
- keeping holes away from chemical storage areas, landfills, and septic tanks;
- properly installing and decommissioning abandoned observation wells to avoid subsurface contaminant entry; and
- properly backfilling holes with bentonite and/or cement grout and surface seal.

8.2.2 Land Clearing and Grubbing

Clearing and grubbing the land is necessary to prepare a mine site for extraction, but increases the risk of environmental impacts from stormwater runoff. Permit coverage is required prior to beginning the land clearing and grubbing work. To reduce environmental impacts:

- Only clear areas of land that will be used immediately. Vast tracts of cleared land dramatically increase the risk of environmental impacts from stormwater runoff and the associated costs to control runoff from the mining site. Land that is not cleared is better at taking care of itself.
- Implement stormwater management, erosion, and sediment control BMPs before and concurrently with clearing so that sediment laden runoff does not leave the site.
- On slopes, divert slope water around disturbed areas using ditches.
- If possible, clear land and grub during dryer, less windy times of the year.
- Establish, mark, and remember to stay out of buffer zones; stay outside of recommended or permit-required distances from streams, rivers, lakes, wells, etc.

8.2.3 Stripping

Stripping is the removal of topsoil and overburden. If a mine plan employs contemporaneous reclamation (see Chapter 9) then topsoil and overburden can be placed onto previously mined areas as it is removed, which reduces handling costs and maintains useful soil properties. Otherwise, topsoil and overburden should be stockpiled for use in reclamation (see page 54 and page 56 for topsoil storage and stockpiles). Make separate stockpiles for topsoil and other overburden. In overburden soil, try to preserve soil horizons in the stockpiles so that the soil layers can be placed back in the order in which they were removed. Make sure stockpiles are located and built in a way that provides easy access for reclamation. As with land clearing, it is best not to disturb an area until it is ready to be worked.

8.2.4 Aggregate Washing and Process Pond Sludge

Aggregate often requires washing to separate sands and to remove fines. These types of operations typically discharge to processing ponds. Water in a processing pond is often very turbid and should not be discharged to surface water bodies prior to treatment. A series of settling ponds, for example, could be used to remove silt and suspended clays from water used for washing aggregate. Note that aggregate washing operations need an APDES permit from DEC if discharging offsite or if discharge may cause a chemical change in the groundwater.

Processing ponds will accumulate fine sediment and need to be cleaned, especially if they are designed to infiltrate water to the soils. Process pond sludge should be tested to determine metal content and pH prior to evaluating disposal options. Depending on the level of possible contaminants, disposal options may include drying the sludge and either placing it on site, on containment with a cap, or removing it to an off-site approved waste management facility.

8.2.5 Flow-Through Pits

Flow through pits, where a creek comes in one side of the pit and out the other, require an individual Army Corps of Engineers Section 404 permit. DEC's certification of the Corps permit might grant a short-term variance for water quality standards or specify conditions to ensure that the water leaving the pit meets Alaska Water Quality Standards. For information on permitting requirements, see Appendix D .

8.2.6 Dewatering

Dewatering is sometimes necessary for gravel pit operations in Alaska during gravel extraction or while cleaning settling or retention ponds. When dewatering 250,000 gallons or more and/or when operations occur within 1-mile of a contaminated site, notice to use the DEC's Excavation Dewatering General Permit (EDGP) is required. The DEC will provide more information on conditions and best management practices for a specific site in its permit, but some generally recommended BMPs for dewatering include:

- Consider the proximity of the pit to contaminated or potentially contaminated sites and to local water wells. If substantial draw down may occur due to dewatering, a contaminant plume from a contaminated site may move or be exacerbated. The DEC Contaminated Site Program staff should be contacted in advance in this instance. A detailed hydrogeologic study may be necessary.
- Wells, well points, or other systems may be most effective in drawing down the aquifer prior to mining, and reducing effects to aquifers. These methods are often preferred over using a sump or trash pump to dewater a pit while mining, because clean water is extracted and that simplifies discharge.
- Where offsite impacts to shallow aquifer are likely, infiltration trenches or wells can help to mitigate offsite drawdowns.

- For pit seepage, keep a perimeter trench around the outside of the excavation's floor. This trench will collect the groundwater seeping out of the pit walls and create a sump from which less turbid and uncontaminated water can be pumped.
- Make sure that dewatering does not result in or otherwise cause re-suspension of sediments in receiving waters. It is very important that any fluid leaving the site be free of any contaminants or additives such as fuel, antifreeze, solvents, corrosion inhibitors, toxic substances, oil, and grease, and anything which causes foaming in the effluent.
- Perform equipment maintenance away from the pit perimeter.
- Dispose of waste away from the open pit.
- Store fuels and hazardous materials away from the open pit.

Dewatering should not be done in such a way that it results in thermal or physical erosion, typically a problem at the site of discharge. Dewatering should be avoided or carefully (professionally) designed if it will result in offsite impacts such as contamination of surface or ground water, well impacts to neighboring properties, changes in flow patterns of surface water or aquifers, or if it causes flooding or damage to property or vegetation. Dewatering should not be done if discharge will result in thermal barriers to fish movement or otherwise exclude fish from aquatic habitat.

Monitoring of groundwater levels, pumping, turbidity, and other factors may be required by permit. A well-planned monitoring program is a valuable means of assuring the BMP is being conducted properly and that the true effect of dewatering is known. Active treatment of wastewater prior to discharge may be necessary to assure compliance with water quality standards. Should accidental discharge of contaminants occur, the operator should first correct the situation, then report the discharge to the Alaska Department of Environmental Conservation immediately to determine what, if any, mitigation is needed. Groundwater monitoring may be indicated in permitting before, during, or after de-watering.

9 RECLAMATION

This chapter describes various strategies and BMPs for reclamation. The primary goal of mine reclamation is to return a site to a condition that will not pose a hazard to public health and the environment. Reclamation plans are site specific, but they will generally include:

- removal of all mine facilities,
- a grading plan that establishes stable slopes and adequate drainage,
- self-sustaining vegetative cover,
- monitoring of performance during and after reclamation to ensure objectives are being achieved.

Key Points – Chapter 9

- Reclamation restores mined land to a stable condition that will not harm humans or the environment.
- Reclamation plans must be approved by Alaska DNR.
- There are different types of reclamation strategies:
 - Contemporaneous
 - Segmental
 - Post-Mining
- Proper handling, storage, and replacement of topsoil are crucial to revegetation.

By law, reclamation plans must be approved by the commissioner of natural resources from the Alaska Department of Natural Resources (DNR), Division of Mining, Land, and Water. This applies to state, federal, municipal, and private land and water in Alaska. Alaska DNR has published a book of Mining Laws and Regulations, which may be found at http://dnr.alaska.gov/mlw/mining/2009Reg_book.pdf.

9.1 Reclamation Strategies

9.1.1 Contemporaneous Reclamation

In contemporaneous reclamation, material is transported from a newly mined area directly to a previously mined area in one circuit (Figure 9-1). This method is preferred, because it minimizes handling of overburden and avoids creating large areas of unreclaimed land. It is optimal where a relatively small amount of material is extracted in comparison to the overburden moved, as it allows easy reproduction of soil and subsoil profiles. It may, however, be impractical for sites with very thin soil or where material like sand and gravel must be mixed from various parts of the mine in order to meet product specifications.

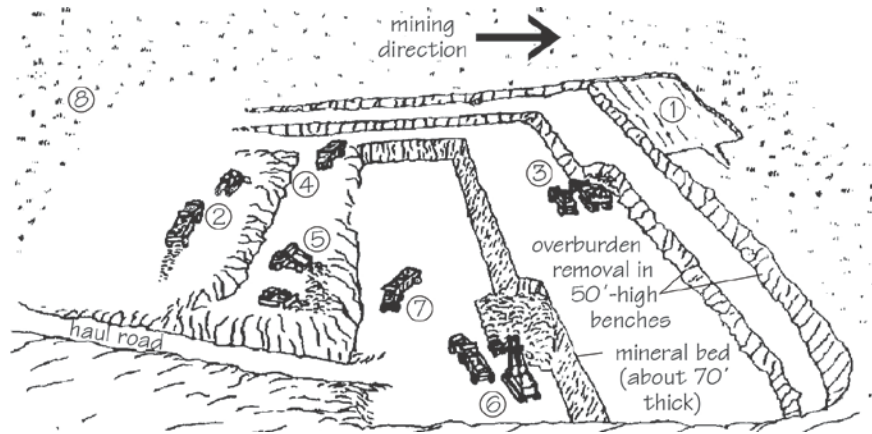


Figure 9-1: Contemporaneous Reclamation

(Modified from Washington State Department of Natural Resources, 1997, and U.S. Bureau of Land Management, 1992)

- 1) removal of topsoil;
- 2) spreading topsoil on graded wastes;
- 3) loading of overburden;
- 4) hauling of overburden;
- 5) dumping of overburden;
- 6) loading of product;
- 7) hauling of product;
- 8) reclaimed land.

9.1.2 Segmental Reclamation

In segmental reclamation, the mine site is divided into segments and the order of mining and reclamation among the segments is determined. Prior to mining, topsoil from the first segment is stockpiled. After all resources have been extracted from the first segment and the slopes have been reshaped in accordance with the reclamation plan, topsoil is stripped from the second segment and placed on the first segment and vegetation is planted. This continues until the final segment is mined, and then it is reclaimed with the stockpile of topsoil from the first segment. This reclamation strategy minimizes handling of topsoil and avoids creating large areas of unreclaimed land, but may be impractical for sites with very thin soil or where material like sand and gravel must be mixed from various parts of the mine in order to meet product specifications.

9.1.3 Post-Mining Reclamation

Post-mining reclamation is reclaiming a site after all resources have been extracted. While it may be necessary under certain circumstances, it is generally discouraged because it results in large areas being left unreclaimed for long periods of time. In post-mining reclamation, revegetation is typically slower and more expensive, stockpiled topsoils may deteriorate over time and become less fertile, and bonding liabilities are typically higher.

9.2 Reclamation BMPs

9.2.1 Preservation of Topsoil

Topsoil plays a crucial role for erosion control and is important for rehabilitation and permit requirements. Proper movement and storage of the soil is crucial for preservation and reuse.

Topsoil and other overburden should be removed separately before mining and retained for reclamation. Placing several inches of organic-rich soil over lower quality subsoil can dramatically improve the success of revegetation. If adequate topsoil is not preserved during mining, miners may need to import suitable topsoil, which can be costly. Topsoils must be properly handled and stored to preserve their porosity and biological content, including bacteria, fungi, algae, insects, and worms. Without these properties, the soil will be less helpful to revegetation. Some keys to topsoil preservation are:

- Store topsoil and other soil layers separately so they retain their characteristics and are easier to replace in the same order in which they were excavated.
- Do not strip topsoil when it is excessively wet or dry.
- Do not subject stored topsoil to excessive heavy equipment traffic.
- Storage piles should be constructed to minimize size and compaction.
- Avoid creating soil storage piles in excess of 25 feet in height.
- Do not use natural drainage ways as stockpile areas.
- Add some plant matter like grasses and chipped tree limbs to the pile to increase aeration, but not excessive amounts, as that will make the soil nitrogen deficient.
- Vegetate soil stockpiles. It is a good opportunity to do test seedings in preparation for final reclamation. Make sure seeds and plants used in revegetation are not or do not contain invasive plant species.

9.2.2 Overburden Storage

Overburden is often stockpiled for later use in reclamation backfill. This is a good practice, although long-term overburden stockpiles can contribute heavy sediment load to stormwater runoff. To avoid this, they should be:

- properly constructed for good slope stability (see Grading on page 28), and
- vegetated to prevent erosion.

9.2.3 Backfilling

Backfilling an excavated area may increase stability and help reduce erosion that otherwise might potentially affect surface water. Reducing slope angles can substantially reduce erosional effects and long term stability concerns. Backfilling can be considered when the final face heights in an excavated area are higher and steeper than permit specifications or general standards. Some guidelines for backfilling include:

- Do not backfill or approach an existing slope if stability is in question or the slope is unsafe, as it threatens worker safety.
- Keep backfill slopes at angles of 2 or more horizontal to 1 vertical.

- Unless otherwise specified, fill layers should be placed in lifts of no more than 6-9 inches and then stabilized by compacting, adding water to maintain moisture as needed. Compaction efforts can be made with equipment such as a sheep's foot roller or a smooth vibrating drum roller.
- Avoid flooding or erosion by providing good drainage with robust sediment control.
- Ideally, backfill concurrently with gravel extraction using overburden mined elsewhere on the site.
- Backfill materials may include overburden, waste rock, topsoil, clean excavation spoils from offsite, or select clean construction debris.
- Backfill materials should be free of contamination, brush, rubbish, organics, logs, stumps, and other material not suitable for stable fills.
- If previously stockpiled topsoil is used, it may need to be mixed with quality, clean fill material from sources offsite, as the moisture content of stored material may change and result in poor compaction.
- Establish healthy vegetative cover to avoid erosion (see Grading on page 28 and Vegetation on page 24).
- Use plastic sheeting, mulches, matting, or seeding with native species of grass or other vegetation to protect bare slopes against erosion or if permanent planting is delayed.

9.2.4 Benching

In reclamation, benching is a way of reducing slope lengths, enhancing stability, and facilitating revegetative efforts in soft or hard rock where bedding and structure are not prohibitively oriented. In some situations, it may be preferable to backfilling. A typical benched slope is shown in Figure 9-2. Some keys to benching are:

- Vertical bench cuts should be between 2 and 4 feet high.
- The vertical cut of the upper bench should begin immediately above the horizontal cut of the bench below.
- Benches should be horizontal and parallel to cut slopes or roadways.
- Excavation of each bench should be done in the opposite direction from the bench before, from the top of the slope to the bottom, to reduce the buildup of unconsolidated material at the side of the cut.

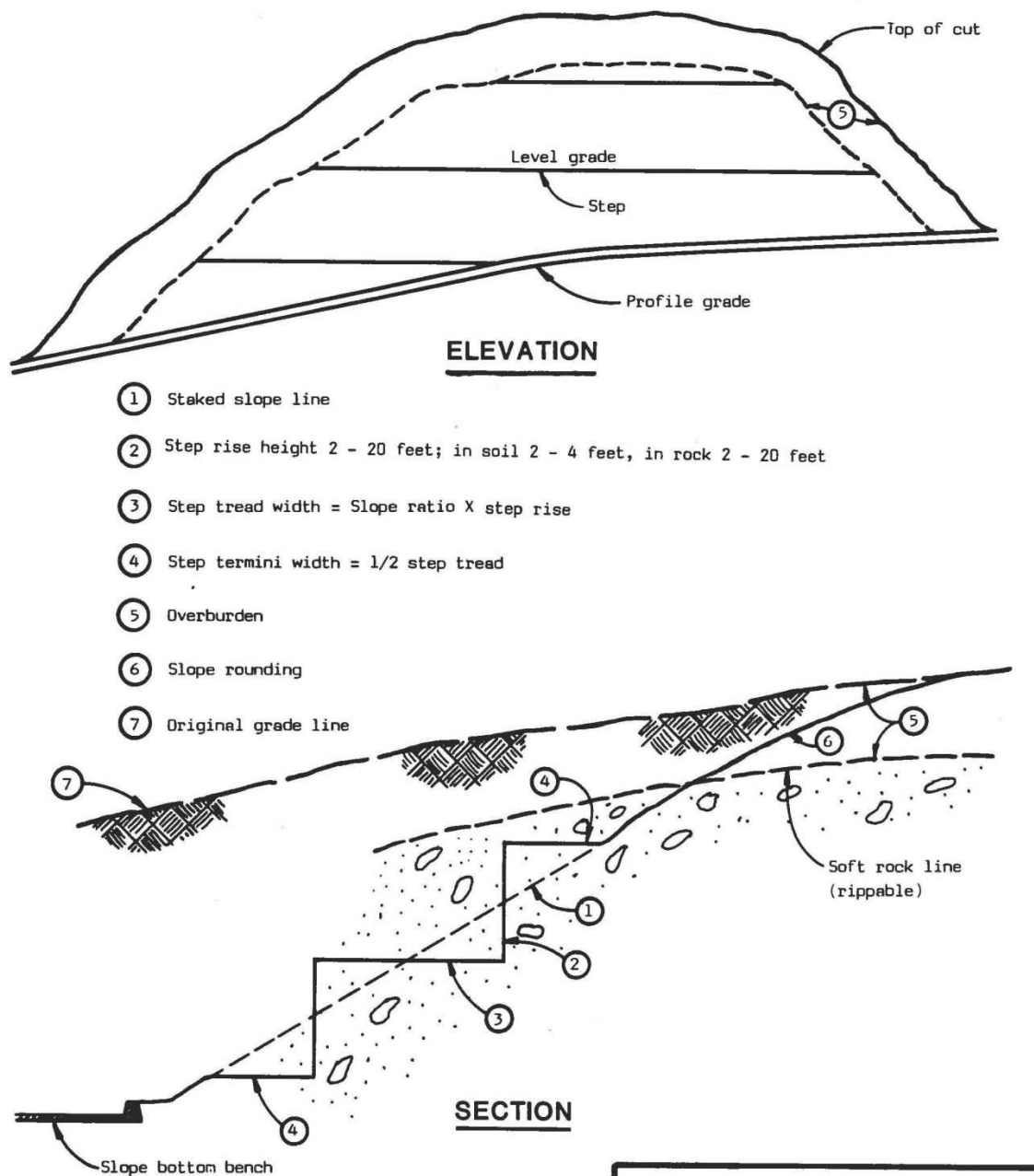


Figure 9-2: Benching Detail
(Modified from Idaho Department of Lands, 1992.)

9.2.5 Reclamation Blasting

Reclamation blasting is a technique that uses selective blasting to reclaim highwalls and benches to forms that blend in better with their surroundings. Holes are carefully placed and charged with explosive to essentially turn rock faces into scree slopes. The use of a blasting contractor familiar with this technique is highly recommended.

9.2.6 Draining Pit Floors

If desired, pit floor drainage can be improved by ripping or blasting.

- Ripping can be accomplished in soft rock or compacted soil or mine waste with vertical shanks mounted on heavy equipment.
- Blasting can be used for harder rock. It can be made into its own program, or if used in production, the last production shot can be drilled an extra 10 feet and some of the fractured material can be left in place.

Both methods will improve drainage and make it easier for roots to penetrate.

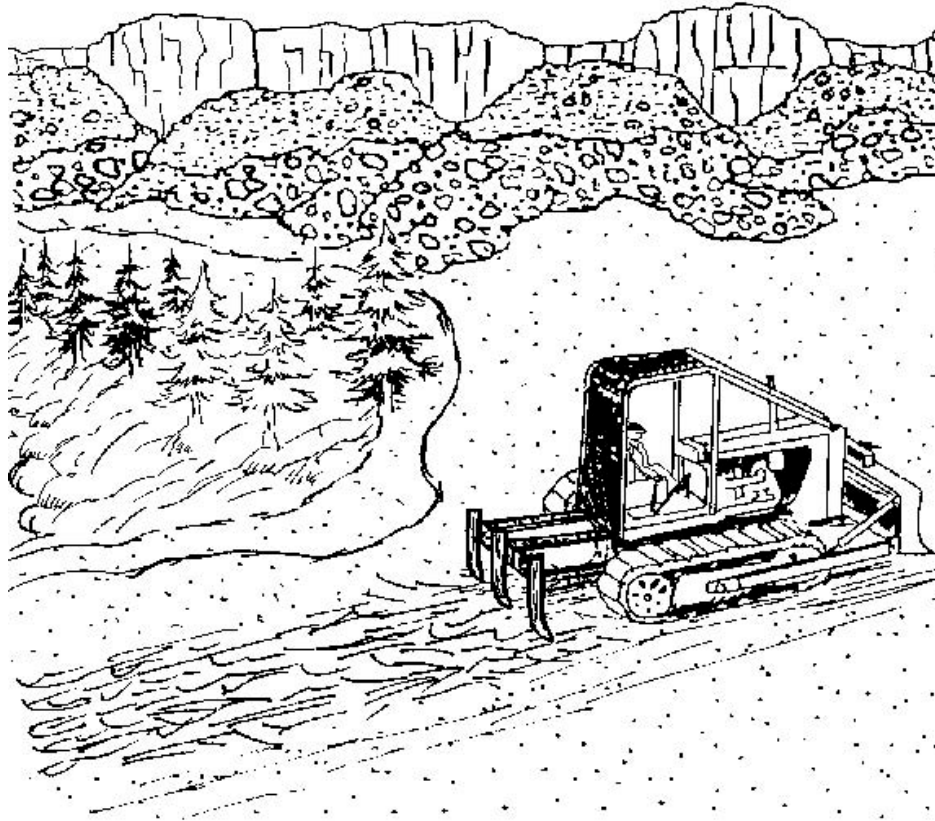


Figure 9-3: Ripping With A Dozer
(Modified from Washington State Department of Natural Resources, 1997.)

9.2.7 Topsoil Replacement

Proper replacement of topsoil on reclaimed surfaces is crucial to revegetation. Some topsoil replacement concepts are:

- Ideally, extract topsoil from its place of origin and place it directly onto an area already mined, backfilled, and graded for reclamation. In this scenario, soil is handled only once, has less moisture loss, and does not compact during storage within stockpiles
- Before spreading the topsoil, establish the erosion and sedimentation control structures such as berms, diversions, dikes, waterways, and sediment basins.

- Soil horizons in stockpiles should be placed in their original order for best results.
- Maintain grades on the areas to be topsoiled, and just before spreading the topsoil, loosen the subgrade slightly for bonding of the topsoil and subsoil.
- Do not spread topsoil when it is frozen or muddy.
- Topsoil should not be compacted.
- A minimum soil replacement depth of 12 inches is recommended for most reclamation applications.
- The minimum recommended soil depth for timber production is 4 feet over rock and 2 feet over gravel of soft overburden.
- If the volume of topsoil available for the site is low, restrict application to low areas that will conserve soil, retain moisture, and catch wind-blown seeds.
- After topsoil is placed, the soil can be analyzed to determine what soil amendments (nutrients and fertilizers) are necessary for proper vegetative growth.

9.2.8 Refuse/Soil Disposal

If excess overburden remains that will not be used in reclamation, it should be disposed of with care. It should not be placed in natural drainages, like drainage hollows on slopes, as it would be more likely to fail and impact surface water. Options for disposal may include sale as a fill material or proper construction of a permanent, vegetated stockpile.

9.2.9 Covering Acid-Forming Materials

If a site contains acid-forming materials, it has the potential to release acid mine drainage. This can be prevented during reclamation by identifying acid forming materials, isolating them, placing them on a liner (plastic or clay) and covering them with a cap (such as a clay) to prevent the chemical reaction which produces acid mine drainage (see page 19) from taking place. If exposures of acid-forming materials are left in a highwall, try to create an environment that does not result in repeated wetting and drying of the material, as these are the conditions most conducive to acid formation. In appropriate topography, a permanent impoundment with an initial addition of a buffering agent (such as lime) could be used.

9.2.10 Revegetation

Revegetation is one of the last but most important steps in mine reclamation, as it reduces erosion, reduces storm-water runoff, provides habitat for animals, and increases the value of the property. Guidance for vegetation is discussed in Chapter 7.

9.2.11 Creating Wildlife Habitat Using Ponds

Mine site reclamation often involves the creation of ponds. Ponds can easily be made into good wildlife habitat by following some general guidelines:

- Keep submerged slopes at 5 horizontal to 1 vertical or flatter to allow development of wetland plant species.
- Make the outline of ponds irregular to increase plant habitat.
- Build up islands in the ponds to provide nesting areas.
- Place structures like downed trees on the shoreline, and anchor them in place to provide fish habitat.

“North Slope Gravel Pit Performance Guidelines,” Technical Report Number 93-9, by Robert F. McLean (1993) is a useful resource regarding the creation of wildlife habitat.

9.2.12 Well Decommissioning

Wells that will no longer be used for production or monitoring should be properly decommissioned. The purpose of decommissioning wells is to prevent the unnatural migration of water between different geologic formations in the subsurface. Wells that are not properly decommissioned leave pathways for possible future contaminant transport. Typically, wells can be decommissioned by:

- Sealing them in place with a bentonite grout or cement,
- Removing them and replacing them with bentonite chips, grout, or cement, or
- Redrilling them and backfilling the redrilled hole with bentonite chips, grout, or cement.

It is important that the hole previously occupied by a well is backfilled with bentonite chips, grout, or cement, and not hole cave, as cave does not provide an adequate seal between formations. For Alaska DEC requirements, review 18 AAC 80. For monitoring wells, the Alaska DEC has published a document called *Monitoring Well Guidance*, which includes details on proper techniques for decommissioning monitoring wells.

(<http://dec.alaska.gov/spar/csp/guidance/Monitoring%20Well%20Guidance.pdf>). A well decommissioning form is available through the Alaska DNR Water Forms web site, <http://dnr.alaska.gov/mlw/forms/>.

10 REFERENCES

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Idaho Department of Lands, 1992, *Best Management Practices for Mining in Idaho*: Boise, Idaho, 158 p., available: http://www.idl.idaho.gov/bureau/minerals/bmp_manual1992/bmp_index.htm.

McLean, R.F., 1993, *North Slope Gravel Pit Performance Guidelines*, Alaska Department of Fish and Game, Technical Report Number 93-9.

Missouri Department of Natural Resources Division of Environmental Quality, 2008, *Preventing Pollution at Rock Quarries: A Guide to Environmental Compliance and Pollution Prevention for Quarries in Missouri*: Jefferson City, Mo., 42 p., available: <http://dnr.mo.gov/pubs/pub340.pdf>.

Nevada Bureau of Land Management, 2008, *Guidance for Hardrock Mining Reclamation/Closure Activities*: Reno, Nev., 44 p., available: http://www.blm.gov/pgdata/etc/medialib/blm/nv/minerals/mining.Par.2513.File.dat/Closure_Guide.pdf.

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APPENDICES

Appendix A – Definitions

Appendix B – Contact Information

Appendix C – Resources for Information

Appendix D – State and Federal Permit Requirements

Appendix E – Best Management Practice Index

Appendix A – Definitions

Below is a compilation of definitions used or pertaining to this User's Guide. Additional definitions can be found in the Alaska Water Quality Standards (18 AAC 70).

Best Management Practices (BMPs) – Schedules of activities, prohibitions of practices, maintenance procedures, and structural and/or managerial practices, that when used singly or in combination, prevent or reduce the release of pollutants and other adverse impacts to waters of the state. The types of BMPs are source control and treatment control.

Mining Operations – Typically consists of three phases, any one of which individually qualifies as a “mining activity.” The phases are the exploration and construction phase, the active phase, and the reclamation phase.

Nonpoint Source Pollution – Any source of pollution other than a point source (18 AAC 70.990(42)). Point source pollution is a discernible, confined, and discrete conveyance, including a pipe, ditch, channel, tunnel, conduit, well, container, rolling stock, or vessel or other floating craft, from which pollutants are or could be discharged (18 AAC 70.990(46)).

Reclamation – The process of returning a site to a condition that will not pose a hazard to public health and the environment.

Residues – Floating solids, debris, sludge, deposits, foam, scum, or any other material or substance remaining in a body of water as a result of direct or nearby human activity (18 AAC 70.990(49)).

Sediment – Solid material of organic or mineral origin that is transported by, suspended in, or deposited from water. Sediment includes chemical and biochemical precipitates and organic material, such as humus (18 AAC 70.990(51)).

Settleable Solids – Solid material of organic or mineral origin that is transported by and deposited from water, as measured by the volumetric Imhoff cone method and at the method detection limits specified in method 2540(F), *Standard Methods for the Examination of Water and Wastewater*, 18th edition (1992) (18 AAC 70.990(52)).

Source Control BMPs – Source control BMPs **prevent** pollution, or other adverse effects of stormwater, from occurring. Source controls can be further classified as operational or structural. Examples of source control BMPs include methods as various as using mulches and covers on disturbed soil, slope grading, land clearing practices, putting roofs over outside storage areas, and berming areas to prevent stormwater run-off and pollutant runoff.

Stormwater – Storm water runoff, snowmelt runoff, and surface runoff and drainage (MSGP 2000).

Total Suspended Solids – Solids in water that can be trapped by a filter. Total suspended solids can include a wide variety of material, such as silt, decaying plant and animal matter, industrial wastes, and sewage. High concentrations of suspended solids can cause many problems for

stream health and aquatic life and can block light from reaching submerged vegetation. As the amount of light passing through the water is reduced, photosynthesis slows down. Reduced rates of photosynthesis cause less dissolved oxygen to be released into the water by plants and possibly lead to fish kills. High total suspended solids can also cause an increase in surface water temperature, because the suspended particles absorb heat from sunlight.

Treatment Control BMPs – Treatment control BMPs include facilities or operations that remove pollutants by simple gravity settling of particulate pollutants, filtration, biological uptake, and soil adsorption. Treatment control BMPs can accomplish significant levels of pollutant load reductions if properly designed and maintained. An example of a treatment control would be a sediment basin.

Turbidity – Turbidity means an expression of the optical property that causes light to be scattered and absorbed rather than transmitted in straight lines through a water sample. Turbidity in water is caused by the presence of suspended matter such as clay, silts, finely divided organic and inorganic matter, plankton, and other microscopic organisms (18 AAC 70.990(64)).

Waters – Alaska statutes (AS) 46.03.900(36) defines waters to include lakes, bays, sounds, ponds, impounding reservoirs, springs, wells, rivers, streams, creeks, estuaries, marshes, inlets, straits, passages, canals, the Pacific Ocean, Gulf of Alaska, Bering Sea, and Arctic Ocean, in the territorial limits of the state, and all other bodies of surface or underground water, natural or artificial, public or private, inland or coastal, fresh or salt, which are wholly or partially in or bordering the state or under the jurisdiction of the state.

Appendix B – Contact Information

State and Federal Contacts

The following are state and federal contacts for additional information regarding mining and BMPs.

Alaska Department of Environmental Conservation
Drinking Water Program

<http://dec.alaska.gov/eh/dw/index.htm>

ANCHORAGE

555 Cordova Street
Anchorage, Alaska 99501
Toll Free 1-866-956-7656
907-269-7656

SOLDOTNA

43335 Kalifornsky Beach Rd Suite 11
Soldotna, AK 99669-9792
907-262-3408

FAIRBANKS

610 University Avenue
Fairbanks, AK 99709-3643
Toll Free 1-800-770-2137
907-451-2108

WASILLA

1700 E. Bogard Rd., Bldg. B Suite 103
Wasilla, AK 99654
907-376-1850

Alaska Department of Environmental Conservation
Wastewater Discharge Authorization – Storm Water Program
<http://dec.alaska.gov/water/wnpspc/stormwater/Index.htm>

ANCHORAGE

555 Cordova Street
Anchorage, AK 99501
(907) 334-2288

Alaska Department of Environmental Conservation
Nonpoint Source Water Pollution Control
<http://dec.alaska.gov/water/wnpspc/index.htm>

For TMDL information: http://dec.alaska.gov/water/tmdl/tmdl_index.htm

JUNEAU

410 Willoughby Ave., Suite 303
P.O. Box 111800
Juneau, Alaska 99801
907-465-5180

ANCHORAGE

555 Cordova Street
Anchorage, Alaska 99501
907-269-3059

FAIRBANKS

610 University Avenue
Fairbanks, AK 99709-3643
907-451-2125
907-269-3059

Alaska Department of Environmental Conservation
Contaminated Sites Program
<http://dec.alaska.gov/spar/csp/index.htm>

JUNEAU

410 Willoughby Ave., Suite 303
P.O. Box 111800
Juneau, Alaska 99801
907-465-5390

FAIRBANKS

610 University Avenue
Fairbanks, AK 99709
907-451-2143

ANCHORAGE

555 Cordova Street
Anchorage, Alaska 99501
907-269-7503

Alaska Department of Natural Resources
Division of Mining, Land & Water
550 West 7th Avenue, Suite 1260
Anchorage, Alaska 99501
907-269-8400
<http://dnr.alaska.gov/mlw/>

Alaska Department of Natural Resources
Plant Materials Center
5310 S. Bodenburg Spur
Palmer, Alaska 99645
907-745-4469
<http://plants.alaska.gov/>

Environmental Protection Agency, Region 10
NPDES Storm Water Coordinator
1200 Sixth Avenue
Seattle, WA 98101
206-553-6650
<http://yosemite.epa.gov/R10/WATER.NSF/webpage/Storm+Water?OpenDocument>

Army Corps of Engineers, Alaska District
Regulatory Branch
P.O. Box 6898
Anchorage, Alaska 99506-0898
907-753-2712
<http://www.poa.usace.army.mil/reg/>

Local Government Contacts

Contact information for local governments in major cities throughout Alaska. Please contact the local governmental organization in your area.

Fairbanks North Star Borough
809 Pioneer Road
P.O. Box 71267
Fairbanks, Alaska 99707-1267
907-459-1000
<http://www.co.fairbanks.ak.us/>

Matanuska-Susitna Borough
Land and Resource Management Division
350 East Dahlia Avenue
Palmer, Alaska 99645
907-745-4801
<http://www.matsugov.us/communitydevelopment/land-and-resource-management>

City & Borough of Juneau
Engineering Department
155 South Seward Street
Juneau, Alaska 99801
907-586-0800
<http://www.juneau.lib.ak.us/engineering/>

City & Borough of Sitka
Public Works Department
100 Lincoln Street
Sitka, Alaska 99835
907-747-1804
<http://www.cityofsitka.com/government/departments/publicworks/index.html>

Kenai Peninsula Borough
144 North Binkley
Soldotna, Alaska 99669
907-262-4441
<http://www.borough.kenai.ak.us/>

Municipality of Anchorage
Public Works Department
4700 Elmore Road
Anchorage, Alaska 99507
907-343-8120
<http://www.muni.org/departments/works/pages/default.aspx>

Appendix C – Resources for Information

BMP METHODS

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United States Department of Agriculture and Mississippi State University. (1999): Water Related BMP's in the Landscape; Watershed Science Institute. Created for the Natural Resource Conservation Service, United States Department of Agriculture by the Center for Sustainable Design Mississippi State University Departments of Landscape Architecture, Agricultural and Biological Engineering, and the College of Agriculture and Life Sciences, URL <http://abe.msstate.edu/csd/NRCS-BMPs/contents.html>, October 2001.

LOCAL BMP METHODS

City and Borough of Sitka, 2004, *A Contractor and citizen Guide to Reducing Stormwater Pollution*, June 2004.

Redburn Environmental & Regulatory Services, *Granite Creek Watershed Project Review Guidelines and Pollution Control Recommendations for Future Development*, for City and Borough of Sitka, June 2005.

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King County Washington (2009): Stormwater Pollution Prevention Manual; Department of Natural Resource, Water and Land Division, URL <http://your.kingcounty.gov/dnrp/library/water-and-land/stormwater/stormwater-pollution-prevention-manual/SPPM-Jan09.pdf>, January 2009.

Murphy, M.L. (1995): Forestry Impacts on Freshwater Habitat of Anadromous Salmonids in the Pacific Northwest and Alaska—Requirements for Protection and Restoration; NOAA Coastal Ocean Program, Decision Analysis Series No. 7, *in*. Schmitten R. A., Editor, (1996) NMFS National Gravel Extraction Policy, *U.S. Department of Commerce National Marine Fisheries Service*, URL <http://swr.ucsd.edu/hcd/gravelsw.htm>, June 2001.

North Carolina Department of Natural Resources and Community Development. (1988): Erosion and Sediment Control Planning and Design Manual; North Carolina Sediment Control Commission.

United States Department of Agriculture. (2000): Ponds--Planning, Design, and Construction; Agriculture Handbook Number 590.

United States Department of Agriculture, (1994): Planning and Design Manual for the Control of Erosion, Sediment, and Stormwater, Best Management Practice Standards.

Wright, Stoney J. and Hunt, Peggy, 2008, *A Revegetation Manual for Alaska*, Alaska Plant Materials Center, Division of Agriculture, Alaska Department of Natural Resources, 74 p.

DEWATERING INFORMATION

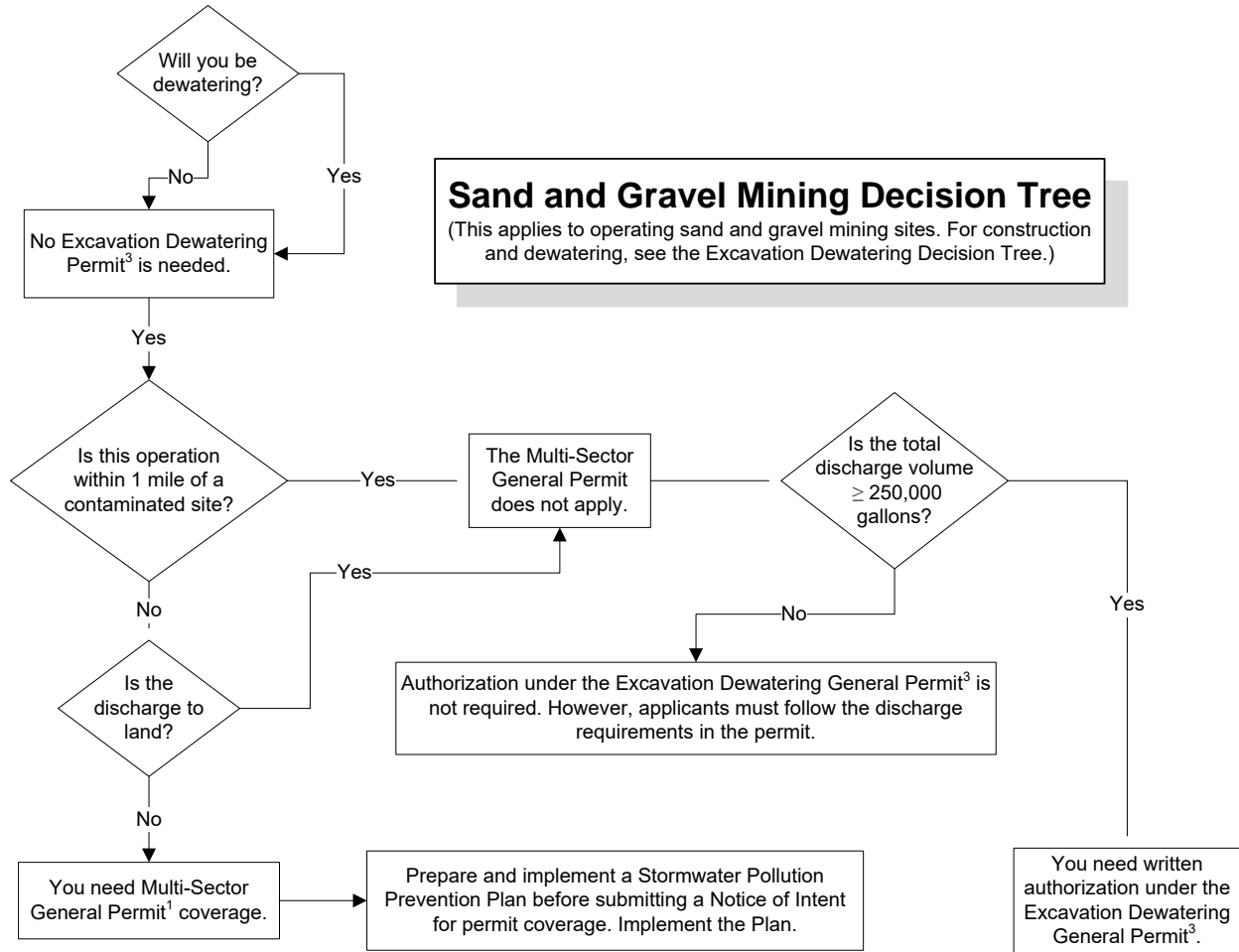
Powers, J.P., Corwin, A.B., Schmall, P.C., and Kaeck, W.E., (2007): Construction Dewatering and Groundwater Control: New Methods and Applications, Third Edition, John Wiley & Sons, Inc., Hoboken, NJ, USA.

Appendix D – State and Federal Permit Requirements

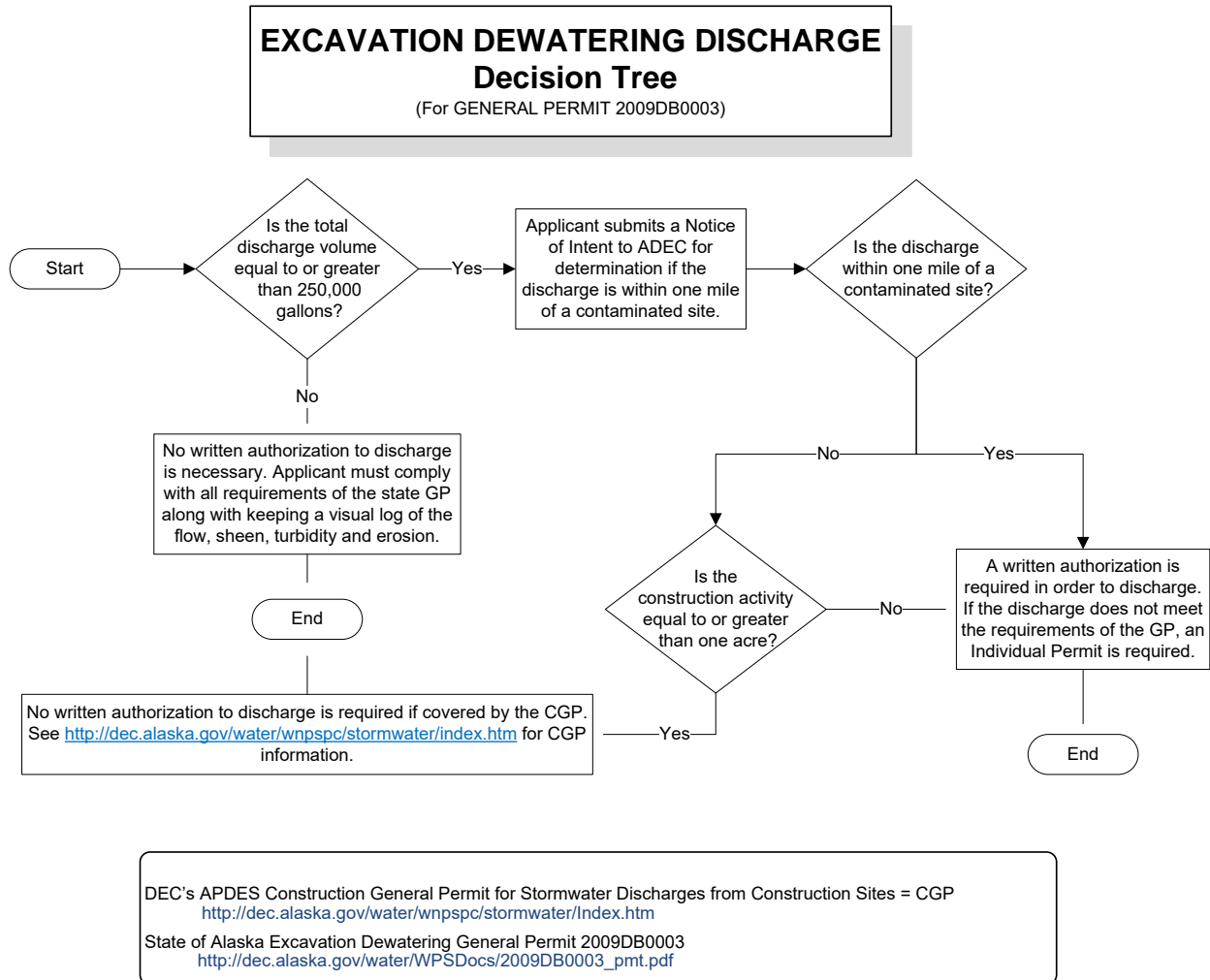
The table in this appendix provides an overview of state and federal requirements for gravel pit operations. **Not all requirements or permits might be identified or applicable.** In addition, local regulations or permits may be required. Please check with the responsible agency and local government agency to identify which apply to your operation.

Issue	Responsible Agency	Agency Requirement
Mining License	AK Dept. of Revenue	Provide copy of approved aggregate/sand & gravel mining license.
Letter of Intent	DNR	File the letter of intent required by AS 27.19.050 (b) annually on a form provided by the department before the mining begins.
Mining Permit	DNR	Provide copy of approved aggregate/sand & gravel mining permit, if extraction activity is conducted on state land.
Reclamation	DNR	Provide copy of approved state reclamation plan, if required (not required if less than 5 acres).
Water Quality – Run-off	DEC	Prepare SWPPP and submit NOI to obtain coverage under Multi-Sector general permit pursuant to APDES requirements. Dewatering discharges can be covered under DEC’s construction general permit and Multi Sector General Permit, if less than 250,000 gallons or greater than one mile from contaminated site and is not otherwise contaminated.
Water Quality – Wetlands, Lakes & Streams	US Army Corps of Engineers	Any activity in wetlands, lakes, and streams requires Corps permit.
Water Quality – Groundwater	DEC	There is no prohibition on creation of man-made lakes or dredging into the water table. Dredging taking place into water table must be conducted in compliance with DEC notice of intent for the Multi-sector General Permit or APDES requirements, and DEC requirements for storage, spills and disposal of oil, antifreeze and hydrocarbons. Creation of man-made body of water may require Corps permit.
Water Quality – Dewatering	DEC	For dewatering that exceeds a total volume of 250,000 gallons or a rate of 40 gallons per minute and is within a mile of a DEC-listed contaminated site.
Water Quantity – Dewatering	DNR	Water Use Permit may be required.
Air Quality Control	EPA DEC	EPA Air Quality Control Permit required for asphalt plant and crushers. DEC has dust control regulations; no permits are required.
Burning	DNR DEC	Combustibles must be stockpiled separate from non-combustibles. Burning permit required from DNR. Burning must be conducted in compliance with DEC air quality standards.
Hazardous Materials	EPA	Use of hazardous material regulated by EPA standards.
Oil, Antifreeze & Hydrocarbon Storage (<1,200 gal.), Spills & Disposal	DEC	Regulated by DEC Oil and Hazardous Substances Pollution Control Regulation (18 AAC 75).
Oil, Antifreeze & Hydrocarbon Storage (>1,200 gal.), Spills & Disposal	EPA	Regulated by EPA standards.
Explosives – Storage and Use	FBATFE	Regulated by FBATFE.

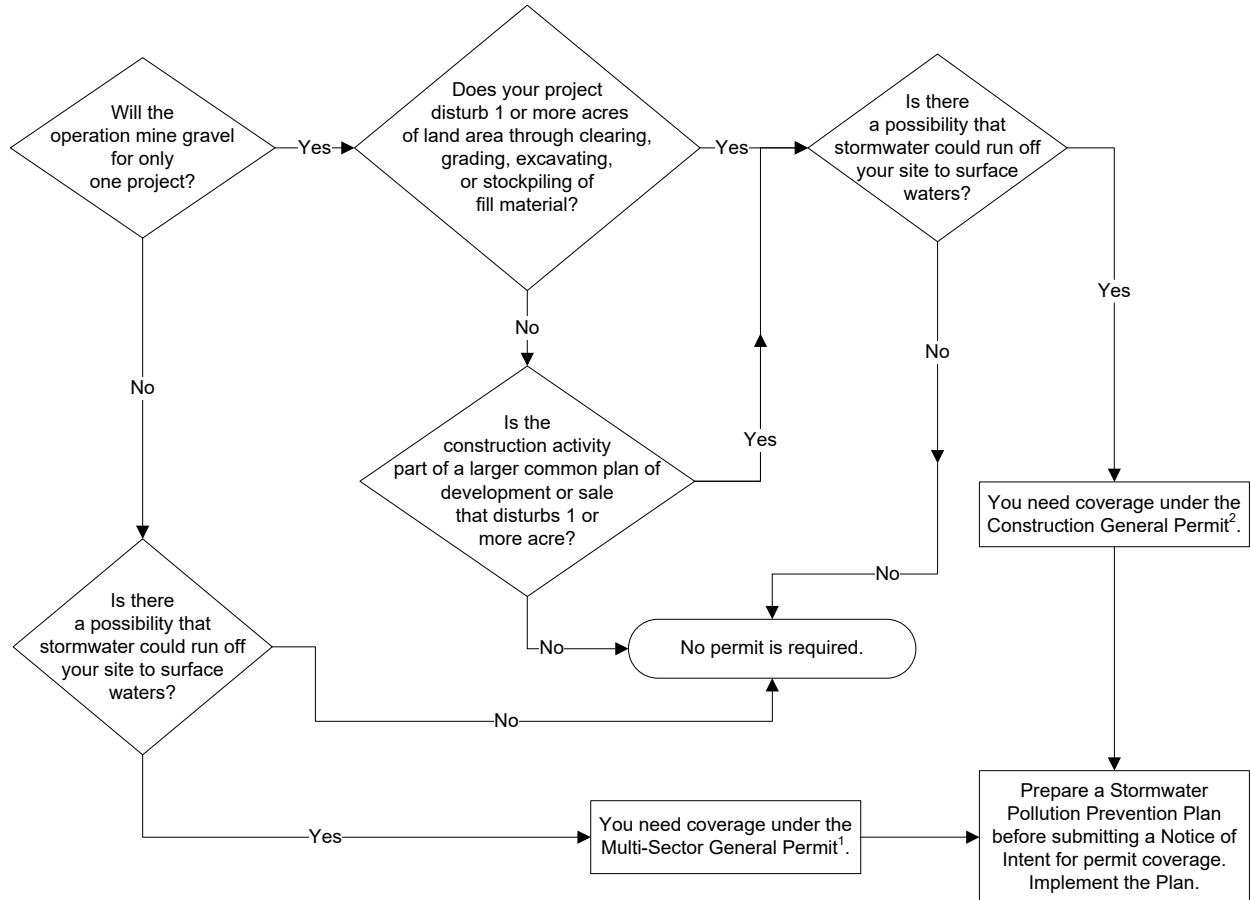
Issue	Responsible Agency	Agency Requirement
Revised – June 2012. Key: DNR = Alaska Department of Natural Resources DEC = Alaska Department of Environmental Conservation EPA = United States Environmental Protection Agency APDES = Alaska Pollutant Discharge Elimination System FBATFE = Federal Bureau of Alcohol, Tobacco, Firearms & Explosives		



- 1 – DEC's APDES Multi Sector General Permit for Stormwater Discharges from Industrial Activities = MSGP
<http://dec.alaska.gov/water/wnpspc/stormwater/MultiSector.htm>
- 2 – DEC's APDES Construction General Permit for Stormwater Discharges from Construction Sites = CGP
<http://dec.alaska.gov/water/wnpspc/stormwater/Index.htm>
- 3 – State of Alaska Excavation Dewatering General Permit 2009DB0003
http://dec.alaska.gov/water/WPSDocs/2009DB0003_pmt.pdf

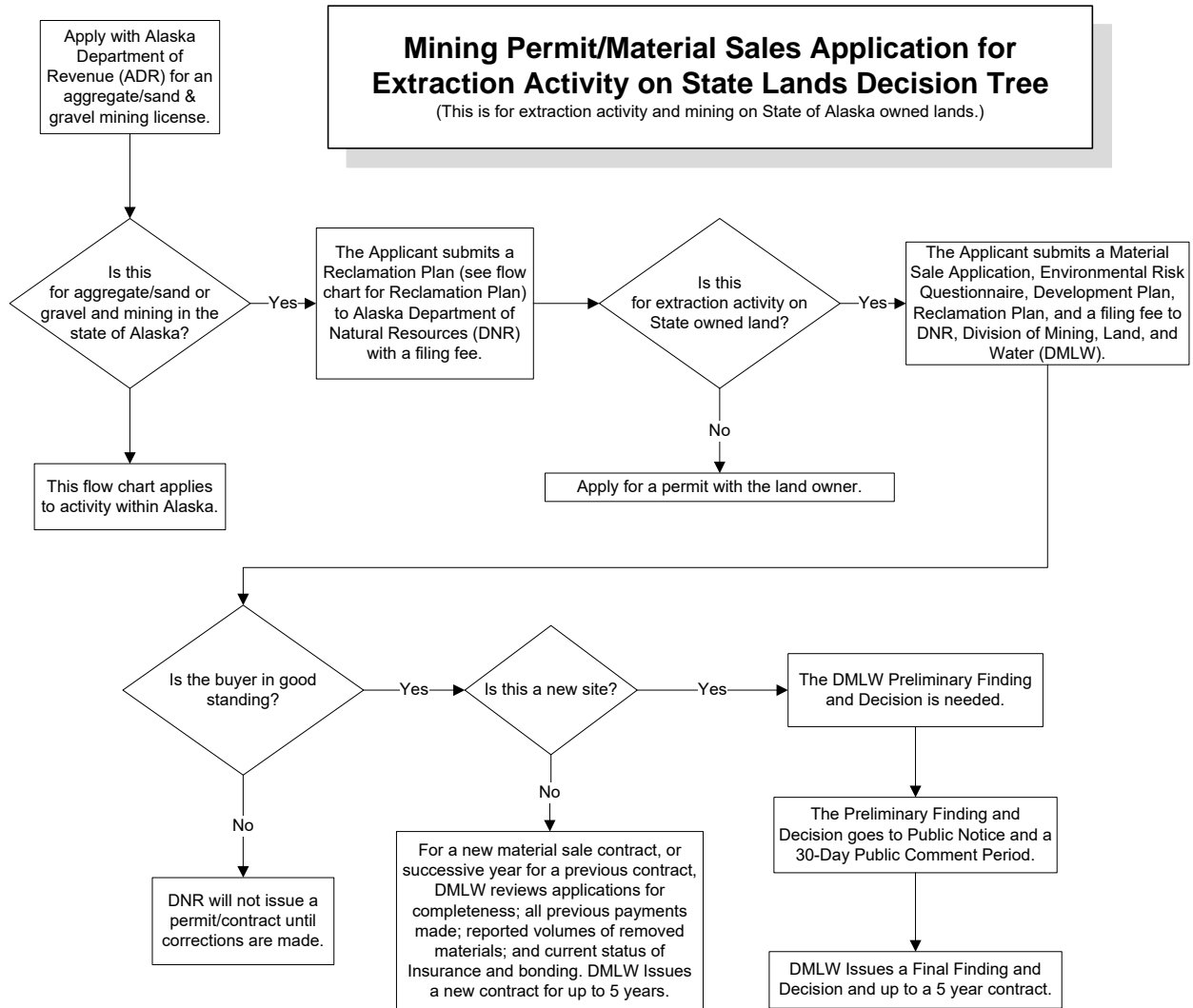


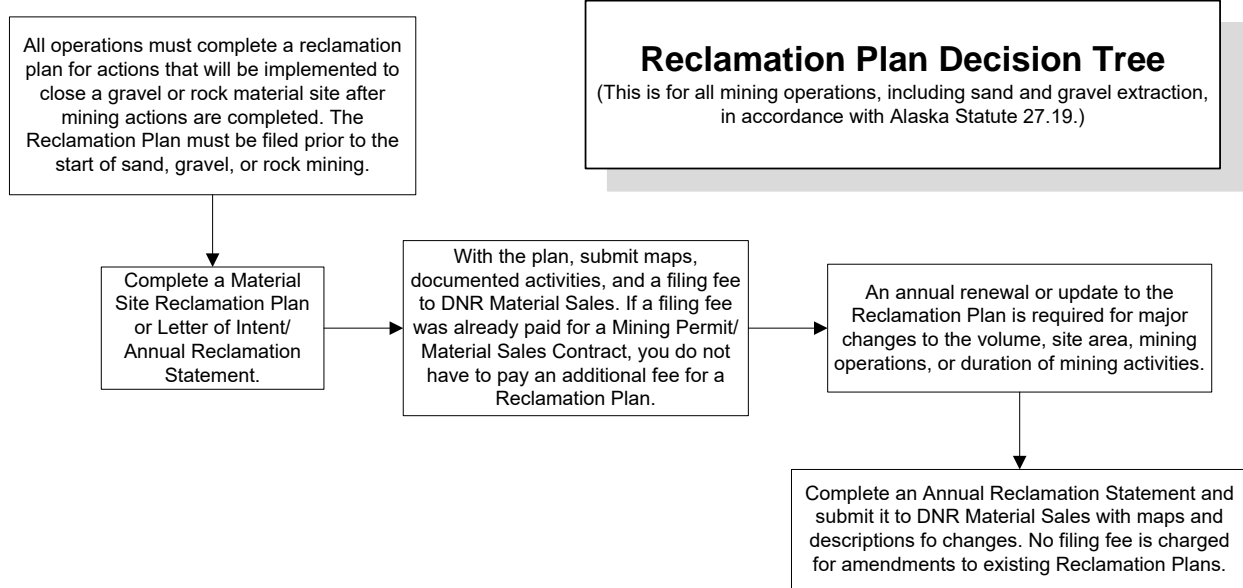
Alaska Pollutant Discharge Elimination System (APDES) Permit Decision Tree



1 – DEC's APDES Multi Sector General Permit for Stormwater Discharges from Industrial Activities = MSGP
<http://dec.alaska.gov/water/wnpspc/stormwater/MultiSector.htm>

2 – DEC's APDES Construction General Permit for Stormwater Discharges from Construction Sites = CGP
<http://dec.alaska.gov/water/wnpspc/stormwater/Index.htm>





Appendix E – Best Management Practice Index

This appendix presents an alphabetical index of best management practices found within this manual. These BMPs have been selected for specific application to mining operations in Alaska. There are, however, many "general reference" BMPs that can also be useful. Recommended websites include the following:

National Menu of Best Management Practices for Stormwater Phase II, United States Environmental Protection Agency,

<http://cfpub.epa.gov/npdes/stormwater/menuofbmps/menu.cfm>, December 1999;

Water Related BMP's in the Landscape, Watershed Science Institute,

<http://www.abe.msstate.edu/csd/NRCS-BMPs/>, October 2001;

Stormwater Management Manual for Western Washington, Volumes 1-5 Washington State Department of Ecology, <http://www.ecy.wa.gov/biblio/99111.html>, June 2001.

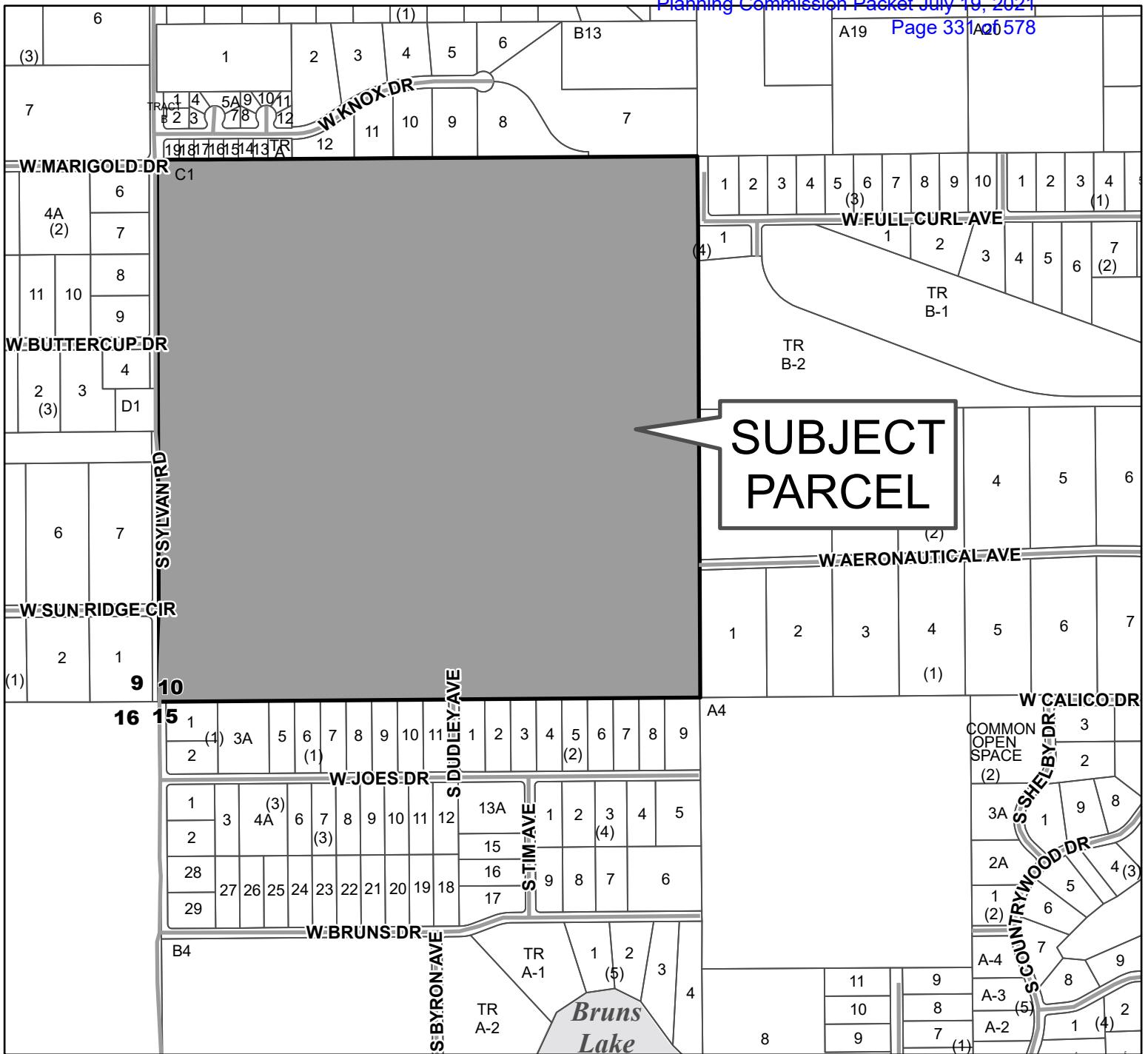
Also see Appendix C– Resources for Information.

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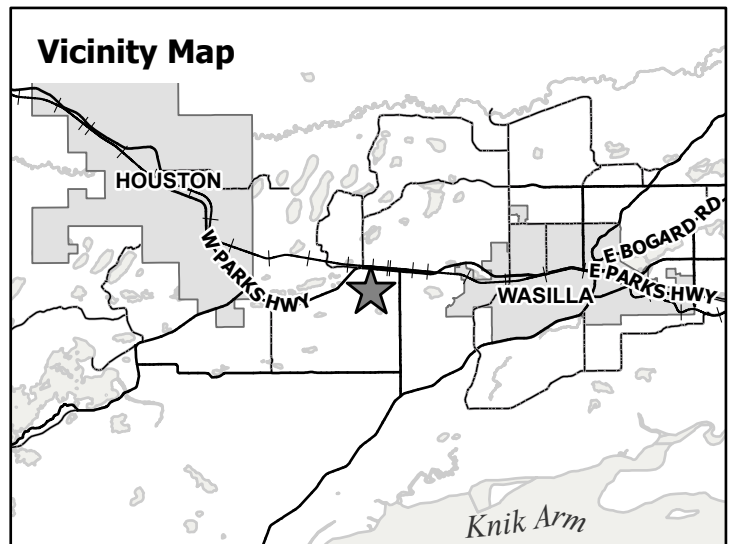
VICINITY MAP



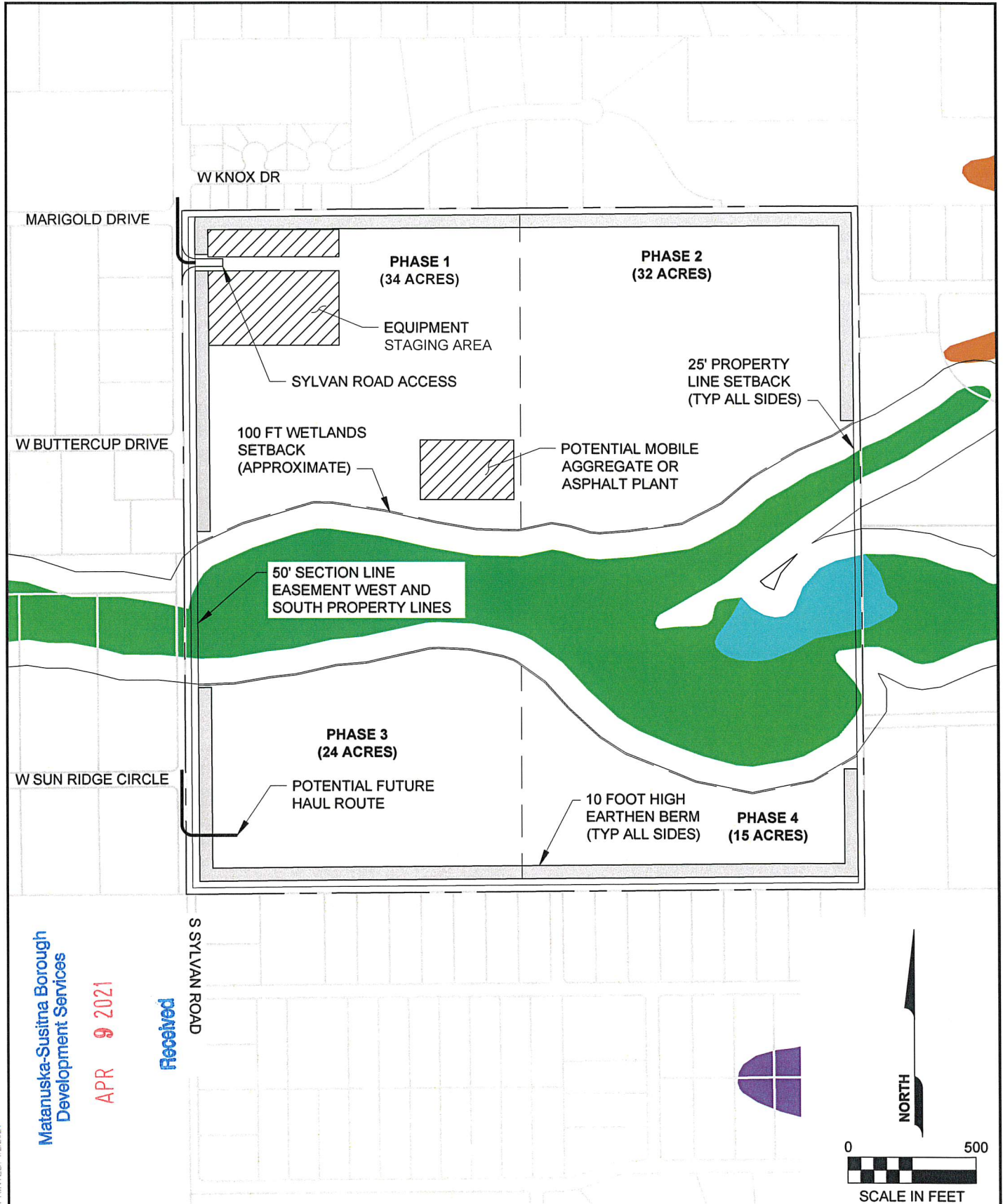
17N02W10C001



This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7858.



SITE PLAN



937 SOUTH SYLVAN ROAD CONDITIONAL USE PERMIT

SITE PLAN

WASILLA, ALASKA

DATE:	03/26/2021	DRAWN BY:	SM	SHEET:	FIGURE 2
SCALE:	AS SHOWN	CHECKED BY:	EM	JOB No:	05-2019.01

APPLICATION MATERIAL

**MATANUSKA-SUSITNA BOROUGH
APPLICATION FOR A CONDITIONAL USE PERMIT
FOR EARTH MATERIALS EXTRACTION**

937 SOUTH SYLVAN ROAD, WASILLA

FEBRUARY 22, 2021

CONTENTS:

APPLICATION

PERMIT FEE CHECK

ATTACHMENT A: SITE DEVELOPMENT PLAN, FIGURES 1-6

ATTACHMENT B: LANDOWNER PERMISSION

ATTACHMENT C: STATE OF ALASKA MATERIAL SITE RECLAMATION PLAN



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822 • Fax (907) 861-8158

Email: permitcenter@matsugov.us

APPLICATION FOR A CONDITIONAL USE PERMIT FOR EARTH MATERIALS EXTRACTION – MSB 17.30

Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Incomplete applications will not be processed.

THIS APPLICATION IS FOR MATERIALS EXTRACTION THAT DOES NOT OCCUR WITHIN FOUR FEET OF THE SEASONAL HIGH WATER TABLE. IF YOUR PLAN INCLUDES EXTRACTION WITHIN FOUR FEET OF THE SEASONAL HIGH WATER TABLE YOU MUST COMPLETE THE APPLICATION SPECIFIC TO THAT PURPOSE.

Application fee must be attached, check one:

☐ \$500 for Administrative Permit (Less than two years or less than 7,000cy annually)

☒ \$1,000 for Conditional Use Permit (More than two years and more than 7,000cy annually)

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Applicants will be provided with a statement of advertising and mailing charges. Payment must be made prior to the application presentation before the Borough Planning Commission.

Subject Property: Township: 17N, Range: 02W, Section: 10, Meridian: Seward
MSB Tax ID# 17N02W10C001

SUBDIVISION: _____ BLOCK(S): _____, LOT(S): C1

STREET ADDRESS: _____

FACILITY / BUSINESS NAME: COLASKA INC. (QAP)

Ownership: A written authorization by the owner must be attached for an agent or contact person, if the owner is using one for the application. Is authorization attached? ☒ **Yes** ☐ **No** ☐ **N/A**

Name of Property Owner

Alaska Mental Health Trust Authority

Mailing: 2600 Cordova Street

Anchorage, AK 99503

Phone: Hm _____ Fax _____

Wk (907) 269-8658 Cell (907) 269-8657

E-mail Hollie.chalup@alaska.gov

Name of Agent / Contact for application

UMIAQ Environmental

Mailing: 6700 Arctic Spur Road

Anchorage, AK 99518

Phone: Hm _____ Fax _____

Wk (907) 677-8288 Cell (907) 952-7807

E-mail Emily.McDonald@UICCS.com

Description What type(s) of material is being extracted? Sand and gravel

Total acreage area of all parcels on which the activity will occur: 160 acres

Total acreage area of earth material extraction activity: 105 acres

Total cubic yards extraction per year: 50,000 cubic yards

Total projected cubic yards to be extracted: 2,000,000 cubic yards

What is the estimated final year extraction will occur? 2041

Required information

1. Attach a plan of sufficient detail to demonstrate compliance with the requirements of MSB 17.28.050 and MSB 17.28.060.

Plan of Operation	Attached
Provide seasonal start and end dates	✓
Provide days of the week operations will take place.	✓
Provide hours of operation.	✓
Estimated end date of extraction	✓
Estimated end date of reclamation	✓
Describe all other uses occurring on the site	✓
Describe methods used to prevent problems on adjacent properties, such as lateral support (steep slopes), water quality, drainage, flooding, dust control and maintenance of roads; how will the operation monitor the seasonal high water table to stay at least four feet above it	✓
Provide quantity estimates and topographical information such as cross section drawings depicting depth of excavation, slopes and estimated final grade	✓

2. Submit a site plan. Drawings must be detailed and **drawn to scale**. Drawings under seal of an engineer or surveyor are recommended but not required.

SITE PLAN REQUIREMENTS	Attached
Identify location of permanent and semi-permanent structures on the site for verification of setback requirements. Include wells and septic systems.	✓
Depict buffer areas, driveways, dedicated public access easements, and noise buffers (such as fences, berms or retained vegetated areas), and drainage control such as ditches, settling ponds etc.	✓
Identify wetlands and waterbodies on site and within one mile	✓
Identify existing surrounding land uses within one mile	✓
Identify surrounding property ownership (i.e. public vs. private) within one mile of exterior boundaries	✓
Show entire area intended for gravel/material extraction activity and the boundary of the lot(s) containing the operation. Identify areas used for past and future phases of the activity. Identify phases of proposed mining activities including a map showing the area to be mined, a description of the topography and vegetation, approximate time sequence for mining at particular locations, and general anticipated location of semi-permanent equipment such as conveyor belts, crushers, dredges, batch plants, etc.	✓

Road and access plan that includes anticipated routes and traffic volumes. If the level of activity exceeds the minimum levels specified in MSB 17.61.090, traffic standards, a traffic control plan consistent with state regulations may be required	✓
Visual screening measures that include a detailed description of the type of visual screening to be utilized. Visual screening may include, but is not limited to, berms, natural vegetation, solid fences, walls, evergreen hedges or other means as approved by the commission	✓
Noise mitigation measures that include a description of measures to be taken by the applicant to mitigate or lessen noise impacts to surrounding properties. Measures shall include, but not be limited to, hours of operation of noise-producing equipment, erecting noise barriers (i.e., berms a minimum of 10 feet in height) between noise-producing equipment and adjacent uses, location of noise-producing equipment (i.e., below grade in excavated pit areas), and measures to utilize equipment with noise reduction features	✓
Proposed lighting plan	✓
Other (as required by MSB Planning Department)	

3. Submit a reclamation plan including the following:

Reclamation Plan	Attached
Provided timeline for reclamation at particular locations and that is in compliance with MSB 17.28.067	✓
Provide copy of reclamation financial assurance filed with the State of Alaska (If exempt, provide qualifying documents for exemption)	✓

4. Submit documentation of compliance with borough, state and federal laws:

COMPLIANCE WITH BOROUGH, STATE AND FEDERAL LAWS	Applied for (list file #)	Attached (list file #) or N/A
Mining license as required by the Alaska State Department of Revenue, pursuant to A.S.42.65	✓	Attachment C
Mining permit as required by the Alaska State Department of Natural Resources (ADNR) if extraction activities are to take place on state land	✓	N/A
Reclamation plan as required by ADNR, pursuant to A.S. 27.19	✓	Attachment C
Notice of intent (NOI) for construction general permit or multi-sector general permit and storm water pollution prevention plan, and other associated permits or plans required by the Environmental Protection Agency (EPA) pursuant to the National Pollutant Discharge Elimination System (NPDES) requirements	✓	
United States Army Corps of Engineers permit pursuant to Section 404 of the Clean Water Act, 33 U.S.C. 1344, if material extraction activity is to take place within wetlands, lakes and streams.		N/A
Other (Such as, driveway / access permits. List as appropriate.)		

OWNER'S STATEMENT: I am owner or authorized agent of the following property:

MSB Tax account #(s) 17N02W10C001 and, I hereby apply for approval of conditional use permit for earth material extraction activities on the property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.28, MSB 17.30 and with all other applicable borough, state and federal laws, including but not limited to, air quality, water quality, and use and storage of hazardous materials, waste and explosives, per MSB 17.30.055.


I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorizations may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

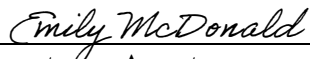
I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I understand that this permit may transfer to subsequent owners of this land and that it is my responsibility to disclose the requirements of this status to operators on this property, and to the buyer when I sell the land. Additionally, I agree to comply with 17.30.120 Transfer of Conditional Use Permit, in the event this permit is transferred to a subsequent property owner.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

	Patrick Cummins, QAP, For AMHTA	February 19, 2021
Signature: Property Owner	Printed Name	Date

	Emily McDonald	February 19, 2021
Signature: Agent	Printed Name	Date



April 7, 2021

Matanuska-Susitna Borough
Development Services

APR 9 2021

Received

Mark Whisenhunt
Planner II
Matanuska-Susitna Borough
350 East Dahlia Avenue
Palmer, AK 99645

Re: Conditional Use Permit Application – Response to Request for Required Information
Tax ID 17N02W10C001 (160-Acre Parcel, No address)

Dear Mr. Whisenhunt:

In response to your letter dated March 23, 2021 requesting information to process QAP's Conditional Use Permit application for earth materials extraction at the parcel identified above, please see information requested below, and attached updated site development plan narrative and figure packet. Also included for your use is the MS Word document of the narrative, with tracked changes from the original submittal.

1. Our data indicates there are more wetlands to consider on the subject property – see attached map. Please address this topic in the narrative and site plan.
Cook Inlet wetlands as identified by the Mat-Su Borough have been updated in the development plan narrative, added to the Site Plan (Figure 2), and the Wetlands Map (Figure 4).

2. There appears to be 50-foot section line easements along the west and south lot lines. They are not shown or considered in the proposed use. The easements will likely change the acreage of the proposed mining area listed on the application, narrative, and site plan. The section line easements have been added to the west and south lot lines of the Site Plan. The acreage of the proposed mining area has been updated in the narrative.

3. A driveway permit is required for the proposed access. Will the Sylvan access be the only site access for the proposed use?
Sylvan Road is proposed as the only access to the property. QAP has begun work on the driveway permit application and submittal is pending.

4. Provide detailed information showing how the access will be designed to prevent trucks from using the oncoming lane to enter the roadway.
Section 1.0 of the attached narrative, second paragraph, has been updated to include:
Proposed driveway access located on the northwestern corner of the parcel is approximately 30 feet in width to accommodate safe entry and exit of haul trucks and vehicles. The driveway will be angled to allow haul trucks to enter the roadway without crossing into the oncoming traffic lane, while ensuring driver line of sight to the south.

5. The 25-foot vegetated buffer along the east and west property line is insufficient visual screening/noise mitigation. For areas being mined within 300 feet of the property line, an

Mat-Su Borough
7 April 2021
Page 2

earthen berm, wall, or the like shall be at least 10 feet in height.
An earthen berm has been added to the Site Plan on all sides of the material source.

6. Please provide the estimated final depth of extraction.

Section 1.0 of the attached narrative, final paragraph, has been edited to read:
Depth to water table will be measured two or more times annually using test holes near proposed extraction areas to ensure extraction depth remains a minimum of four feet above the seasonal high water table. Test holes advanced to approximately 10-15 feet below ground surface did not encounter water. Local well data has been reviewed for this location, and the estimated depth of extraction is anticipated to be 20-30 feet below ground surface. Excavation depth will vary across the parcel in response to subsurface conditions and to ensure efficiency of gravel operation.

7. Clarify the proposed traffic generation. One truck load (a.k.a. "round trip," entering the site and then exiting) is two trips. So 500 loads would equal 1,000 trips.

Section 2.0 of the attached narrative has been updated to include:
Traffic from gravel haul will not be continuous; it will instead be seasonal and project-specific. There is potential for occasional local demand requiring a large haul out of approximately 500 trucks, or 1000 trips, a day. This is not the average but the anticipated maximum.

8. Please provide more details on the proposed noise mitigation measures. See MSB 17.28.060(A)(5).

Section 2.0 of the attached narrative has been edited to read:
Noise mitigation measures include a 10-foot tall earthen berm constructed around the perimeter of the material site. Property line easements and wetlands setback areas will remain vegetated and undisturbed to provide noise dampening to adjacent properties. The hours of operations for rock crushing and screening activities will be limited to the hours of 7am – 7pm to reduce noise to mitigate noise impacts to surrounding properties. This project will supply gravel for Alaska Department of Transportation and Public Facilities (ADOT) community roadways, and follow project-specific specifications for gravel haul, determined by the State for the safety and convenience of the public. QAP will utilize equipment with noise reduction features including proximity backup alarms, activated only when objects are within proximity of equipment sensor while backing.

9. Site Plan:

a. The mining boundary is not clear.

The Site Plan has been updated to clarify mining boundary.

b. Show phases and the estimated timeline for mining the phases.

The Site Plan has been updated to include proposed phases, and Section 1.0 of the attached narrative has been edited to read:

Extraction is proposed in four phases. Phase 1 encompasses approximately 34 acres, and Phase 2 is approximately 32 acres. The exact acreage will be confirmed after delineation of wetlands and wetlands setback. Phases 1 and 2 are anticipated to take one year each, with 50,000 cy being extracted in that time. Phases 1 and 2 will provide gravel for Parks Highway upgrades.

Upon completion of extraction in Phases 1 and 2, Phase 3 will be opened for extraction. Access to Phases 3 and 4 may require a second Sylvan Road driveway access, south of the intersection with West Sun Ridge Circle, to ensure wetlands remain undisturbed. The need for a second driveway will be determined after field-verification of property wetlands by a professional wetlands

Mat-Su Borough
7 April 2021
Page 3

scientist and delineation of 100' wetlands setback. Should a second driveway be required, only one driveway will be utilized for gravel haul at a time.

Phase 3 encompasses approximately 24 acres. Approximately 10,000 cy of gravel will be extracted annually for an estimated 5 years or until available resource is depleted. Phase 4 encompasses approximately 15 acres, and extraction is proposed in a similar fashion to phase 3, with approximately 10,000 cy extracted annually for an estimated 3 years or until available resource is depleted. Market conditions and planned projects will dictate demand. Annual extraction amounts in Phases 3 and 4 may increase to accommodate community infrastructure projects.

c. Provide anticipated haul routes.

The Site Plan has been updated to include anticipated haul routes.

Thank you for your request and assistance with obtaining wetlands data. Please do not hesitate to reach out if additional information or clarification is required. We look forward to getting on the hearing schedule.

Sincerely,

Emily McDonald
Environmental Specialist

Attachments: Site development plan narrative and figure packet

cc: Patrick Cummins, QAP

**APPLICATION FOR A CONDITIONAL USE PERMIT
FOR EARTH MATERIALS EXTRACTION**

Matanuska-Susitna Borough
Development Services

**937 S. SYLVAN ROAD, WASILLA
SITE DEVELOPMENT PLAN**

APR 9 2021

Received

The following information is an attachment to an application for Earth Materials Extraction activities under Matanuska-Susitna (Mat-Su) Borough 17.30, Conditional Use Permit. Figures 1-6 are included to accompany the application.

Location

The project site is located on the East side of S. Sylvan Road (Rd.) approximately ½ mile south of the Parks Highway, in Wasilla, Alaska. See location map, Figure 1. This plan applies to the following parcels of land:

- ❖ MTRS: Seward, T17N, R02W, Section 10
- ❖ Tax ID: 17N02W10C001
- ❖ Parcel ID# 45743

Landowner Information

The landowner is the Alaska Mental Health Trust Authority (AMHTA) who has leased the property to Colaska, Inc., doing business as QAP, for purposes of material extraction. Attached please find a letter from AMHTA authorizing QAP to apply for and acquire permits or authorizations from the Mat-Su Borough for purposes of lawfully conducting material mining on the subject parcel (Attachment B)

1.0 Plan of Operation (MSB 17.28.050 & MSN 17.28.060)

The site of the proposed S. Sylvan Road material source is 160 acres, and is currently undeveloped. Vegetation at the site includes mixed spruce forest, birch, and cottonwood. The site is relatively flat with approximately 50 feet of relief. See topographic map, Figure 2. The site is bounded by residential properties to the North, South, and East. To the West is a mix of residential and commercial properties. No other uses are planned to occur on site.

Access to the site is currently a trail from S. Sylvan Road. Development of a driveway access onto S. Sylvan Road is proposed, and a driveway permit application is in development. The driveway would be gated and locked to prevent unauthorized access into the material source. Proposed driveway access located on the northwestern corner of the parcel is approximately 30 feet in width to accommodate safe entry and exit of haul trucks and vehicles. The driveway will be angled to allow haul trucks to enter the roadway without crossing into the oncoming traffic lane, while ensuring driver line of sight to the south.

Dust will be managed by spraying roads and travelled areas with a water truck as needed, and by implementing a site-specific Storm Water Pollution Prevention Plan (SWPPP). The side slopes and floor of the material source will be graded such that storm water and sediments

do not run off site. Limited snow plowing during winter months may take place but is not anticipated.

Current and near-future work requiring sand and gravel on the Parks Highway is the demand for development of the S. Sylvan Road material source. Site clearing and extraction is scheduled to begin in spring 2021, pending receipt of permits.

Operations at the material source will be concentrated between March and October, but may occur year-round, 24-hours per day, and 7 days a week to accommodate project needs. State highway projects commonly schedule construction to occur at night to minimize traffic and safety impacts. Crushing and screening operations will be limited to 7am - 7pm.

Prior to beginning extraction at a phase, each face will be stripped of organics and surface soils. Overburden will be stored on site on non-expandable slopes and used as needed for reclamation. The general sequence of events proposed at the material source is as follows:

1. Take photographs of the site.
2. Survey and locate property corners.
3. Set grade stakes for excavation.
4. Set up construction signs.
5. Grub & stockpile overburden.
6. Begin excavation using an excavator and loaders.
7. Continue the process until sand and gravel is removed.
8. Reclamation.
9. Remove construction signs
10. Take photographs of reclaimed area.

An estimated two million (cy) of usable material is on site, to be confirmed based on subsurface conditions. A cross-section survey will be used to compute the quantity of material removed and replaced. Extraction is proposed in four phases. Phase 1 encompasses approximately 34 acres, and Phase 2 is approximately 32 acres. The exact acreage will be confirmed after delineation of wetlands and wetlands setback. Phases 1 and 2 are anticipated to take one year each, with 50,000 cy being extracted in that time. Phases 1 and 2 will provide gravel for Parks Highway upgrades.

Upon completion of extraction in Phases 1 and 2, Phase 3 will be opened for extraction. Access to Phases 3 and 4 may require a second Sylvan Road driveway access, south of the intersection with West Sun Ridge Circle, to ensure wetlands remain undisturbed. The need for a second driveway will be determined after field-verification of property wetlands by a professional wetlands scientist and delineation of 100' wetlands setback. Should a second driveway be required, only one driveway will be utilized for gravel haul at a time.

Phase 3 encompasses approximately 24 acres. Approximately 10,000 cy of gravel will be extracted annually for an estimated 5 years or until available resource is depleted. Phase 4 encompasses approximately 15 acres, and extraction is proposed in a similar fashion to phase 3, with approximately 10,000 cy extracted annually for an estimated 3 years or until available resource is depleted. Market conditions and planned projects will dictate demand. Annual

extraction amounts in Phases 3 and 4 may increase to accommodate community infrastructure projects.

Reclamation will occur annually in practical locations where mining operations are complete, and at the end of each phase. The final year of mining is anticipated to be 2041, and final reclamation of the site will be completed at that time.

Adjacent properties will be separated by a vegetated 25-foot property line setback and 10' tall earthen berm on all sides. A 100-foot setback from wetlands and waterways will remain undisturbed in accordance with Mat-Su Borough Code 17.28.070. Section line easements, 50-foot in width along the west and south property boundaries, will remain open and access will not be restricted. The mining area includes portions of section line easements that are not within property line setbacks, and inside of the earthen berm.

QAP is experienced at monitoring the seasonal high water table in this region. Depth to water table will be measured two or more times annually using test holes near proposed extraction areas to ensure extraction depth remains a minimum of four feet above the seasonal high water table. Test holes advanced to approximately 10-15 feet below ground surface did not encounter water. Local well data has been reviewed for this location, and the estimated depth of extraction is anticipated to be 20-30 feet below ground surface. Excavation depth will vary across the parcel in response to subsurface conditions and to ensure efficiency of gravel operation.

2.0 Site Plan

The proposed site plan is included on Figure 3. Wetlands and waterbodies within one mile of the site are shown on Figure 4. Property ownership and use within one mile of the site are shown on Figure 5. All easement information is from MSB tax maps. No utilities are known to exist on the parcel.

Development of the site does not include any permanent structures. A portable asphalt plant and/or portable aggregate crushing plant may be temporarily setup on timber and block footings. A portable job office trailer and trucks scales may also be utilized temporarily on site. Power will be provided by a temporary transformer for the portable asphalt plant and office trailer by Matanuska Electric Association (MEA). Portable structures will be removed prior to vacating the property.

Setbacks from property lines (25 feet) and field-verified wetlands (100 feet) will be marked, and extraction will not occur in setback areas. Section line easements, 50-foot in width along the west and south property boundaries, will remain open and access will not be restricted. The mining area encompasses approximately 105 of the parcel's 160 acres.

Vehicle traffic on and off the site will consist of employee vehicles and haul trucks. Traffic from gravel haul will not be continuous; it will instead be seasonal and project-specific. There is potential for occasional local demand requiring a large haul out of approximately 500 trucks, or 1000 trips, a day. This is not the average but the anticipated maximum. Traffic generated will comply with Mat-Su Borough Code 17.61.090, Traffic Standards. Equipment to be used in mining includes, but is not limited to:

- Caterpillar D8 Dozer
- Caterpillar D10 Dozer
- Hitachi ZX450 Excavator
- Caterpillar 980 Loader
- Caterpillar 988 Loader
- Water Truck
- Caterpillar 14 Grader

Visual screening measures proposed include a 10-foot tall earthen berm constructed around the perimeter of the material site to provide cover to adjacent residential properties. In addition, property line setback and wetlands setback areas will remain vegetated and will provide visual screening through woody brush.

Noise mitigation measures include a 10-foot tall earthen berm constructed around the perimeter of the material site. Property line easements and wetlands setback areas will remain vegetated and undisturbed to provide noise dampening to adjacent properties. The hours of operations for rock crushing and screening activities will be limited to the hours of 7am – 7pm to reduce noise to mitigate noise impacts to surrounding properties. This project will supply gravel for Alaska Department of Transportation and Public Facilities (ADOT) community roadways, and follow project-specific specifications for gravel haul, determined by the State for the safety and convenience of the public. QAP will utilize equipment with noise reduction features including proximity backup alarms, activated only when objects are within proximity of equipment sensor while backing. Operations will comply with the maximum permissible sound level limits allowed in MSB Code, per the requirements of MSB 17.28.060 – Site Development Standards and MSB 8.52 – Noise, Amplified Sound, and Vibration.

Mining will take place primarily from March to October when natural light is abundant and need for additional lights is minimal. However, lightplants will be utilized to illuminate mining activities when needed. All lightplants will be directed onto the work at hand and focused away from roadways and residences.

3.0 Reclamation Plan

Overburden encountered during mining will be stockpiled on non-expandable slopes and used for reclamation. Reclamation will occur annually in practical locations where mining operations are complete and upon completion of each phase. Completion of extraction at the material source is anticipated in 2041. When extraction activities have been completed final reclamation will begin.

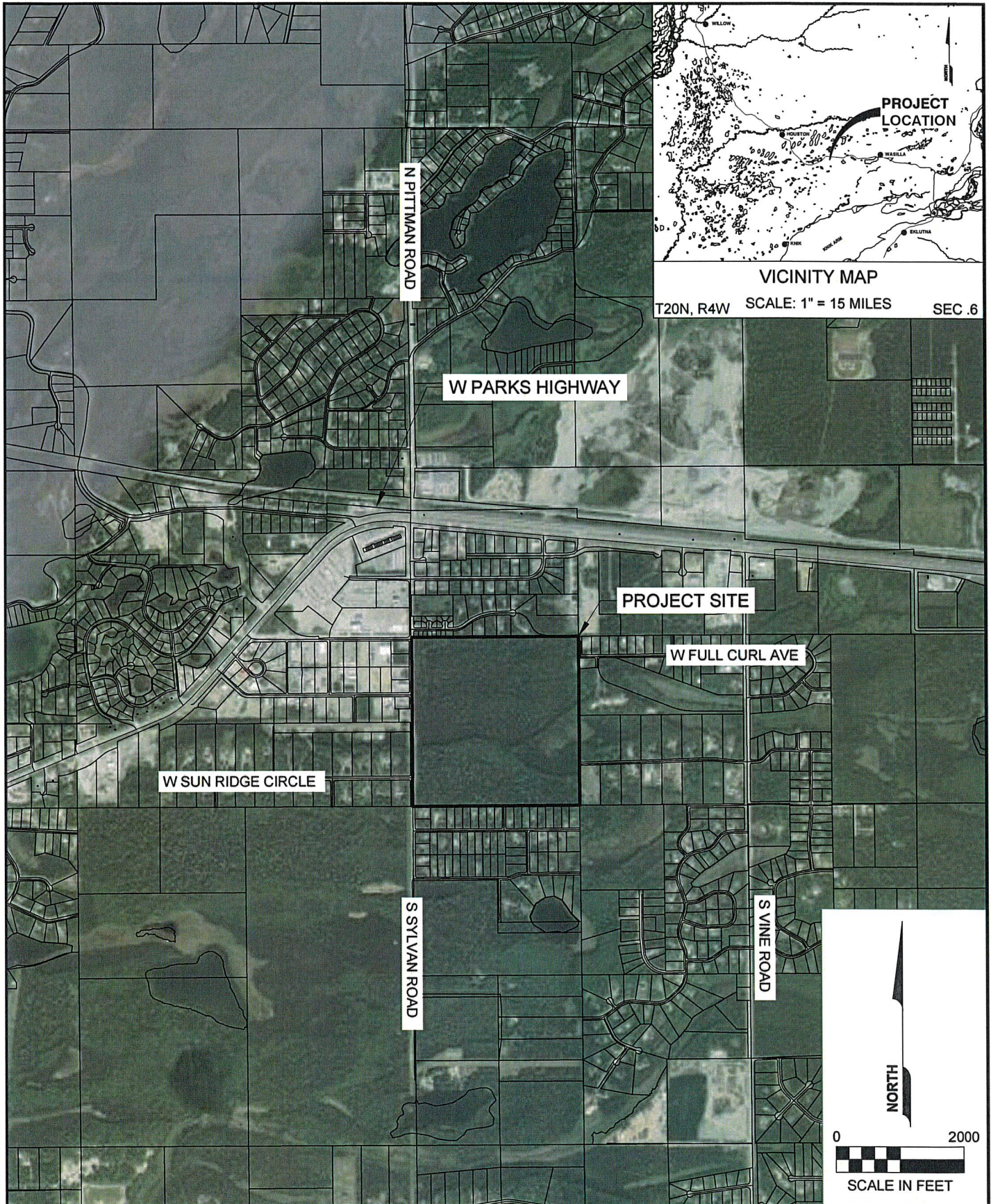
Final reclamation will include grading of slopes to be 2H:1V or flatter, and track walking to minimize erosion. Slopes and disturbed areas will be seeded with Alaska certified seeds. Please see the typical reclamation section, Figure 6. A copy of the reclamation financial assurance filed with the State of Alaska is attached to this application (Attachment C).

4.0 Compliance with Borough, State, and Federal Laws

Attached please find the Material Site Reclamation Plan submitted to the State of Alaska (Attachment C). The Alaska Department of Natural Resources (ADNR) permit is pending. A site-specific SWPPP will be developed and implemented, and a NOI will be submitted for coverage under the appropriate Alaska Pollutant Discharge Elimination System (APDES) permit. Material extraction is not proposed in wetlands or waters of the United States, and therefore the project does not require a permit from the U.S. Army Corps of Engineers (USACE).

5.0 Summary and Phasing Plan Assumptions

Demand for gravel will be dictated by market conditions and planned community projects. Annual extraction amounts may increase or decrease to accommodate projects. Gravel haul may not occur for several years between phases, or occur only sporadically, until there is local demand for the gravel resource.



937 SOUTH SYLVAN ROAD CONDITIONAL USE PERMIT

LOCATION MAP

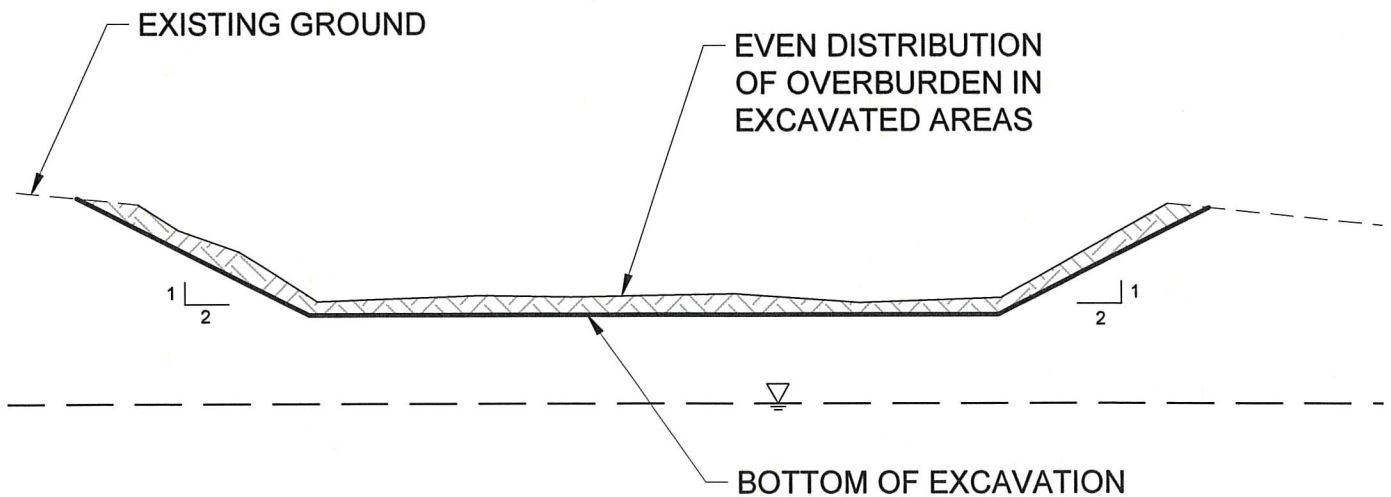
WASILLA, ALASKA

DATE:	03/26/2021	DRAWN BY:	SM	SHEET:	FIGURE 1
SCALE:	AS SHOWN	CHECKED BY:	EM	JOB No:	05-2019.01

Matanuska-Susitna Borough
Development Services

APR 9 2021

Received



1
FIG 3 **TYPICAL RECLAMATION SECTION**
SCALE: N.T.S.

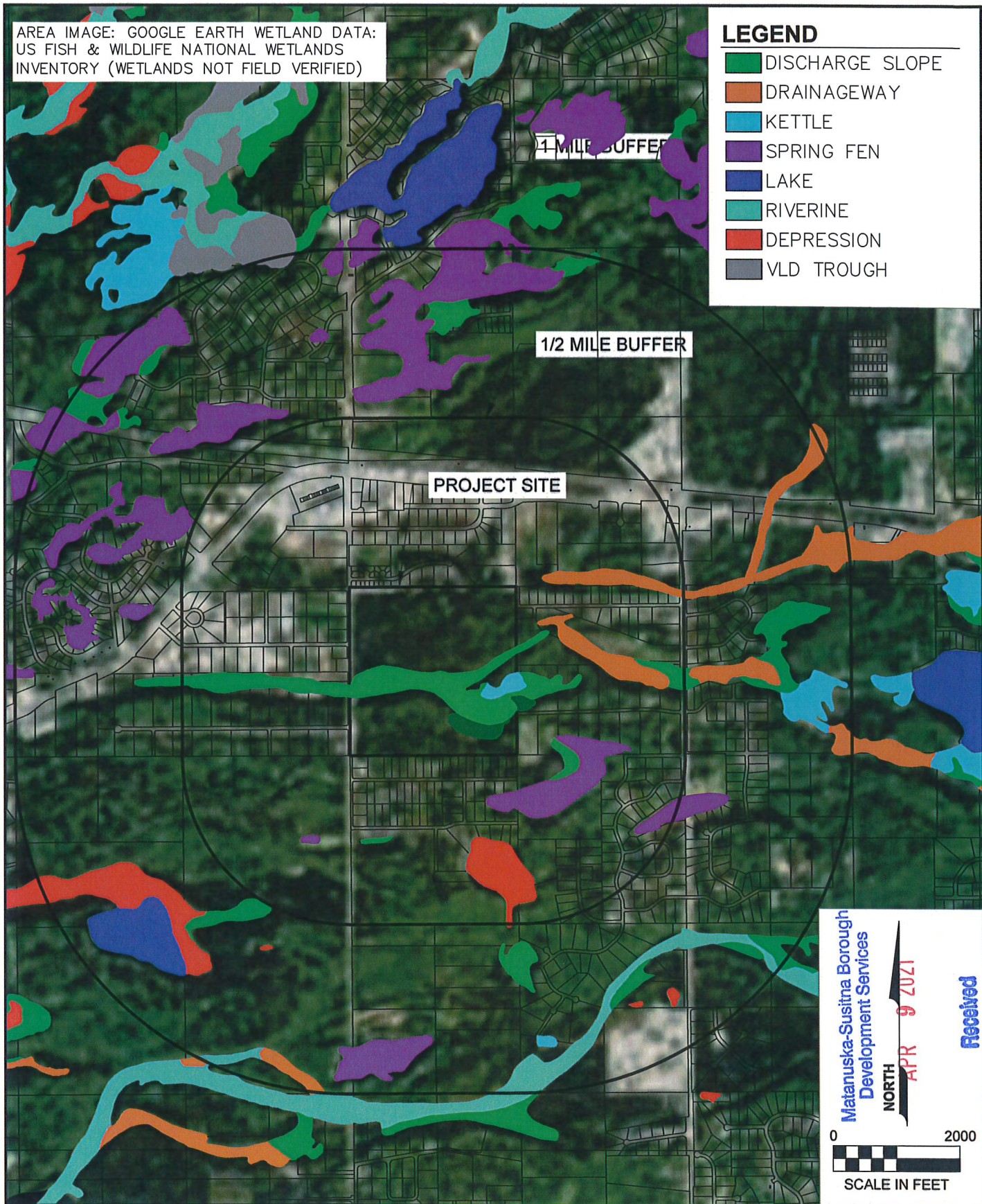


937 SOUTH SYLVAN ROAD CONDITIONAL USE PERMIT
RECLAMATION SECTION
WASILLA, ALASKA

DATE:	03/26/2021	DRAWN BY:	SM	SHEET:	FIGURE 3
SCALE:	AS SHOWN	CHECKED BY:	EM	JOB No:	05-2012.01

AREA IMAGE: GOOGLE EARTH WETLAND DATA:
 US FISH & WILDLIFE NATIONAL WETLANDS
 INVENTORY (WETLANDS NOT FIELD VERIFIED)

- LEGEND**
- DISCHARGE SLOPE
 - DRAINAGEWAY
 - KETTLE
 - SPRING FEN
 - LAKE
 - RIVERINE
 - DEPRESSION
 - VLD TROUGH



Matanuska-Susitna Borough
 Development Services

Received

APR 9 2021

NORTH

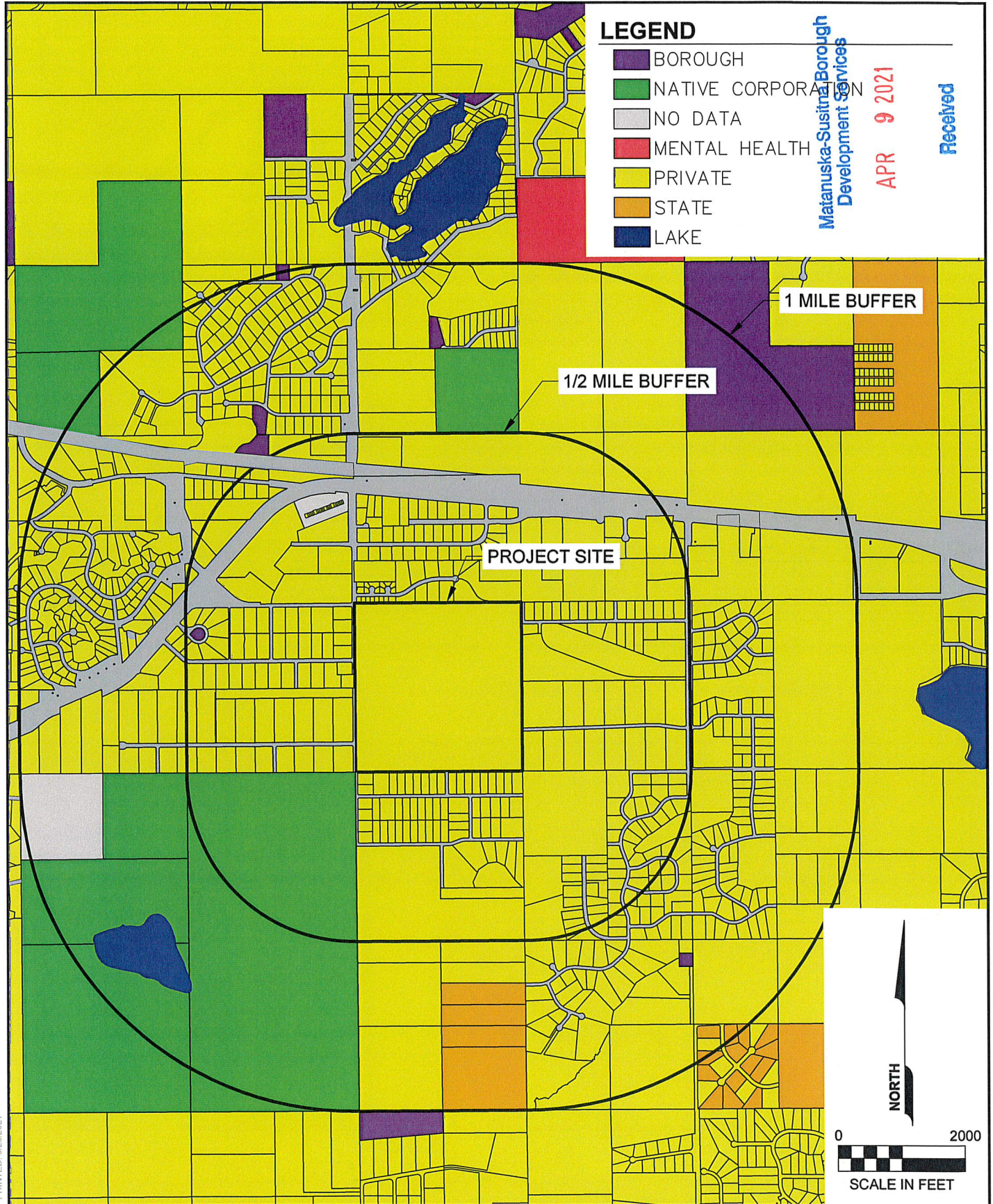
0 2000

SCALE IN FEET



937 SOUTH SYLVAN ROAD CONDITIONAL USE PERMIT
WETLANDS
 WASILLA, ALASKA

DATE:	03/26/2021	DRAWN BY:	SM	SHEET:	FIGURE 4
SCALE:	AS SHOWN	CHECKED BY:	EM	JOB No:	05-2019.01



LEGEND

- BOROUGH
- NATIVE CORPORATION
- NO DATA
- MENTAL HEALTH
- PRIVATE
- STATE
- LAKE

Matanuska-Susitna Borough
Development Services

APR 9 2021

Received

1 MILE BUFFER

1/2 MILE BUFFER

PROJECT SITE

NORTH

0 2000
SCALE IN FEET

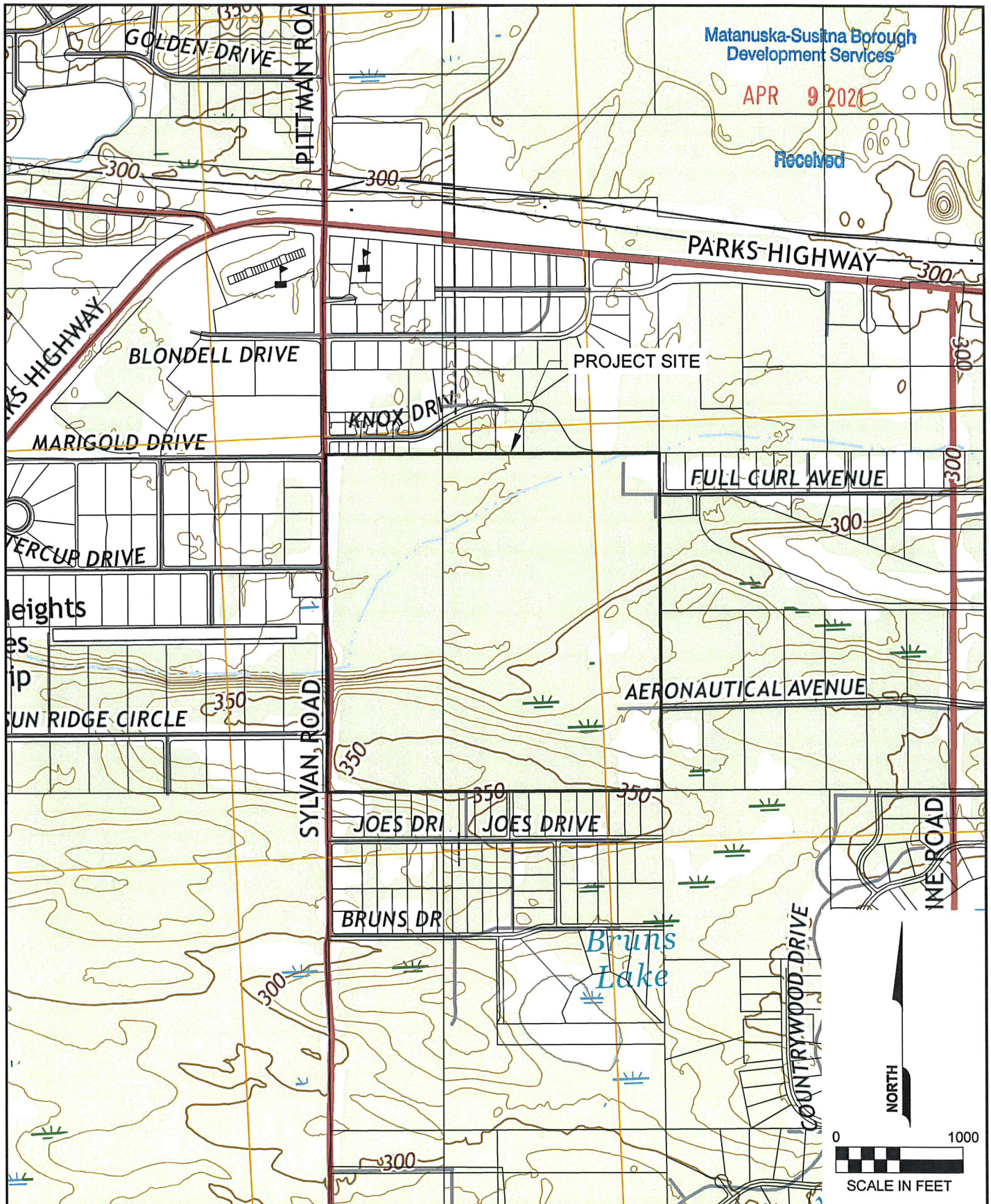


937 SOUTH SYLVAN ROAD CONDITIONAL USE PERMIT

PROPERTY OWNERSHIP AND USE

WASILLA, ALASKA

DATE:	03/26/2021	DRAWN BY:	SM	SHEET:	FIGURE 5
SCALE:	AS SHOWN	CHECKED BY:	EM	JOB No:	05-2019.01



937 SOUTH SYLVAN ROAD CONDITIONAL USE PERMIT

TOPOGRAPHIC MAP

WASILLA, ALASKA

DATE:	03/26/2021	DRAWN BY:	SM	SHEET:	FIGURE 6
SCALE:	AS SHOWN	CHECKED BY:	EM	JOB No:	05-2019.01

ATTACHMENT B: LANDOWNER PERMISSION



Trust
Land Office

2600 Cordova Street, Suite 201
Anchorage, AK 99503
Tel 907.269.8658

alaskamentalhealthtrust.org/trust-land-office/

February 17, 2021

Matanuska-Susitna Borough
Planning and Land Use Department
350 East Dahlia Avenue
Palmer, AK 99645

RE: Conditional Use Permit Application
937 S. Sylvan Road, Wasilla, Alaska
S017N002W10, Lot C1
MSB ID# 17N02W10C001

This letter serves as authorization for QAP whose address is 240 W. 68th Avenue, Anchorage, AK 99518, to apply for and acquire permits or authorizations from the Matanuska-Susitna Borough for purposes of lawfully conducting material mining on the above stated parcel, owned by the Alaska Mental Health Trust Authority. This authorization is contingent on the execution of a material sale contract between the Trust Land Office and QAP (MHT 9200764).

This letter also grants permission for Borough staff members to enter onto the property as needed to process this application and monitor compliance with respective authorizations issued by the Borough.

Thank you,

A handwritten signature in blue ink, appearing to read 'Hollie Chalup', with a large, stylized flourish at the end.

Hollie Chalup
Mineral & Energy Resource Manager
(907) 269-8657
Hollie.chalup@alaska.gov

CC: Patrick Cummins, QAP

ATTACHMENT C: STATE OF ALASKA MATERIAL SITE RECLAMATION PLAN AND BOND

STATE OF ALASKA DEPARTMENT OF NATURAL RESOURCES
DIVISION OF MINING, LAND AND WATER



Northern Region
3700 Airport Way
Fairbanks, AK 99709
(907) 451-2740



Southcentral Region
550 W 7th Ave., Suite 900C
Anchorage, AK 99501-3577
(907) 269-8552



Southeast Region
400 Willoughby, #400
P.O. Box 111020 Juneau, AK 99801
(907) 465-3400
(907) 586-2954
sero@alaska.gov

MATERIAL SITE RECLAMATION PLAN OR
LETTER OF INTENT/ANNUAL RECLAMATION STATEMENT
AS 27.19.030 – 27.19.050

Receipt Type: 17

Non-refundable filing fee for reclamation plan: See current Director's Fee Order for applicable fees.

In accordance with Alaska Statute 27.19, reclamation is required of all mining operations, including sand and gravel extraction. Completion of this form will meet the law's requirements for a **reclamation plan** (see below for filing requirements; due date: at least 45 days before mining is proposed to begin; requires approval by the Division of Mining, Land and Water). Completion of this form will also serve as a **letter of intent** for operations exempt from the plan requirement (due date: before mining begins). No approval is required for a letter of intent, but a miner who files a letter of intent must, before December 31, file an **annual reclamation statement** (Section 8 of this form).



Check applicable box:



A.. RECLAMATION PLAN (REQUIRED if the operation will disturb five or more acres this year, OR 50,000 cubic yards, OR if the operation has a cumulative disturbed area of five or more acres)



C. LETTER OF INTENT (less than five acres to be disturbed AND less than 50,000 cubic yards AND less than five acres unreclaimed area)
NOTE: A miner who files a letter of intent is also required to file an annual reclamation statement at the end of the year.



B. RECLAMATION PLAN—VOLUNTARY (for an operation below limits shown in Box A but wanting to qualify for the statewide bonding pool)

THIS RECLAMATION PLAN/LETTER OF INTENT IS FOR CALENDAR YEAR 2021-2031
(IF YOU CHECKED EITHER BOX A OR B ABOVE AND PROPOSE A MULTI-YEAR PLAN, STATE ALL YEARS COVERED.)

1. **MINER INFORMATION** (IF THERE IS MORE THAN ONE MINER, ATTACH A LIST OF THE NAMES, ADDRESSES, AND TELEPHONE NUMBERS OF ALL OTHER OWNERS, OPERATORS, OR LEASEHOLDERS OF THE MINING OPERATION)

Patrick S. Cummins

NAME OF MINER WHO WILL SERVE AS AGENT FOR NOTICE PURPOSES

240 W. 68th Avenue

ADDRESS (NOTIFY THE DEPARTMENT OF ANY LATER CHANGE OF ADDRESS)

Anchorage

AK

99518

907-522-2211

CITY

STATE

ZIP CODE

TELEPHONE

Alaska Mental Health Trust Authority, Trust Land Office, Ste 100, 2600 Cordova St., Anchorage, AK 99503

NAME OF LANDOWNER (IF OTHER THAN MINER) OR PUBLIC LAND MANAGEMENT AGENCY

FEDERAL OR STATE CASEFILE NUMBER (IF ANY) ASSIGNED TO THE SITE

- ☐ If extraction occurs within a flood plain, the reclamation activity shall reestablish a stable bed and bank profile such that river currents will not be altered and erosion and deposition patterns will not change.

NOTE: If you propose to use reclamation measures other than those shown above, or if the private landowner or public land manager of the site requires you to use stricter reclamation measures than those shown above, attach a list of those measures to this plan.

5. ALTERNATE POST-MINING LAND USE

- ☒ The mining site is public land. The land management agency's land use plan (if any) for post-mining land use is: _____
- ☐ The mining site is public land. As allowed by AS 27.19.030(b), I propose to reclaim it to the following post-mining land use: _____
- ☐ The mining site is private property. The private landowner plans to use it for the following post-mining land use: _____

6. ATTACHMENTS

- ☒ If the mining operation has additional owners, operators, or leaseholders not shown on p. 1 of this form, attach a list of their names, addresses, and telephone numbers.
- ☒ Attach a USGS map at a scale no smaller than 1:63,360 (inch to the mile) showing the general vicinity of the mining operation and the specific property to be mined. Option: If you checked Box C on the first page of this form and the mining site is adjacent to an airport or public highway, state the name of the airport or the name and milepost of the public highway.
- ☒ Attach a diagram of the mined area (this term includes the extraction site, stockpile sites, overburden disposal sites, stream diversions, settling ponds, etc.) and the mining operation as a whole (this term includes the roads you plan to build, your power lines, support facilities, etc.). Show and state the number of acres to be mined during the year. (If you checked Box A or B on the first page of this form and your plan covers more than one year, show each year's work.) Show the location corners or property boundaries of the site in relation to the reclamation work and any other areas affected by the operation.
- ☒ Attach a list of the equipment (type and quantity) to be used during the reclamation activity.
- ☒ A time schedule of events must be attached that includes dates and activities related to this reclamation plan.
- ☐ If the site is private land not owned by the miner, attach a signed, notarized statement from the landowner indicating the landowner's consent to the operation. The landowner may also use the consent statement to notify the department that the landowner plans a post-mining land use incompatible with natural revegetation and therefore believes that reclamation to the standard of AS 27.19.020 is not feasible.
- ☐ For those miners that are required to file an annual reclamation statement, attach photographs and/or videotapes dated and described as to location of the reclamation activity that was completed.
- ☐ If you propose to use reclamation measures other than those listed on this form, or if the private landowner or public land manager of the site requires you to use stricter reclamation measures, attach a list of those measures.

Operations Plan

January 2021

Land Owner:

State of Alaska
Alaska Mental Health Trust Authority
Trust Land Office
Suite 100 2600 Cordova St.
Anchorage, AK 99503

Contact:

Patrick Cummins
240 W. 68th Avenue
Anchorage, AK 99518
Phone (907) 522-2211

Location:

The project site is located on the East side of the S. Sylvan Rd. approximately ½ mile south of the Parks Highway at 937 S. Sylvan Rd. Wasilla, AK. This plan applies to the following parcels of land.

Legal Description:

Township 17 North, Range 2 West, Section 10, Seward Meridian, Lot C1
Mat-Su Borough Tax Parcel ID# 17N02W10C001

Purpose:

The purpose of this work is sand and gravel extraction and reclamation.

Site Description:

The property is 160 acres that are undeveloped. It is bounded by residential properties to the North, South, and East. To the West is mixed residential and commercial properties. The site consists of mixed spruce forest, birch, and cottonwood.

Access:

Current access is on a trail off S. Sylvan Rd. Planned access would be from S. Sylvan Rd. with a developed driveway. The driveway access would be gated and locked to restrict access when not in use.

Buildings and Structures:

There are currently no buildings on the site. Planned uses do not include any permanent structures. A portable asphalt plant and/or portable aggregate crushing plant may be temporarily setup on timber & block footings. A portable job office trailer and trucks scales may also be setup. All portable structures will be removed prior to vacating the property.

Power Source:

Power would be provided with a temporary transformer for the portable plants and office by MEA.

for extraction will be dependant on the market conditions. Reclamation will occur annually on non-expandable slopes after material extraction has ceased in an area. Reclamation of the final portion of the property is estimated to be completed by 2041.

Equipment used for Mining:

Anticipated equipment to be used in mining includes, but not limited to, the following.

1. Caterpillar D8 Dozer
2. Caterpillar D10 Dozer
3. Hitachi ZX450 Excavator
4. Caterpillar 980 Loader
5. Caterpillar 988 Loader
6. Water Truck
7. Caterpillar 14 Grader

Additional Information:

QAP will be mining approximately 144 of the 160 acres of land within the parcel. The depth of excavation will vary so as not to go within 4 feet of the seasonal high water table. Setbacks of 25 feet from property lines and 100 feet from wetlands and waterways will be maintained. All areas mined by QAP will be reclaimed using overburden. Reclamation will occur annually in practical locations where mining operations are complete.

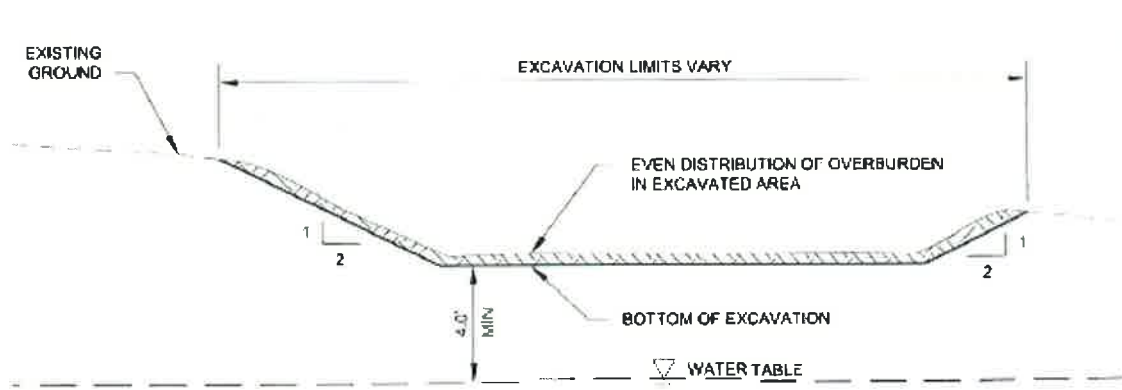
Reclamation:

Any overburden that is encountered during mining will be stockpiled on non-expandable slopes and used for reclamation. QAP will track walk the slopes and seed all disturbed areas. Certified seeds will be used. All slopes will be a 2H:1V or flatter.

Attachments and Drawings:

- Vicinity Map
- Topo Map
- Site Map
- Typical Section





1
FIG 3

TYPICAL RECALCULATION SECTION

SCALE: N.T.S.



Colaska Inc., dba QAP
State of Alaska, Mental Health Trust
Typical Section

STATE OF ALASKA DEPARTMENT OF NATURAL RESOURCES
DIVISION OF MINING, LAND AND WATER

☐ Northern Region
3700 Airport Way
Fairbanks, AK 99709
(907) 451-2705

☒ Southcentral Region
550 W 7th Avenue, Ste 900C
Anchorage, AK 99501-3577
(907) 269-8552

☐ Southeast Region
400 Willoughby, #400
Juneau, AK 99801
(907) 465-3400

LAND USE PERFORMANCE GUARANTY
(CORPORATE SURETY)

Contract, Permit, or Lease – State File # _____
Surety Bond No. 015212679

Know all people by these presents, that the undersigned

QAP, a (corporation) / partnership / sole proprietor / LLC /
Joint Venture – circle one), organized and existing under the laws of the State of AK, as Principal, and
Liberty Mutual Insurance Company organized and existing under the laws of the State of
MA and licensed to do business in the State of Alaska, as Surety, are held and firmly bound unto the
State of Alaska, Department of Natural Resources, in the sum of One Hundred Eight Thousand Dollars and 00/100 DOLLARS,
(\$ 108,000.00) for the payment of which sum we hereby jointly and severally bind ourselves, our successors, and assigns.

THE OBLIGATIONS of this bond are as follows:

1. The Principal is by written agreement entering into a contract, permit, or lease with the State of Alaska ("the State") involving State land, which agreement is identified as Reclamation Bond - Mental Health Trust (State file # and agreement type), hereinafter "the agreement;" and is, by reference, incorporated fully herein in all its terms and made a part of this bond.
2. In accordance with State regulations at 11 AAC 96.060, the Alaska Department of Natural Resources ("the department") has determined that the Principal is required to furnish the State of Alaska a corporate surety bond, acceptable to the department and conditioned upon compliance with all terms of the agreement.
3. The Principal has chosen to post this corporate surety bond with the department as a guarantee that the obligations, terms, and conditions of the agreement will be completed as required by the Alaska Land Act, AS 38.05, and attendant regulations at 11 AAC 96.
4. The coverage of this bond extends to the Principal's obligations under the agreement and under applicable laws and regulations, to assure that all of the activities on and uses of the land subject to the agreement are conducted by the Principal in compliance with the obligations, terms, and conditions of the agreement.
5. Upon a determination by the State that the Principal has satisfactorily complied with the obligations, terms and conditions of the agreement pertaining to activities on and uses of the land, and the applicable laws and regulations, then the obligations of this bond shall be released; otherwise, this bond shall remain in full force and effect until released in writing by the State.
6. The Principal and Surety agree that:
 - (a) unless the Principal has replaced this bond with other guaranty acceptable to the department conditioned upon compliance with all terms of the agreement, coverage under this bond shall extend to and include any extension(s) in time of the agreement, such coverage to continue irrespective of the expiration of the obligations, terms, and conditions originally set forth in the agreement; the Surety shall not cancel this bond unless released in writing by the State;
 - (b) notwithstanding any modifications of the agreement approved by the department, this bond remains in full force and the Surety waives, as a defense against the State, any right to notice of any such modifications;
 - (c) The department shall review this bond from time to time and may require an adjustment in the amount of the bond. No increase in bond amount shall bind the surety without the surety's written consent;
 - (d) the neglect or forbearance of the State in enforcing against the Principal performance by the Principal of any obligation, term, or condition of the agreement shall not in any way release the Principal or Surety from liability under this bond;
 - (e) whenever the Principal shall be, and is declared by the State to be, in default under the obligations, terms, and conditions of the agreement, the State shall notify the Principal and Surety. Upon receipt of a notice of the Principal's default from the State and demand by the State for performance or payment, the Surety shall promptly pay the face value of this bond to the State, or in lieu of paying the face amount, the director may approve the Surety's remedy of the default by the Surety fully completing the performance of the Principal's obligations under the agreement. The Surety's completion of the performance of the Principal's obligations under the agreement does not relieve the Principal of its obligations under the agreement;

- (f) the Principal or the Surety must promptly notify the department and the principal of any action filed alleging the insolvency or bankruptcy of the Surety or the Principal or alleging any violations which could result in suspension or revocation of the surety's right to do business in the State of Alaska; and
- (g) upon the incapacity of the Surety by reason of bankruptcy, insolvency, or suspension or revocation of its license, the Principal shall be deemed to be without bond coverage in violation of 11 AAC 96.060 and AS 38.05 and subject to enforcement actions described therein.

[Copy, fill-out, and attach the below if more signatures are necessary]

PRINCIPAL

Signed and executed this 5th day of February, 2021
BY: Todd Porter General Manager
(Print name) (Title)
240 W. 68th Avenue, Anchorage, AK 99518
(Address of Principal)
By: [Signature]
(Signature of Officer/owner/partners/members/managing member)

— (Seal) —

ACKNOWLEDGEMENT OF PRINCIPAL

The foregoing instrument was acknowledged before me by Todd Porter this 5th day of February, 2021
(Name of Individual)
Witness my hand and official seal [Signature]
(Signature of Notary Public)
My Commission Expires: 02/06/2023



SURETY

Signed and executed this 2nd day of February, 2021
BY: Joshua Sanford Attorney-in-Fact
(Print name) (Title)
175 Berkeley Street, Boston, MA 02116
(Address of Surety)
By: [Signature]
(Signature of Officer)

— (Seal) —



ACKNOWLEDGEMENT OF SURETY

The foregoing instrument was acknowledged before me by Joshua Sanford this 2nd day of February, 2021
(Name of Individual)
Witness my hand and official seal [Signature]
(Signature of Notary Public)
Brendan Fletcher My Commission Expires: 2/28/2025

BRENDAN FLETCHER
NOTARY PUBLIC - CT 180835
My Commission Expires Feb. 28, 2025 — (Seal) —

APPROVAL AND ACCEPTANCE BY THE STATE OF ALASKA
DEPARTMENT OF NATURAL RESOURCES

By: _____
Signature of Authorized State Representative Title Date

This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated. Not valid for mortgage, note, loan, letter of credit, bank deposit, currency rate, interest rate or residual value guarantees. To confirm the validity of this Power of Attorney call 610-832-8240 between 9:00 am and 4:30 pm EST on any business day.



Liberty Mutual Insurance Company
The Ohio Casualty Insurance Company
West American Insurance Company

POWER OF ATTORNEY

KNOWN ALL PERSONS BY THESE PRESENTS: That The Ohio Casualty Insurance Company is a corporation duly organized under the laws of the State of New Hampshire, that Liberty Mutual Insurance Company is a corporation duly organized under the laws of the State of Massachusetts, and West American Insurance Company is a corporation duly organized under the laws of the State of Indiana (herein collectively called the "Companies"), pursuant to and by authority herein set forth, does hereby name, constitute and appoint, Joshua Sanford of the city of New York, state of NY its true and lawful attorney-in-fact, with full power and authority hereby conferred to sign, execute and acknowledge the following surety bond:

Principal Name: QAP

Obligee Name: State of Alaska, Department of Natural Resources

Surety Bond Number: 015212679

Bond Amount: See Bond Form

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Companies and the corporate seals of the Companies have been affixed thereto this 12th day of December, 2018.



The Ohio Casualty Insurance Company
Liberty Mutual Insurance Company
West American Insurance Company

By: David M. Carey

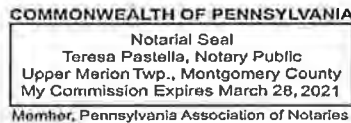
David M. Carey, Assistant Secretary

STATE OF PENNSYLVANIA
COUNTY OF MONTGOMERY

ss

On this 12th day of December, 2018, before me personally appeared David M. Carey, who acknowledged himself to be the Assistant Secretary of Liberty Mutual Insurance Company, The Ohio Casualty Company, and West American Insurance Company, and that he, as such, being authorized so to do, execute the foregoing instrument for the purposes therein contained by signing on behalf of the corporations by himself as a duly authorized officer.

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at King of Prussia, Pennsylvania, on the day and year first above written.



By: Teresa Pastella

Teresa Pastella, Notary Public

This Power of Attorney is made and executed pursuant to and by authority of the following By-laws and Authorizations of Liberty Mutual Insurance Company, The Ohio Casualty Insurance Company, and West American Insurance Company which resolutions are now in full force and effect reading as follows:

ARTICLE IV – OFFICERS – Section 12. Power of Attorney. Any officer or other official of the Corporation authorized for that purpose in writing by the Chairman or the President, and subject to such limitation as the Chairman or the President may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Corporation to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Corporation by their signature and execution of any such instruments and to attach thereto the seal of the Corporation. When so executed, such instruments shall be as binding as if signed by the President and attested to by the Secretary. Any power or authority granted to any representative or attorney-in-fact under the provisions of this article may be revoked at any time by the Board, the Chairman, the President or by the officer or officers granting such power or authority.

ARTICLE XIII – Execution of Contracts – SECTION 5. Surety Bonds and Undertakings. Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

Certificate of Designation – The President of the Company, acting pursuant to the Bylaws of the Company, authorizes David M. Carey, Assistant Secretary to appoint such attorneys-in-fact as may be necessary to act on behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

Authorization – By unanimous consent of the Company's Board of Directors, the Company consents that facsimile or mechanically reproduced signature of any assistant secretary of the Company, wherever appearing upon a certified copy of any power of attorney issued by the Company in connection with surety bonds, shall be valid and binding upon the Company with the same force and effect as though manually affixed.

I, Renee C. Llewellyn, the undersigned, Assistant Secretary, of Liberty Mutual Insurance Company, The Ohio Casualty Insurance Company, and West American Insurance Company do hereby certify that this power of attorney executed by said Companies is in full force and effect and has not been revoked.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the seals of said Companies this 2nd day of February, 2021.



By: Renee C. Llewellyn

Renee C. Llewellyn, Assistant Secretary



LIBERTY MUTUAL INSURANCE COMPANY
FINANCIAL STATEMENT — DECEMBER 31, 2019

Assets		Liabilities	
Cash and Bank Deposits	\$778,754,989	Unearned Premiums.....	\$8,007,146,482
*Bonds — U.S Government.....	2,780,808,610	Reserve for Claims and Claims Expense	21,532,853,787
*Other Bonds.....	12,645,608,792	Funds Held Under Reinsurance Treaties.....	507,868,920
*Stocks	16,385,435,431	Reserve for Dividends to Policyholders.....	1,143,826
Real Estate.....	235,608,378	Additional Statutory Reserve.....	125,722,000
Agents' Balances or Uncollected Premiums.....	6,217,983,641	Reserve for Commissions, Taxes and	
Accrued Interest and Rents.....	102,273,390	Other Liabilities	4,117,460,075
Other Admitted Assets	11,957,106,292	Total.....	\$34,292,195,090
Total Admitted Assets	<u>\$51,103,579,523</u>	Special Surplus Funds.....	\$32,768,443
		Capital Stock.....	10,000,075
		Paid in Surplus.....	10,044,978,933
		Unassigned Surplus.....	6,723,636,983
		Surplus to Policyholders.....	16,811,384,434
		Total Liabilities and Surplus.....	<u>\$51,103,579,524</u>



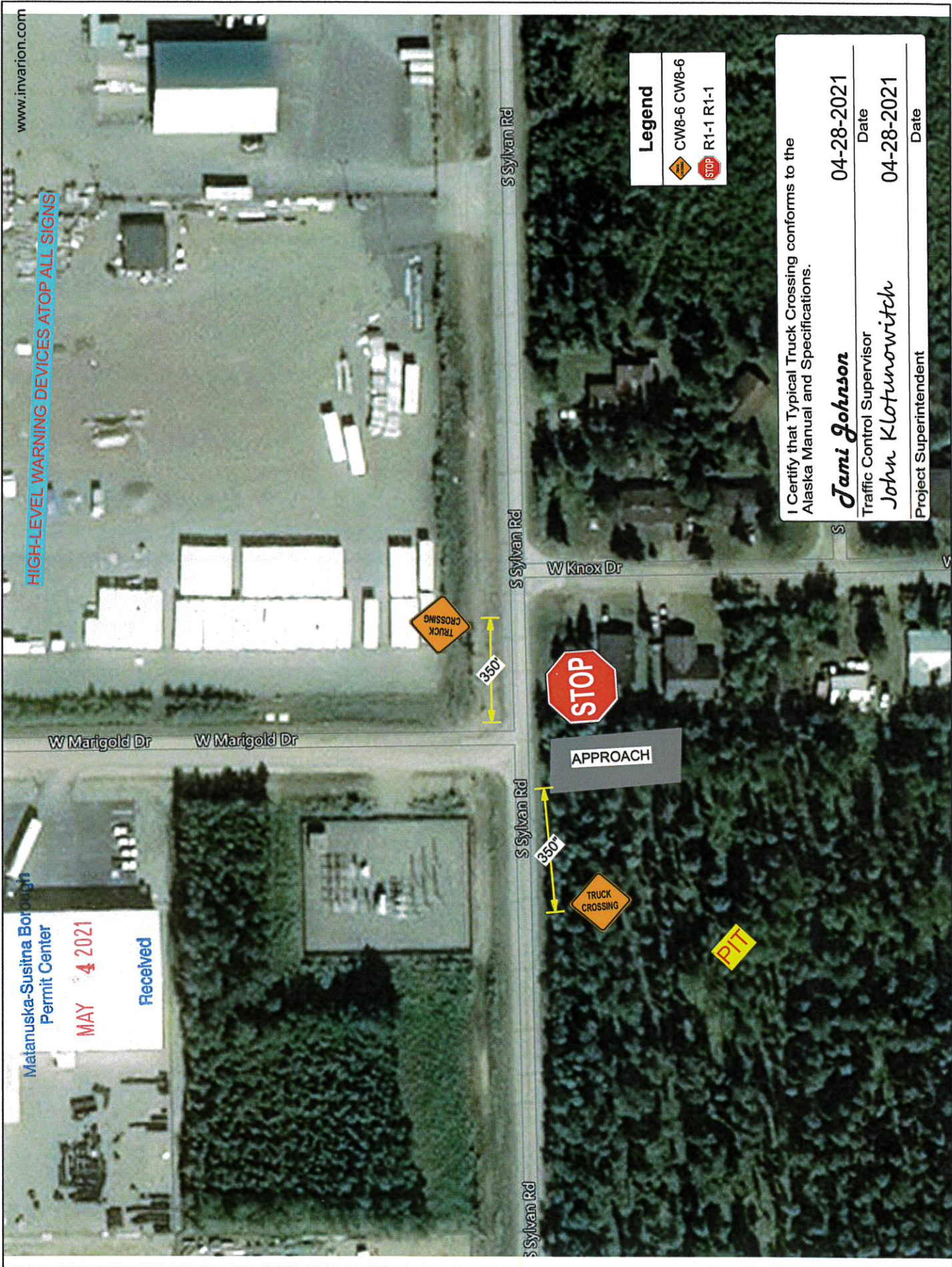
* Bonds are stated at amortized or investment value; Stocks at Association Market Values.
The foregoing financial information is taken from Liberty Mutual Insurance Company's financial statement filed with the state of Massachusetts Department of Insurance.

I, TIM MIKOLAJEWSKI, Assistant Secretary of Liberty Mutual Insurance Company, do hereby certify that the foregoing is a true, and correct statement of the Assets and Liabilities of said Corporation, as of December 31, 2019, to the best of my knowledge and belief.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the seal of said Corporation at Seattle, Washington, this 27th day of March, 2020.

T. Mikolajewski

Assistant Secretary



Legend	
	CW8-6 CW8-6
	R1-1 R1-1

I Certify that Typical Truck Crossing conforms to the Alaska Manual and Specifications.	
<i>Jami Johnson</i> Traffic Control Supervisor	04-28-2021 Date
<i>John Klotunowitch</i> Project Superintendent	04-28-2021 Date

COMMENTS

Agency Comments

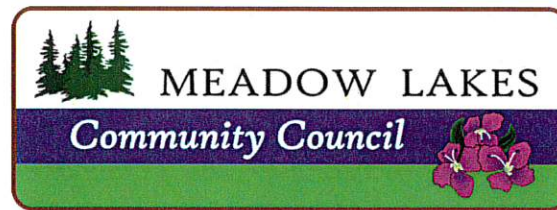
Mark Whisenhunt

From: Camden Yehle <camdenyehle@gmail.com>
Sent: Thursday, June 10, 2021 12:22 PM
To: Mark Whisenhunt
Cc: Patricia Fisher; Linda Conover; Chad Scott; Sherri Rusher
Subject: Opposition letter to Sylvan gravel CUP
Attachments: Opposition to Sylvan gravel_FINAL.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Mark - I'd like to submit the attached letter on behalf of the Meadow Lakes Community Council in response to the proposed Sylvan gravel mine. The membership voted unanimously at our June 9, 2021 meeting to oppose the CUP. As stated in the letter, the CUP is in violation of several components of the Meadow Lakes Comprehensive Plan.

Camden Yehle
Meadow Lakes Community Council President
907-346-0506
camdenyehle@gmail.com



1210 N Kim Drive, Suite B, Meadow Lakes, Alaska 99623
Phone: 907-232-2845 - Email: info@mlccak.org - Website: www.mlccak.org

Matanuska Susitna Borough Planning Commission:

June 9, 2021

The Meadow Lakes Community Council is hereby voicing its opposition to the Conditional Use Permit for Parcel 17N02W10C001, which proposes a gravel pit on Sylvan Road. **The proposed pit is in contradiction to major articles in the Meadow Lakes Comprehensive Plan:**

- 1) **"Town Center Site:"** This parcel is part of the Town Center as designated in the Comprehensive Plan. The plan specifies that the Town Center should be designed for Commercial, Residential and Public Use. The plan **discourages "large scale industrial activities."** (Comp Plan page 49)
- 2) **"Protection of Nature Features and Open Space."** The parcel is bisected by one of the creeks of the Cook Inlet Wetlands System. This creek and others form a system of wetland features which are described in the ML Comprehensive Plan as significant wetland assets in Meadow Lakes. It is unlikely that setbacks of 100 feet will adequately protect this wetland area. **"Compliance with US Army Corp of Engineers wetland policies is required in any actions that adversely affect wetlands."** (Comp Plan page 63)
- 3) **"Insurance of Quality of Water Table."** Property on three sides of this parcel is residential. Allowing gravel mining on this parcel will have the very serious potential to harm the local water supply. (Comp Plan pages 93-94)

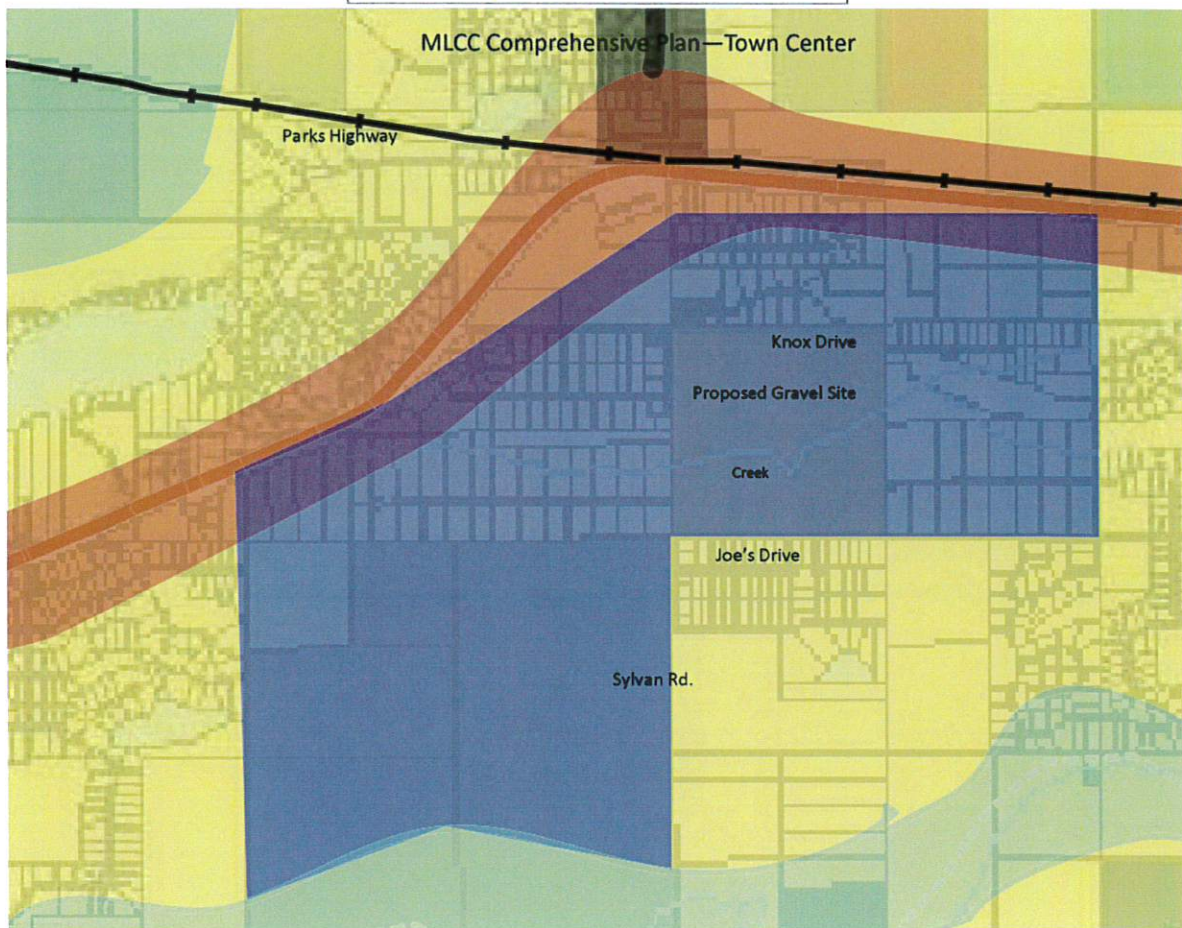
Traffic along Sylvan: Sylvan is designated as a minor collector road by the Mat-Su Borough. It is not adequate to handle the possible traffic of up to 500 trucks (1000 round trips) a day as listed in the CUP. Of particular concern is the school with an enrollment of 200 students, located in the mall at the Parks intersection. The exit on Sylvan from the school is the primary route for egress and ingress for school buses and parent traffic. Children from the school walk along Sylvan to reach their homes on Knox, Blondell, Tim, Sun Ridge, and Joe's Drive.

This project will create noise, dust, odor, and result in devaluation to properties along Knox Drive (19 properties), Full Curl Circle (23), Blondell Drive (28), Tim Drive (3), W Sun Ridge Circle (26), and Joe's Drive (32). The Mat-Su Borough's My Property site lists a total of 131 residential properties on those roads, abutting the proposed pit. Allowing a gravel mine as proposed would create an unhealthy and dangerous situation in the neighborhoods listed and along Sylvan Road. **We strongly urge that this Conditional Use Permit be denied.**

Sincerely,

A handwritten signature in cursive script, appearing to read "Camden Yehle".

Camden Yehle, President
Meadow Lakes Community Council



Mark Whisenhunt

From: Jim Jenson
Sent: Wednesday, May 12, 2021 9:07 AM
To: Mark Whisenhunt
Cc: Matthew Jacob
Subject: RE: Request for Comments: QAP Sylvan CUP

This could be problematic using Sylvan as a haul route for loaded gravel trucks. Do not believe it will be able to hold up for very long. Can a SA be set up that will pay for the maintenance on the road?

Jim

From: Mark Whisenhunt <Mark.Whsenhunt@matsugov.us>
Sent: Wednesday, May 12, 2021 8:47 AM
To: Jim Jenson <James.Jenson@matsugov.us>
Subject: RE: Request for Comments: QAP Sylvan CUP

Page 15. Site plan shows onto Sylvan to Parks Hwy. Last page has the traffic control plan.

Respectfully,

Mark Whisenhunt
Acting Development Services Manager
Matanuska-Susitna Borough
Office: (907) 861-8527
mark.whisenhunt@matsugov.us

From: Jim Jenson <James.Jenson@matsugov.us>
Sent: Wednesday, May 12, 2021 8:45 AM
To: Mark Whisenhunt <Mark.Whsenhunt@matsugov.us>
Subject: RE: Request for Comments: QAP Sylvan CUP

How is going to be moved off the property? AKRR or Trucking? If trucking I am not seeing the haul route out.

From: Mark Whisenhunt <Mark.Whsenhunt@matsugov.us>
Sent: Wednesday, May 12, 2021 8:40 AM
To: allen.kemplen@alaska.gov; tucker.hurn@alaska.gov; melanie.nichols@alaska.gov; sarah.wilber@alaska.gov; usswcd@mtaonline.net; mearow@matanuska.com; row@enstarnaturalgas.com; row@mtasolutions.com; ospdesign@gci.com; Fire Code <Fire.Code@matsugov.us>; Jill Irsik <Jill.Irsik@matsugov.us>; Eric Phillips <Eric.Phillips@matsugov.us>; regpagemaster@usace.army.mil; Cindy Corey <Cindy.Corey@matsugov.us>; Terry Dolan <Terry.Dolan@matsugov.us>; Jim Jenson <James.Jenson@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Theresa Taranto <Theresa.Taranto@matsugov.us>; Andy Dean <Andy.Dean@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Tam Boeve <Tamboevedistrict7@gmail.com>; robbyundtmsb@gmail.com; info@mlccak.org; Patricia Fisher <psfisher@gci.net>; gaming@mlccak.org; bylaws@mlccak.org; vp@mlccak.org; education@mlccak.org; treasurer@mlccak.org; councilcoordinator@mlccak.org; Camden Yehle <camdenyehle@gmail.com>; parks-rec-trails@mlccak.org; safety@mlccak.org
Subject: Request for Comments: QAP Sylvan CUP

Date: May 12, 2021
To: Various Governmental Agencies
From: Mark Whisenhunt, Planner II
Subject: Request for Review and Comments Governmental Agencies
Project: Conditional Use Permit for Earth Material Extraction
Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian
Applicant: UMIAQ Environmental, on behalf of Colaska Inc. (dba QAP)

An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

Application materials may be viewed online at www.matsugov.us by clicking on “All Public Notices & Announcements.” Application material may also be reviewed at the Borough Permit Center. A direct link to the application material is here:

<https://www.matsugov.us/publicnotice/qap-sylvan-conditional-use-permit>

Written comments are due on or before **June 21, 2021** and will be included in the Planning Commission packet for the Commissioner’s review and information. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

Respectfully,

Mark Whisenhunt
Acting Development Services Manager
Matanuska-Susitna Borough
Office: (907) 861-8527
mark.whisenhunt@matsugov.us

Mark Whisenhunt

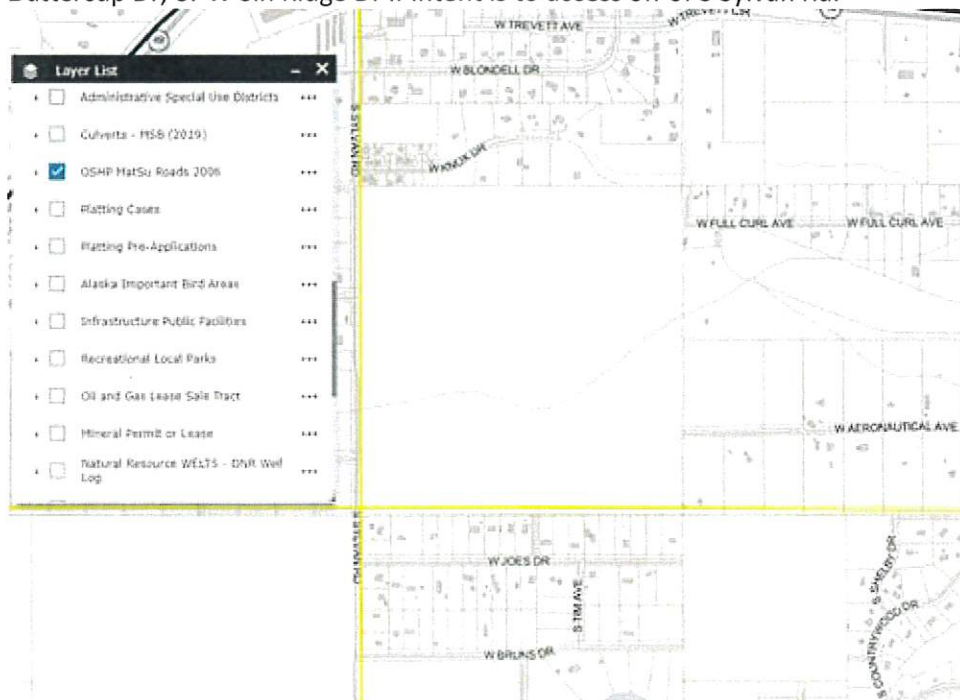
From: Adam Bradway
Sent: Thursday, June 17, 2021 10:17 AM
To: Mark Whisenhunt
Subject: RE: Request for Comments: QAP Sylvan CUP

UMIAQ Environmental, on behalf of Colaska Inc. (dba QAP)
Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North,
Range 2 West, Section 10, Seward Meridian

Comments

Transportation:

-S Sylvan Rd and the section line to the South of the subject property are both identified in the Matanuska-Susitna Borough Official Streets and Highways Plan as future collector level roads. These roads are designed for mobility and should have limited access points to retain optimal traffic flow. As such access to this property should be in alignment with existing roadways to reduce conflict points. Access should likely be directly across from W Marigold Dr, W Buttercup Dr, or W Sin Ridge Dr if intent is to access off of S Sylvan Rd.



-As requested in Staff's Request for Required Information, access should be designed so that trucks do not need to use oncoming lane to enter or exit roadway.

Comprehensive Plan:

The Meadow Lakes Comprehensive Plan may conflict with this use.

-This site is identified as a part of the Town Center, and large scale industrial activities such as a gravel pit are likely in conflict with this use.

-The Meadow Lakes Comprehensive Plan specifies retaining "Open Space" as one of its main policies. This includes retaining large tracts of land to maintain the "natural feel" and protecting wetlands. This large parcel contains an extensive wetland complex as shown in application maps.

-"Maintenance of quality and quantity of surface and subsurface domestic water supplies..."

Adam Bradway

Matanuska-Susitna Borough: Planner II
E Dahlia Ave, Palmer, Alaska
(907) 861-8608

From: Mark Whisenhunt <Mark.Whsenhunt@matsugov.us>

Sent: Wednesday, May 12, 2021 8:40 AM

To: allen.kempen@alaska.gov; tucker.hurn@alaska.gov; melanie.nichols@alaska.gov; sarah.wilber@alaska.gov; usswcd@mtaonline.net; mearow@matanuska.com; row@enstarnaturalgas.com; row@mtasolutions.com; ospdesign@gci.com; Fire Code <Fire.Code@matsugov.us>; Jill Irsik <Jill.Irsik@matsugov.us>; Eric Phillips <Eric.Phillips@matsugov.us>; regpagemaster@usace.army.mil; Cindy Corey <Cindy.Corey@matsugov.us>; Terry Dolan <Terry.Dolan@matsugov.us>; Jim Jenson <James.Jenson@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Theresa Taranto <Theresa.Taranto@matsugov.us>; Andy Dean <Andy.Dean@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Tam Boeve <Tamboevedistrict7@gmail.com>; robyundtmsb@gmail.com; info@mlccak.org; Patricia Fisher <psfisher@gci.net>; gaming@mlccak.org; bylaws@mlccak.org; vp@mlccak.org; education@mlccak.org; treasurer@mlccak.org; councilcoordinator@mlccak.org; Camden Yehle <camdenyehle@gmail.com>; parks-rec-trails@mlccak.org; safety@mlccak.org

Subject: Request for Comments: QAP Sylvan CUP

Date: May 12, 2021

To: Various Governmental Agencies

From: Mark Whisenhunt, Planner II

Subject: Request for Review and Comments Governmental Agencies

Project: Conditional Use Permit for Earth Material Extraction

Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian

Applicant: UMIAQ Environmental, on behalf of Colaska Inc. (dba QAP)

An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

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<https://www.matsugov.us/publicnotice/qap-sylvan-conditional-use-permit>

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Respectfully,

Mark Whisenhunt

From: [Theresa Taranto](#)
To: [Mark Whisenhunt](#)
Subject: RE: Request for Comments: QAP Sylvan CUP
Date: Monday, May 17, 2021 8:35:14 AM

FIRM 8045 and 8055, X Zone.

Thank you,

Theresa Taranto

Mat-Su Borough
Development Services
Administrative Specialist

350 E Dahlia Ave.
Palmer, Alaska 99645
907-861-8574
www.matsugov.us

From: Mark Whisenhunt <Mark.Whsenhunt@matsugov.us>
Sent: Wednesday, May 12, 2021 8:40 AM
To: allen.kempen@alaska.gov; tucker.hurn@alaska.gov; melanie.nichols@alaska.gov; sarah.wilber@alaska.gov; usswcd@mtaonline.net; mearow@matanuska.com; row@enstarnaturalgas.com; row@mtasolutions.com; ospdesign@gci.com; Fire Code <Fire.Code@matsugov.us>; Jill Irsik <Jill.Irsik@matsugov.us>; Eric Phillips <Eric.Phillips@matsugov.us>; regpagemaster@usace.army.mil; Cindy Corey <Cindy.Corey@matsugov.us>; Terry Dolan <Terry.Dolan@matsugov.us>; Jim Jenson <James.Jenson@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Charlyn Spannagel <Charlyn.Spannagel@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Theresa Taranto <Theresa.Taranto@matsugov.us>; Andy Dean <Andy.Dean@matsugov.us>; John Aschenbrenner <John.Aschenbrenner@matsugov.us>; Tam Boeve <Tamboevedistrict7@gmail.com>; robyundtmsb@gmail.com; info@mlccak.org; Patricia Fisher <psfisher@gci.net>; gaming@mlccak.org; bylaws@mlccak.org; vp@mlccak.org; education@mlccak.org; treasurer@mlccak.org; councilcoordinator@mlccak.org; Camden Yehle <camdenyehle@gmail.com>; parks-rec-trails@mlccak.org; safety@mlccak.org
Subject: Request for Comments: QAP Sylvan CUP

Date: May 12, 2021
To: Various Governmental Agencies
From: Mark Whisenhunt, Planner II
Subject: Request for Review and Comments Governmental Agencies
Project: Conditional Use Permit for Earth Material Extraction
Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian
Applicant: UMIAQ Environmental, on behalf of Colaska Inc. (dba QAP)



ENSTAR Natural Gas Company
A DIVISION OF SEMCO ENERGY
Engineering Department, Right of Way Section
401 E. International Airport Road
P. O. Box 190288
Anchorage, Alaska 99519-0288
(907) 277-5551
FAX (907) 334-7798

May 12, 2021

Mark Whisenhunt
350 East Dahlia Avenue
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company has reviewed the following and has no comments or recommendations.

- **Conditional Use Permit for Earth Material Extraction
(MSB # 17.30)**

If you have any questions, please feel free to contact me at 334-7944 or by email at james.christopher@enstarnaturalgas.com.

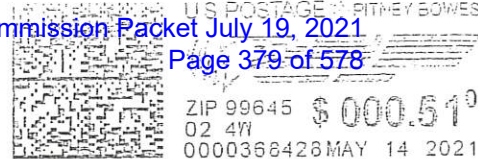
Sincerely,

A handwritten signature in black ink that reads "James Christopher". The signature is written in a cursive, flowing style.

James Christopher
Right of Way & Compliance Technician
ENSTAR Natural Gas Company

Public Comments

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645



Matanuska-Susitna Borough
Development Services

JUN 20 2021

52686B01L003 95

Received

WASILLA AK 99623

The Planning Commission of the Matanuska-Susitna Borough will consider the following:

Applicant: UMIAQ Environmental on behalf of Colaska Inc. (dba OAP)
Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian.
Request: An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

The Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, July 19, 2021 at 6:00 p.m. in the Borough Assembly Chambers, 350 E. Dahlia Avenue, in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. Please Note: Due to the ongoing Coronavirus/COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough website. The public is encouraged to check the Borough website prior to attending the public hearing for any changes to the meeting schedule or method. The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application material may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527. The public may provide verbal testimony in person at the meeting or telephonically by calling 1-855-290-3803. You will hear "Joining conference" when you are admitted to the meeting. You will be automatically muted and able to listen to the meeting. When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, "Your hand has been raised." When it is your turn to testify, you will hear, "Your line has been unmuted." State your name for the record, spell your name, and provide your testimony. You have 3 minutes to state your concerns & comments. This is not a question and answer session. This is only for stating your concerns and comments.

Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to mark.whisenhunt@matsugov.us. In order to be eligible to file an appeal for a decision of the Planning Commission, a person must be designated an "interested party." (See MSB 15.39.010 for the definition of "interested party.") The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before June 21, 2021 and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning commission, but will be provided to the Commission at the meeting.

Name: Madysen McRee Mailing Address: 6906 W Blundell Dr Wasilla, AK 99623

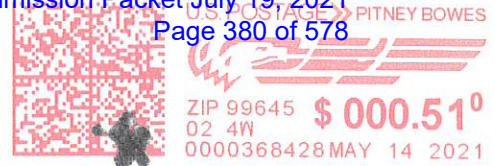
Address of your property: 6906 W Blundell Dr Wasilla, AK 99623

Comments: ~~I disagree with the placement of this gravel/asphalt pit.~~ So sorry for late comment.

I disagree with the placement of this gravel/asphalt pit.

I DO NOT want this in my neighbor hood. Note: Vicinity Map Located on Reverse Side

I will be calling/joining this public hearing to say NO to this. Thanks!



Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645

Matanuska-Susitna Borough
Development Services

JUN 22 2021

Received

53080B01L014 216
REESE JAMES L
PMB 570
7362 W PARKS HWY
WASILLA, AK 99654-9132

The Planning Commission of the Matanuska-Susitna Borough will consider the following:

- Applicant:** UMIAQ Environmental on behalf of Colaska Inc. (dba QAP)
- Location:** Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian.
- Request:** An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

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Name: James L. Reese Mailing Address: 7362 W. PARKS HWY #570 WASILLA AK 99623

Address of your property: 7120 W. BLONDELL DR. WASILLA AK 99623

Comments: TRAFFIC DANGER FOR CHILDREN ROAD NOT WIDE TO HANDLE THAT MANY TRUCKS DANGER TO OTHER TRAFFIC TO GET ON & OFF RIGHT OF WAY

ASPHALT PLANT IS NOT GOOD FOR HUMAN OR ANIMAL HEALTH

Note: Vicinity Map Located on Reverse Side

Robert Coffin
P.O. Box 872865
Wasilla, Alaska 99687

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

To: Matanuska Susitna Borough
Development Services Division
350 E. Dahlia Ave.
Palmer, Alaska 99645
Attention: Mark Whisenhunt

I have attached the petition/comment sheets we collected in opposition to the proposed gravel pit on Sylvan road. (#17N02W10C001) . It is important that the comments are reviewed. We have found that many of the home/land owners that received the Borough mailing did not read the original mail out and threw it away. We also found that the people who may have been most affected many not have received a Borough mailing as tenants not land owners. There are many multi-family units especially on Knox Rd.

Robert Coffin



I Audrey L Morlock

Residing at 6951 W Jones Dr Wasilla AK 99654

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

This is not the place for a
fight between two subdivisions and will hurt
us people trying to sell.

Signed Audrey L Morlock

Date 6-18-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I John Murphy

Residing at 6700 W Blondell Rd

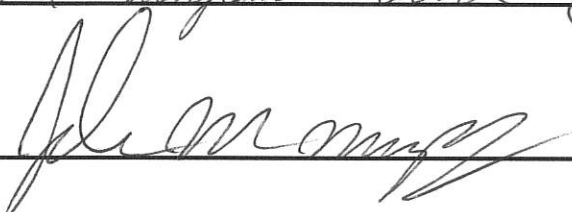
I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

The valley has plenty of places
to get gravel and make asphalt
we don't need to place one in a
residential neighbor hood (Born down pitman rd
time was my whole life)

Signed



Date _____

If you need to have this Petition picked up call 907-414-2401

715-6166

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I LAWRENCE A. SCHACHLETH

Residing at 7494 W. SUNRISE CIR

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

THE PROPOSAL GOES AGAINST MAT-SU - BOROUGH
CODE 17.30.060 GENERAL STANDARDS FOR APPROVAL
LIVE 2 - THAT THE USE WILL PRESERVE THE VALUE, SPIRIT, CHARACTER + INTEGRITY OF AREA
LIVE 4 - GRANTING THE PERMIT WILL NOT BE HARMFUL TO THE
PUBLIC HEALTH, SAFETY, AND GENERAL WELFARE.

Signed



Date 6-15-2021

If you need to have this Petition picked up call 907-414-2401.

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Roger J Oliver

Residing at 6721 W. Joes Drive

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

I have already lost A Sale of my
House Just Because Proposal of Gravel Pit
There is Plenty of Places they could Do gravel
Pit

Signed

Roger J Oliver

Date 6-9-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Ronald J Hebert

Residing at 7699 W Sun Ridge Circle, Meadow Lakes
99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Loss of property value goes against MSB 17.30.060

The CUP repeatedly goes against Borough code
17.30.060, Use of land for gravel pit is not consistent
with the comprehensive plan for the meadow lakes area.

Signed



Date 6-19-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Sherril Russer

Residing at 6911 W Scatters Way Waukena OK 79623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

I am concerned with the damages that
will occur to the surrounding neighborhoods
water + sewer systems. This is residential and not
a place for large industrial uses. There are many
opportunities for gravel further up the highway
without these consequences. The Boro does not receive
any benefit financially from gravel thus
the residents have no obligation to support.
Signed Sherril Russer

Date 6-7-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Jacob A Hendricks

Residing at 6180 Calico Dr Apt. #A

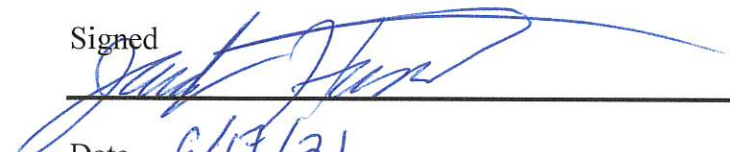
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Other Comments:

The thought to the negative impact to the area
Knoke first hand having lived in Seattle until 11/18

Signed



Date

6/17/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Dixie Haas

Residing at 6110 W. Calico Dr. #C

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed Dixie Haas

Date 6/17/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Alexis Long

Residing at 6180 Calico Dr. Unit A

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed

Alexis Long

Date 6/17/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Pamela Riddles

Residing at 6180 Calico Dr. Unit A

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed 

Date 6/17/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Joyce Stubbis

Residing at 1320 Shelby Dr. Wasilla, AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on
Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township
17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust
and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500
truck trips on the road in one day, as listed in the application by the gravel company ,
would be a monumental problem. The loss of value for my home and property is of great
concern. I am also concerned about the effects this may have on the children attending
the American Charter Academy.

Other Comments:

No gravel pit please

Signed

Joyce Stubbis

Date

6/16/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Sarah Robert Fernandez

Residing at 1320 Shelby

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

No gravel pit

Signed

Sarah Robert Fernandez

Date

6/16/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Ida Lorraine Kevan

Residing at 1357 S. Shelby Dr. Wasella, AR 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Stop! No gravel pit!

Signed

Ida Lorraine Kevan

Date

6.17.2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Jane Axberg

Residing at 6781 Joe's Drive

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed

Jane Axberg

Date

6-17-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Kathleen Koenenman

Residing at 7118 W. Knox Dr

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Wrong location!!!

TO many humans & animals!!

Signed Kathleen M. Koenenman

Date 6/17/21

where are our rights!!

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Hop Schuening

Residing at 7571 Wattercup Dr Wasilla

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed

Hop Schuening

Date

6-15-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Kim Kalmbach

Residing at 2861 N GAUJIDAE DR. Wallis/Meadow
Lakes

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on
Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township
17 North Range 2 West Section 10 Seward Meridian.

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and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500
truck trips on the road in one day , as listed in the application by the gravel company ,
would be a monumental problem. The loss of value for my home and property is of great
concern. I am also concerned about the effects this may have on the children attending
the American Charter Academy.

Other Comments:

Signed Kim Kalmbach

Date 06/07/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Rachel E. Hebert

Residing at 7699 W. SunRidge Circle, Meadow Lakes, 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed Rachel E Hebert

Date 6/19/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Amy A. Spickler

Residing at 1251 N. Linger Lane Wasilla Ak 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed

Amy A. Spickler

Date 6-19-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I DAVID L FRAKER

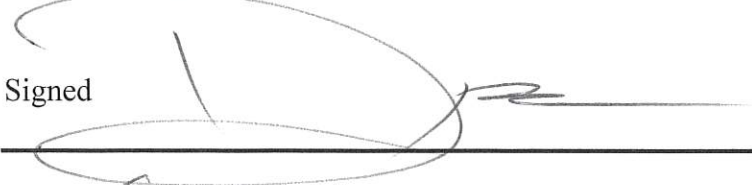
Residing at 7841 W SUN RIDGE CIRCLE

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed



Date 6-13-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Taryn Fraker

Residing at 7841 Sun Ridge Cir

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed

Taryn Fraker

Date

June 13, 2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I JEFF EHLERS

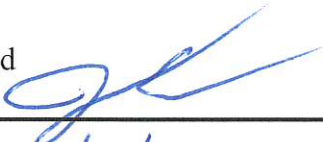
Residing at 6420 W AERONAUTICAL AVE 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed



Date 6/13/2021

If you need to have this Petition picked up call 907-414-2401

Be/18th

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I David S. Kelly

Residing at 6350 W. Aeronautical

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed

David S. Kelly
Date 6/13/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Lars Oland

Residing at 6351 W. Aeronautical Ave

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

I oppose this gravel pit
development.

Signed

Lars Oland

Date

June 13, 2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Isaiah Chevalier


Residing at 6351 Aeronautical

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed



Date 6/13/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Matthew Leseman

Residing at 6280 Aeromutual

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed Matthew Leseman

Date 6/13/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Michelle Hanks

Residing at 4201 W Aeronautical Ave.

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed

M Hanks

Date 6-13-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Vicki Johnson

Residing at 9632 W. Sun Ridge Circle

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed Vicki Johnson

Date 13 Jun '21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Delmar W Johnson

Residing at 7632 W Sun Ridge Circle, Wasilla AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed Delmar W Johnson
Date 6-12-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Nellie Hanousek

Residing at 7172 KNOX Dr. Wasilla, AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments: Parks Hwy | Pittman | Sylvan traffic disaster
Environmental ramifications - water, moose, septic
child safety - schools
mental, physical & spiritual issues
road is not structured to provide that much vehicle/truck
emergency traffic issues traffic

Signed Nellie Hanousek

Date 6/13/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Jennie Rupp

Residing at 521 S Sylvan Rd

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Safety for kids!

Signed Jennie Rupp

Date 6/11/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

Lot
1
490-
Subdiv.

I Haden Dean Williams

Residing at 551 S. Sylvan Rd. 99623

Lot
2
4th
Subdiv.

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed Haden Williams

Date 6/11/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Kristen Muley

Residing at 571 S. Gary Cir, Wasilla, AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Lot
12
492
Subdiv

Other Comments:

Signed

Kristen Muley

Date

6/11/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Noah Spencer

Residing at 7080 W Knox Dr

lot 13

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

492
Subdiv

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed Noah Spencer

Date 6/8/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Harriet Frankson

Residing at 6962 W. Knox dr.

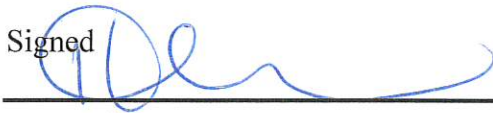
I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

The value of my house will go down,
I've worked so hard & for my property
value to go down that will definitely
not affect me.

Signed



Date

6-11-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

Lot
2
on
Knox
past
year
Subdiv

I Tammy Hoerauf
Employed at _____
Residing at 7362 W. Parks Hwy #26A

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

The high volume of gravel trucks as
would affect our business/customers.

Signed Jay Haug
Date 6/11/21

If you need to have this Petition picked up call 907-414-2401

By 21st
June

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I HEATHER LANGENDORF

Residing at Lot 8 Lost Spring Subdivision

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Negative impacts of a gravel mine are destruction of landscape, water pollution, light pollution, air + noise pollution resulting in cumulative exposure to residence loss of benefits of intact forest ecosystems and natural environments on mental health of residents ~~which is~~ Build a school, build a park, build houses. Not a industrial site.

Signed



Date 06/13/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Whitney Crombie

Residing at 6798 W. Knox Drive Wasilla, AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

I am also concerned about contamination to my water well, as well as the wells of the other residents in the area. Another concern is destruction of forested habitat and degradation of wildlife.

Signed

Whitney Crombie

Date 6/13/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Cynthia R. Lewis

Residing at 2984 W. Loon Shore 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed Cynthia R. Lewis

Date 6/18/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Michael P. Lewis


Residing at 2904 N. Lees Shore Dr., Horton, AK

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed



Date

6/18/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I James Shepherd

Residing at Casillae Cade

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed [Signature]

Date 6/19/2021

If you need to have this Petition picked up call 907-414-2401

By [Signature]
June 19th

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Sierra Lyman

Residing at 6780 West Joe's Drive

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed Sierra Lyman

Date 6-10-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Alex Godfrey

Residing at 6780 West Joes Drive Wasilla, AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed

Alex Godfrey

Date 6-10-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Norman Godfrey

Residing at 6780 W. Joe's Drive Wasilla AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Sylvan road is not set up to handle
500 trucks a day & work in the construction
industry and understand very well what
it takes to operate a gravel pit including
loader, dozers, excavators and Rock Crushers/screen
plants. This is not right for our neighborhood!!

Signed

Norm 2 Godfrey

Date 6-10-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Skylar Harris

Residing at 6850 W. Joe's Dr.

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Lots of Buses go through the neighborhood.

Signed Skylar H.

Date 6/10/20

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I ROBERT OTTIN

Residing at 7046 W BONDAL DR

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

WRONG PLACE FOR A
GRAVEL PIT.

Signed

[Signature]

Date

6/20/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Rene GRANT

Residing at 570 S. MIKE CR

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

There are many other non residential places to
get gravel from.
We are home owners

Signed  GRANT

Date June 10-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Karen M. Zajchowski

Residing at 6977 W. Joes Dr.

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed Karen M. Zajchowski
Date June 13, 2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I James Lee Estes

Residing at 13511 Parks Hwy Unit 2

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed



Date

6-6-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Holly GERlach-Grant

Residing at 9001 Sylvia Drive - Meadowlakes

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

poor selection of gravel site w/o thought
or concern to homes, people's environment, lack
of a roadway to handle travel, noise, pollution,
misuse of aquifer/water level, destroy natural
use of land as it is used now -

Signed

Holly E Gerlach-Grant

Date 6-6-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I PATRICIA FISHER

Residing at 2360 LARRY TRAIL

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed

Patricia Fisher

Date

6/4/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Hailee Godfrey

Residing at 6780 West Joe's Drive Wasilla, AK 99623

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Other Comments:

We have bus stops at every intersections on our roads.
I am an alumni of American Charter and they constantly
use our neighborhood for physical education.

Signed

Hailee Godfrey

Date 6-10-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Sarah Godfrey

Residing at 6780 W. Jo's Drive Wasilla AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

- Per the State of Alaska - Sylvan has been marked
as earthquake damaged, and as of yet it has not been repaired.
- Sylvan floods yearly from run-off near Blondell.
- The neighborhoods traffic already exceed the stop lights
timer, allow roughly (5) cars per cycle. It simply cant handle
commerical traffic.

Signed

Sarah Godfrey

Date 6.10.2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Dee A. Prescott

Residing at 1726 N. LAKEVIEW DRIVE, MEADOW LAKES, AK
99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

~~DEE A. PRESCOTT~~ MAKING A GRAVEL PIT IN A RESIDENTIAL NEIGHBORHOOD IS RIDICULOUS. THE INTERSECTION AT PITMAN/SYLVAN AND PARKS HIGHWAY IS DANGEROUS ENOUGH WITHOUT TRUCK TRAFFIC AND THE PARKS HWY SIDE ROADS AS WELL.

Signed Dee A. Prescott

Date 6-11-2021

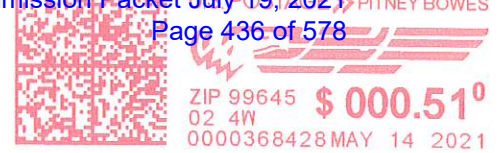
If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645



Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

51355B04L011 83
FRANZ ELECTRIC INC
PO BOX 872865
WASILLA, AK 99687-2865

The Planning Commission of the Matanuska-Susitna Borough will consider the following:

Applicant: UMIAQ Environmental on behalf of Colaska Inc. (dba QAP)
Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North Range 2 West, Section 10, Seward Meridian.
Request: An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

The Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, **July 19, 2021 at 6:00 p.m.** in the Borough Assembly Chambers, 350 E. Dahlia Avenue, in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. **Please Note: Due to the ongoing Coronavirus/COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough website. The public is encouraged to check the Borough website prior to attending the public hearing for any changes to the meeting schedule or method.** The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application material may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527. **The public may provide verbal testimony in person at the meeting or telephonically by calling 1-855-290-3803.** You will hear "Joining conference" when you are admitted to the meeting. You will be automatically muted and able to listen to the meeting. When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, "Your line has been unmuted." State your name for the record, your name, and provide your testimony. You have 3 minutes to state your concerns & comments. This is not a question and answer session. This is only for stating your concerns and comments. Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to mark.whisenhunt@matsugov.us. In order to be eligible to file an appeal for a decision of the Planning Commission, a person must be designated an "interested party." See MSB 15.39.010 for the definition of "interested party." The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before **June 21, 2021** and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning commission, but will be provided to the Commission at the meeting.

Name: ROBERT COFFIN **Mailing Address:** PO Box 872865 WASILLA
Address of your property: 7566, 7474, 7430 W Bottercup DR
Comments: SEE ATTACHED! 7085, 7097 W Bottercup DR

Note: Vicinity Map Located on Reverse Side

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

53080B01L012 53
COFFIN ROBERT H & DORIS C
PO BOX 872865
WASILLA AK 99687-2865

The Planning Commission of the Matanuska-Susitna Borough will consider the following:

- Applicant:** UMIAQ Environmental on behalf of Colaska Inc. (dba OAP)
- Location:** Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian.
- Request:** An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

The Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, **July 19, 2021 at 6:00 p.m.** in the Borough Assembly Chambers, 350 E. Dahlia Avenue, in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. **Please Note: Due to the ongoing Coronavirus/COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough website. The public is encouraged to check the Borough website prior to attending the public hearing for any changes to the meeting schedule or method.** The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application. Application material may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527. **The public may provide verbal testimony in person at the meeting or telephonically by calling 1-855-290-3803.** You will hear "Joining conference" when you are admitted to the meeting. You will be automatically muted and able to listen to the meeting. When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, "Your hand has been raised." When it is your turn to testify, you will hear, "Your line has been unmuted." State your name for the record, spell your name, and provide your testimony. You have 3 minutes to state your concerns & comments. This is not a question and answer session for stating your concerns and comments. Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to mark.whisenhunt@matsugov.us. In order to be eligible to file an appeal for a decision of the Planning Commission, a person must be designated an "interested party." See MSB 15.39.010 for the definition of "interested party." The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough. Comments are due on or before **June 21, 2021** and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning commission, but will be provided to the Commission at the meeting.

Name: ROBERT COFFIN Mailing Address: PO BOX 872865 WASILLA
Address of your property: 7046 W BLONDELL
Comments: SEE ATTACHED!

Note: Vicinity Map Located on Reverse Side

REVIEW OF THE GRAVEL PIT & ASPHALT PLANT TO BE LOCATED ON SYLVAN ROAD

This study was prepared in a short period of time and did not allow for the use of some of the referenced material. A search of the internet will provide additional data as needed. I will try to best address my concerns as to the negative effects the Gravel pit and Asphalt plant will have on the area. The proposed pit/asphalt plant will change the MEADOWS LAKE NEIGHBORHOOD in the Sylvan Road area for many years to come.

“INTERESTED PARTY”

I own several homes in the effected area, 7085 Blondell Dr. I also own numerous other land parcels and business located in the (“Project Site”) affected area as shown on the drawings, both personally and in our corporation’s name.

1.0 NEIGHBORHOOD

The proposed gravel pit and asphalt plant will be located in a residential neighborhood. The location is a young neighborhood and is surrounded by homes with many young children. The need for gravel does not justify the opening of this pit. There are many other sources of Gravel within a reasonable distance to satisfy the needs of the community. This area is designated at the Town Site for Meadow Lakes in their Comprehensive Plan. It is not designated an industrial area.

2.0 HEALTH CONCERNS.

The dust generated by the processing of gravel and the fumes and odor generated by the operation of an asphalt plant are not compatible with the good the health of both children and adults. Numerous studies have shown this will permanently damage a person’s health. Time did not permit the approval for the use of existing studies; all are available by a quick internet search on the negative health affects of the operation of a gravel pit and asphalt plant. The permit allows 500 TRUCKS A DAY or 1000 trips a day!!!!

3.0 SCHOOLS

The American Charter School is located less than one thousand feet from the proposed pit. The road used by the school for the exercise students is Sylvan road. The permit will allow up to 500 trucks a day to be run on the same road that the students use during the exercise time. Has anyone considered the health of the students? Has anyone contacted the school principle? See attached #1

There is also a Daycare Center located within the same building. This center has an outdoor playground. Has anyone considered the effects of dust and odor on the small children who attend this daycare? Has anyone contacted the operator of the Daycare?
See attached #2

4.0 EXISTING ROAD

Sylvan Road has had problems in the past with fast running vehicles and the danger to children. The MATANUSKA SUSITNA BOROUGH has already lowered the speed limit on a section of Sylvan road and posted it with signs warning of children in the area. The area already posted is located within twenty foot of the proposed pit entrance. If the road has a known hazard already what will result with the addition of several hundred gravel trucks a day do to the hazard? See attached # 3

Is Sylvan road constructed to the demands to be made of it with the running of hundreds of heavy belly dumps each day? Has anyone researched the existing road ratings? Who will repair the road during the operation of the pit? Who will rebuild the road as needed? Who will return it to the existing condition after the pit closes? (2041!!!!) Is there adequate easement along the truck route?

5.0 TRAIL

The proposed gravel pit location has an existing trail running through it. This is a known trail and the permit application speaks of the trail. Does this trail fall under the State of Alaska Trails act RS2477? Is it a 17(b) easement? Has anyone researched the standing of the trail?

6.0 WATER TABLE

Past gravel pits opened in the Matanuska Valley have proved to be a problem for the existing water wells located in the area. As this proposed pit is SURROUNDED by homes with each having individual water wells, will the water quality and water table be affected? There is also a registered Class A water system. This system is protected by State and Federal statutes. Who will be responsible for any water problems that develop? The State, the Borough or the pit operator? Has a hydrologist report been commissioned to show the condition, elevation and scope of the water table (Aquifer)?

7.0 AIRPORT

The proposed gravel pit and asphalt plant will be located directly under the approach of an existing listed AIRPORT. What effect will the operation have on the departing and landing aircraft? Will the dust and fumes affect the visibility and operation of aircraft landing or departing? Will the dust affect aircraft parked on the apron? Time does not permit consulting the FEDERAL AVIATION ADMINISTRATION concerning the operation of a gravel pit directly UNDER the approach of an airport. Have FEDERAL REGULATIONS (14CFR) part 77 been reviewed? Has the Federal Aviation Administration form 7460-1 and 7460-2 been submitted? Who assumes the liability if a plane has an accident? The land owner (State of Alaska)? The permit issuer? (The Matanuska Susitna Borough) or The Operator? Most likely the plaintiff would file suit against them all. See attached #4

8.0 HOME VALUE

How will the operation of this GRAVEL pit and ASPAHLT plant affect the value of the homes in the area? Will the value decrease by 30 percent, 50 percent or some other amount? Do you think that if your home is for sale and a perspective buyer is driving up Sylvan and the Asphalt plant is operating he will show up to look or just turn around and look somewhere else? The operation of the gravel pit will most likely affect the value of all property in the area, the question is to what degree?

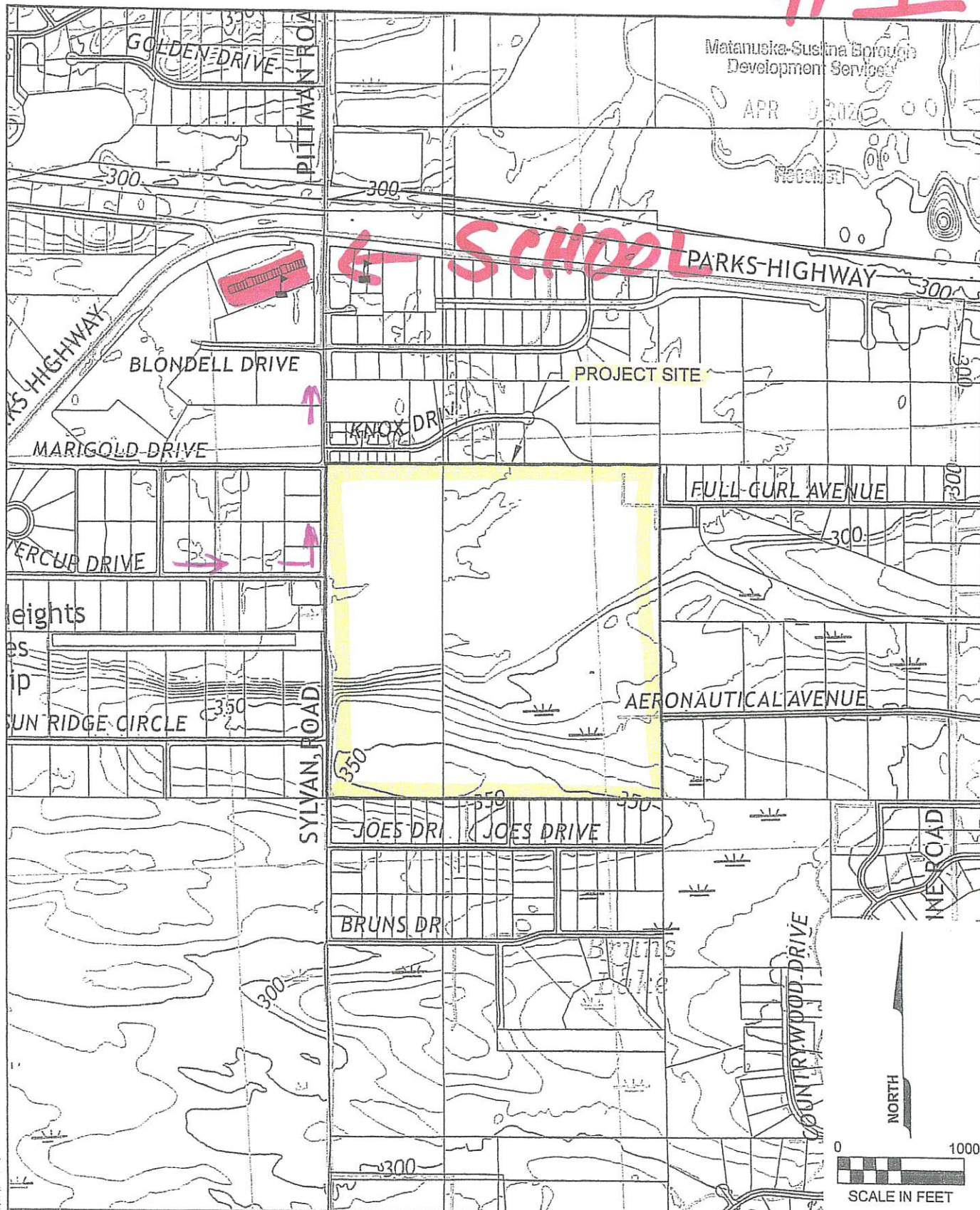
Conclusion

I have lived in Alaska for 49 years. I make my living due to development. I have traveled from one end of this great state to the other. I have worked in over 60 towns and villages. I AM NOT anti development. I believe in this case locating a pit on Sylvan Rd. is just the wrong location, especially when there is so much gravel available in the vicinity.

Robert Coffin

6/4/2021

#1



UMIAQ
 ENVIRONMENTAL

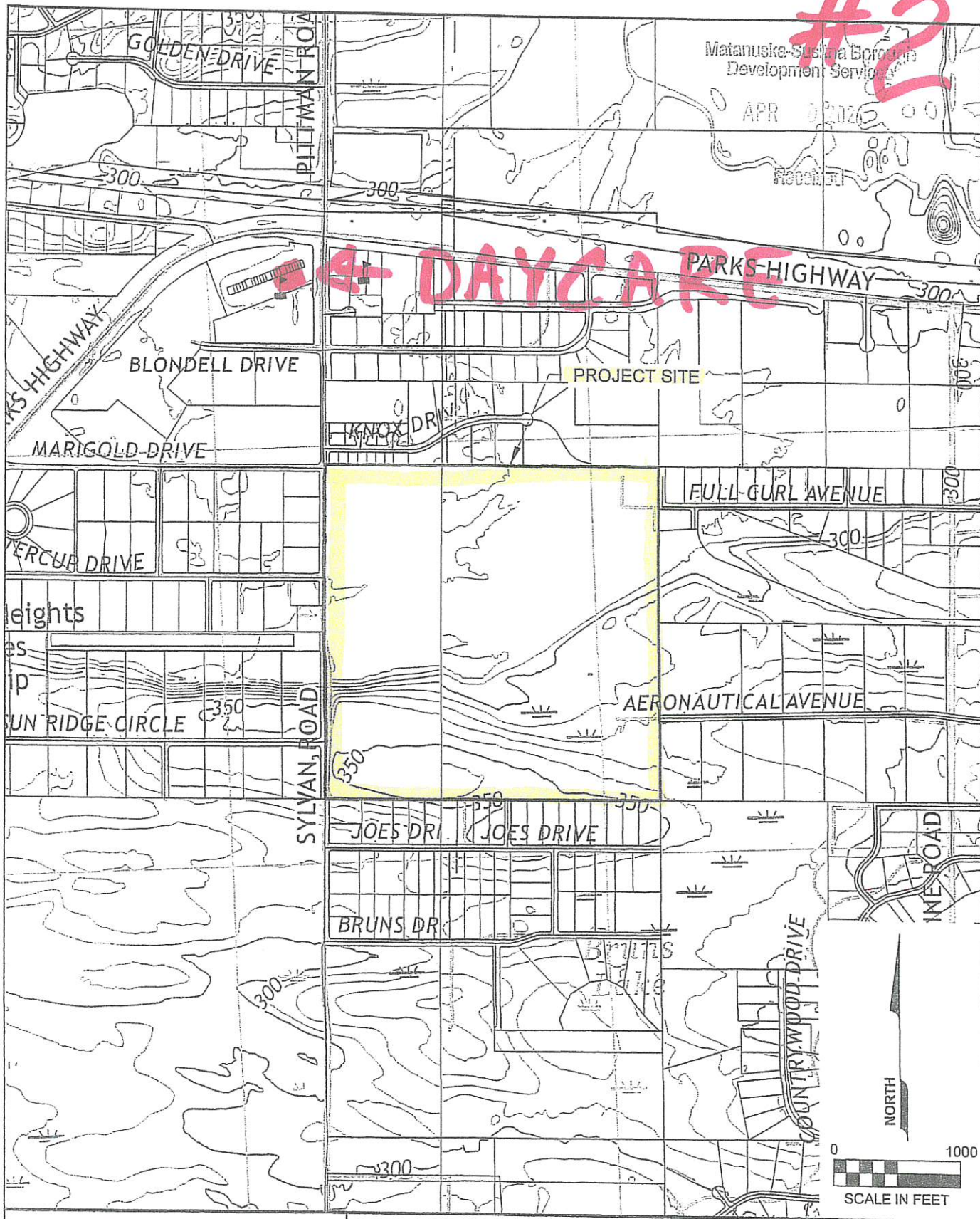
937 SOUTH SYLVAN ROAD CONDITIONAL USE PERMIT

TOPOGRAPHIC MAP

WASILLA, ALASKA

DATE:	03/26/2021	DRAWN BY:	SM	SHEET:	FIGURE 6
SCALE:	AS SHOWN	CHECKED BY:	EM	JOB No:	05-2019.01

#2



UMIAQ

937 SOUTH SYLVAN ROAD CONDITIONAL USE PERMIT

TOPOGRAPHIC MAP

WASILLA, ALASKA

DATE:	03/26/2021	DRAWN BY:	SM	SHEET:	FIGURE 6
SCALE:	AS SHOWN	CHECKED BY:	EM	JOB No:	05-2019.01

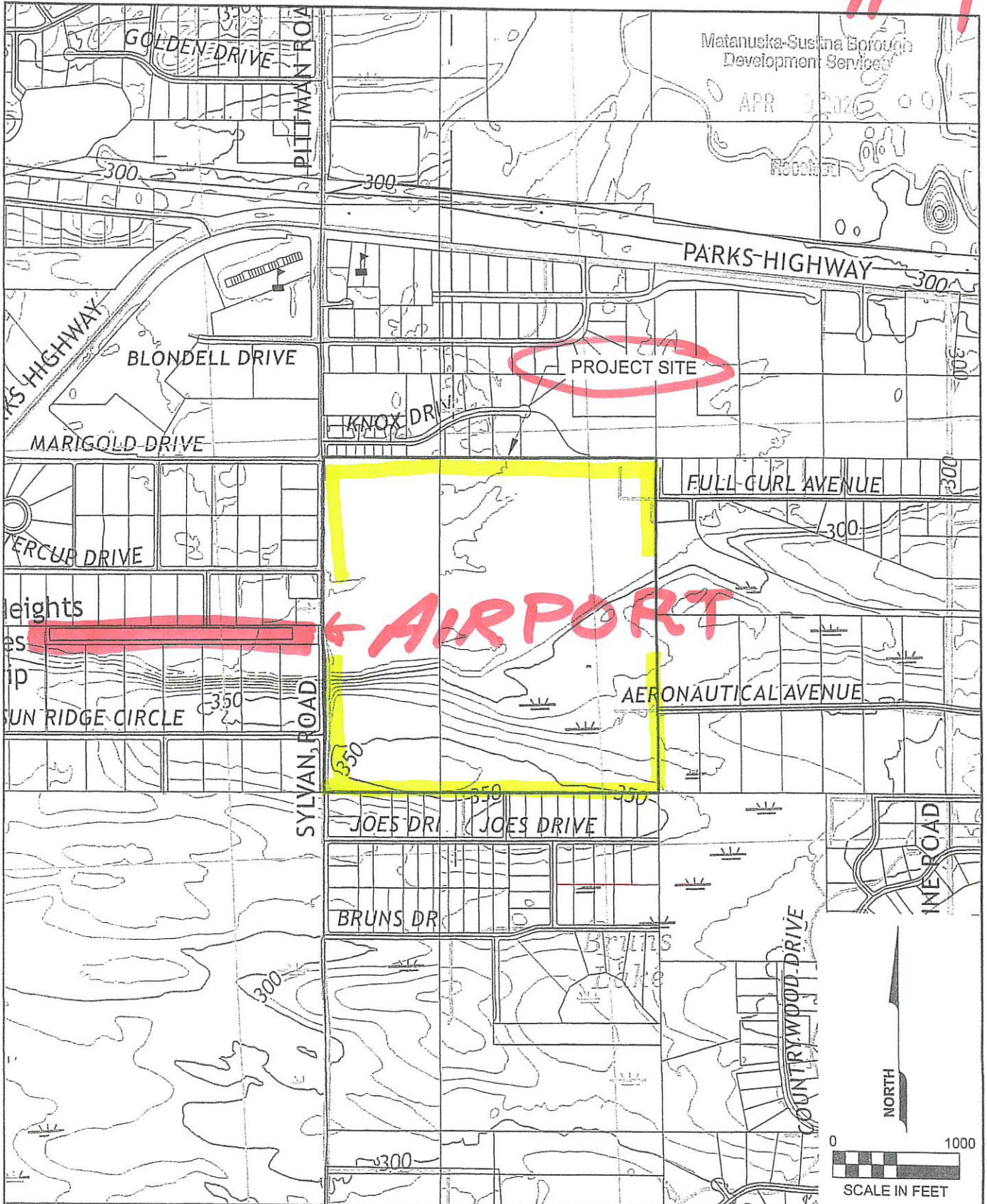
#3

SPEED
LIMIT
25

SLOW
CHILDREN
PLAYING


CHECK
YOUR
SPEED

4



937 SOUTH SYLVAN ROAD CONDITIONAL USE PERMIT

TOPOGRAPHIC MAP

WASILLA, ALASKA

UMIAQ
 DEVELOPMENT

DATE:	03/26/2021	DRAWN BY:	SM	SHEET:	FIGURE 6
SCALE:	AS SHOWN	CHECKED BY:	EM	JOB No:	05-2019.01

I Randy Randall


Residing at 6915 W Trevett Ave Wasilla AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company , would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed



Date 6/11/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Ronny Randall

Residing at 1011 S. Bettina Way Wasilla AK 99623
6915 W. Frewett Way, Na AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed 

Date 6/11/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Lyn Capers

Residing at 3421 N. Double Bother Cr

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

I have severe asthma and travel Sylvan
is buttercup often for church. The dust
alone could bring on an attack for me and
they aren't fun. Bad idea!!!

Signed Lyn Capers

Date 6/13/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I BERNIE W. MOFFITT

Residing at 3421 N. DOUBLE BOTHER CIRCLE

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

I DRIVE SYLVAN AND BUTTERCUP
AT LEAST A FEW TIMES EVERY WEEK
DODGING TRUCKS, BELLY DUMPS AND
POT HOLES IS NOT MY STRONG SUIT.

Signed

Bernie W. Moffitt

Date 6-13-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Tami Rae Overton

Residing at 850 N. Amber Dr. ~~Wesilla AK~~ 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

The intersection CAN NOT handle the traffic now,
much less after the pit. I have a house out here
for peace and quiet and it has been for 17 years!

Signed



Date June 10, 2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Olena Oliver

Residing at West Jones Drive 6721

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

NO GRAVEL PIT!!!
Would you like to have
a gravel pit on your back
yard??? Just think about it!!!

Signed

Olena Oliver

Date 6/9/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I ROBERT HALL

Residing at 7290 W SUNAL RIDGE CIR WASILLA AK 99623

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Other Comments:

THIS PIT ON TOP OF THE NEW
56 LOT SUBDIVISION OFF OF BRUINS, WOULD
MAKE SYLVAN NON-TRAVERSIBLE, THE LOCAL COMMUNITY
CANNOT SUPPORT ONE, LET ALONE, BOTH OF THESE PROJECTS.

Signed



Date

JUN 18 21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I FRANK GREGORY

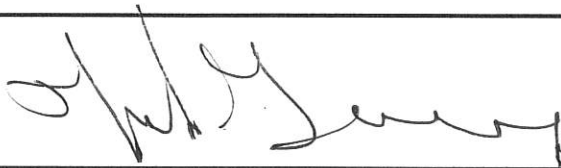
Residing at 6901 W. JOES DRIVE WASILLA *AK 99623*

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed



Date

6-13-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Melinda L. Gregory

Residing at 6901 W. Joe's Dr Wasilla, AK 99623

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Other Comments:

Signed

Date 6/13/2021

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Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I SANDRA J. Phillips-Johnson

Residing at 1399 S. Tim AVE, Wasilla 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Speeding on Road; Car-Truck Incidents;
The Property Value will decrease; Access to Parks Hwy
greatly decreased due to Truck Traffic; Concern for
Emergency Access to our community on Vine Rd

Signed Sandra Phillips-Johnson

Date 6/13/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645



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Matanuska-Susitna Borough
Development Services

JUN 21 2021

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Received

WASILLA AK 99623

The Planning Commission of the Matanuska-Susitna Borough will consider the following:

Applicant: UMIAQ Environmental on behalf of Colaska Inc. (dba QAP)
Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian.

Request: An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

The Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, July 19, 2021 at 6:00 p.m. in the Borough Assembly Chambers, 350 E. Dahlia Avenue, in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. Please Note: Due to the ongoing Coronavirus/COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough website. The public is encouraged to check the Borough website prior to attending the public hearing for any changes to the meeting schedule or method. The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application material may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527. The public may provide verbal testimony in person at the meeting or telephonically by calling 1-855-290-3803. You will hear "Joining conference" when you are admitted to the meeting. You will be automatically muted and able to listen to the meeting. When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, "Your hand has been raised." When it is your turn to testify, you will hear, "Your line has been unmuted." State your name for the record, spell your name, and provide your testimony. You have 3 minutes to state your concerns & comments. This is not a question and answer session. This is only for stating your concerns and comments.

Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to mark.whisenhunt@matsugov.us. In order to be eligible to file an appeal for a decision of the Planning Commission, a person must be designated an "interested party." See MSB 15.39.010 for the definition of "interested party." The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before June 21, 2021 and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning commission, but will be provided to the Commission at the meeting.

Name: Olena Oliver Mailing Address: P.O. Box 298767
Address of your property: 6721 West Jones Drive
Comments: NO GRAVEL PIT!!!

Note: Vicinity Map Located on Reverse Side

I Dawn Harris

Residing at 6850 W. Joe's Dr. Wasilla, AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed 

Date 6/13/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I John Harris

Residing at 6850 W. Joe's Dr. Wasilla, AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed

John Harris

Date

6/13/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Morgan Williams

Residing at 66661 W. Jo's Dr.

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed 

Date 6/13/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Byron Dale Bruhs

Residing at 6780 W Bruhs Dr

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Sylvan has no turn lanes,

Signed

Byron Dale Bruhs

Date 6-13-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Carmelina & Mike DeHart

Residing at 7080 W. Joes Dr

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

there is only one way in & out. too much traffic
the borough was given moneys over 10 yr ago to
connect Sylvan but never did

Signed

Carmelina DeHart Mike DeHart

Date 6-13-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Monica D. Alderman

Residing at 7350 Sun Ridge Cir

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Why not put a gravel pit
where there aren't houses/subdivisions?!!

Signed Monica D. Alderman

Date 6-13-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I TAYLOR FRAKER

Residing at 7841 SUN RIDGE CIR

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed Taylor Fraker

Date 6/13/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

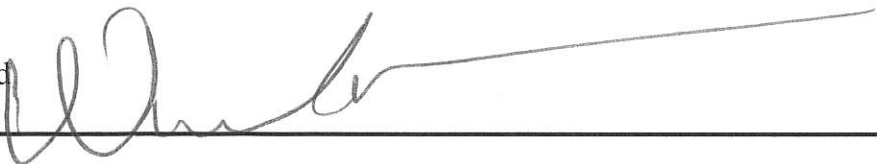
I DAVID WESLEY FRANK

Residing at 7541 W. SUN RIDGE CIR

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed 

Date 6-13-21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Gary McFee

Residing at 6916 W. Toes Drive, Wasilla AK 99623

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed



Date 13 June 21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Amy Schachle

Residing at 7494 West Sun Ridge Circle

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Sylvan Cannot handle traffic

I don't want to live by a gravel pit

Signed Amy Schachle
Date 10/13/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Elissa Williams

Residing at 6661 W. Jones Dr.

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed Elissa Williams

Date 6/13/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Mark Alderman

Residing at 7350 Sun Ridge Circle

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed

Mark Alderman

Date 6/13/2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Mary White Meacham

Residing at 551 S Sylvan Rd Wasilla

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments: The trucks and noise
is not exceptable
more is the value of our property

Signed Mary White Meacham

Date 6-13-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Ed Hanousek

Residing at 7172 Knox Drive

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed Ed Hanousek

Date Jun 13 2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Joshua (JJ) Briggs

Residing at 590 Mike Cr

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed



Date

6/13/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Matthew Medinas

Residing at 6976 W Blondell Dr / 6949 Knox Dr

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

Signed



Date 06 13 21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I Doris Coffin

Residing at 7085 W Broadway DR

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

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Other Comments:

I'm in credicle hedlth problems, 40 years Plus of
Chronic diabetes, Chronic bronchitis with inhaler Stand by
Tyroids, Including Several Surgeries
Gravel pit + Asphalt plant will kill me + I'm 75 yr. old

Signed 

Date 6/20/21

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

I SUSAN HOLTZHEIMER

Residing at 7610 W Buttercup DR WASILLA

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

Signed Susan M Holtzheimer

Date 06-20-2021

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received


I James L. Rees
Residing at 7120 Blondell DR. W. Wasilla AK ⁹⁹⁶²³

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments: Road NOT wide For that much
Truck Traffic kids AROUND
DANGEROUS For other Traffic - NOT HEALTHY For
HUMANS OR ANIMALS

Signed



Date _____

If you need to have this Petition picked up call 907-414-2401

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

Mark Whisenhunt

From: Jesse James <jesse.z.jamesii@gmail.com>
Sent: Monday, June 21, 2021 10:15 AM
To: Mark Whisenhunt
Subject: 937 South Sylvan Road gravel pit

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mark,

Good morning, let it be known that I live within the 1/2 mile buffer zone of the proposed gravel pit site and I absolutely support it. I do wonder why we aren't utilizing some of the already opened gravel sites but I am in support of this resource being utilized to improve and further develop our community. Thank you for your time.

Best Regards,

Jesse James
6771 W Blondell Dr
Wasilla, AK 99623

Mark Whisenhunt

From: Tbone <rifleman99645@yahoo.com>
Sent: Sunday, June 20, 2021 7:05 PM
To: Mark Whisenhunt
Subject: Sylvan gravel pit. Im a supporter

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Please please please keep this going.

[Sent from Yahoo Mail for iPhone](#)

17N02W10C001

Name: HAROLD WILLIAMS Mailing Address: 551 S. SYLVAN RD. WASILLA AK 99623

Address of your property: SAME AS ABOVE

Comments: THIS PROJECT WILL CAUSE SO MUCH DAMAGE TO THIS NEIGHBORHOOD IT WILL
BECOME A SLUM. ALREADY PROPERTIES HAVE NOT SOLD BECAUSE OF THE POSSIBILITY OF THIS
PROJECT. TOO MANY BIG TRUCKS ALREADY USING SYLVAN RD. PLEASE DO NOT DO THIS.
Note: Vicinity Map Located on Reverse Side
HDLW.

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

June 17, 2021

MSB Development Services Division
350 E Dahlia Avenue
Palmer, AK 99645

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Attn: Mark Whisenhunt

Received

Re: QAP Sylvan Conditional Use Permit Tax ID 17N02W10C001

Hello Mr. Whisenhunt:

We are writing/emailing you to voice our concerns and opposition to the proposed gravel pit on Sylvan Rd in Meadow Lakes. My family has been residents of Rainbow Heights Estates at 7350 W Sun Ridge Circle for the past 18 years. I am a retiree of 25 years from MTA and my husband owns Mat-Su Mechanical, Inc. We are upstanding citizens and take great pride in where we live and have thoroughly enjoyed living in this community. Our daughter, son-in-law and 2 grandchildren live on Joe's Drive and will be directly affected by having this gravel pit literally in their back yard. We feel the proposed gravel pit will have a huge impact on families safety, health and financial loss when homeowners try to sell their homes but can't or even at a reduced rate because of this gravel pit right smack dab in the middle of 3 residential zones.

Please think about this...would you, Mr. Whisenhunt, or anyone else making this decision want a gravel pit in walking distance to your home and community? We as residents of this area, purchased property and built homes due to the location and away from the hustle and bustle of "city life" and all that entails to a quiet community. It would have been one thing to purchase land and build a home if the gravel pit was there "before" we purchased... but it wasn't, now "big business" wants to move into our community so a buck can be made (approx 1 million to be exact). Think about all the money that will be lost to current homeowners who cannot sell their homes or have to take quite the cut in equity if this proposed gravel pit is allowed to go through. Is the Borough willing to reduce or dismiss our high property taxes? We pay approx \$7500 per year for our taxes. And we are one of 26 lots in our subdivision that all take pride in their homes and land as well as the many others along and off Sylvan Rd. The devaluation of our homes goes against MSB 17.30.060 2) "that the use will preserve the value, spirit, character, and integrity of the surrounding area"....which is in direct opposition to what QAP and the Borough is considering.

The constant noise, dust, dirt, odor and unsightliness of a gravel pit so close in proximity to so many homes cannot possibly be okay with "the powers that be". We are also understanding that the gravel/asphalt produced from this pit is going to Anchorage and not even benefiting the Valley....double whammy! To think we would have 20 years of an active gravel pit and asphalt plant in our community is crazy to even think about. Under MSB 17.30.060 4) "that granting the permit will not be harmful to the public health, safety and general welfare". There are school buses that

pickup/drop off students on Sylvan so kids will have to walk on a daily basis through the above mentioned noise, dust, dirt, odor of a gravel pit/asphalt plant and the extra traffic this will cause on our one mile of road on Sylvan Rd that is the only connection to get to all the streets where these homes are located. Talk about an accident waiting to happen....so much traffic...heavy equipment traffic on a road that is less than a mile long...this along with the additional traffic from the approved Byler development of 50 single dwelling homes at the end of Sylvan Rd that was apparently approved before the public was able to oppose it!

Today, I was stuck in traffic at Pittman/Sylvan/Parks Hwy due to gravel trucks coming off Pittman Road where the traffic lights were turned off and traffic manually handled by Jolt (or another subcontractor). So there are already gravel trucks backing up traffic on the Parks, Pittman and Parks coming from Pittman....imagine when they start coming off Sylvan (in the opposite direction)!! Traffic will be so backed up on a continual basis that it will affect people traveling on the Parks Hwy for years to come.

There are so many reasons "NOT" to do this versus the main reason they want too...money! Sometimes it's in the best interest to listen and feel the needs of the people that call this community "home" and not be part of "big business" when it effects so many hardworking/good people...sometimes their home is all they have and worked a lifetime to acquire.

Below is a brief list of reasons to oppose the gravel pit on South Sylvan
- Parcel C001 Tax ID# 17N02W10C001 -

- The inadequacy of Sylvan to handle the traffic
- The heavy equipment on an inadequate road
- The effect of traffic on the Parks/Sylvan intersection
- The airport across from the proposed site, and the flight path directly over the pit
- The devaluation of homes in the area
- The 24 hour a day/7 days a week schedule proposed in the CUP
- The need for strong compliance monitoring
- The homeowner's well on Knox Drive abuts that pit, with potential contamination of the water
- Noise, dust, odor which will be generated by the operation
- Destruction of wildlife and the natural environment
- The gravel will largely be going into Anchorage and will not create revenue for the Borough
- American Charter School regularly uses South Sylvan Road for their PE class and are often seen running/walking the road.

This CUP repeatedly goes against Borough Code 17.30.060. See #2 and #4

17.30.060 GENERAL STANDARDS FOR APPROVAL.

(A) In granting an administrative permit or a conditional use permit, the director or commission must make the following findings:

- (1) that the use is not inconsistent with the applicable comprehensive plan;
- (2) that the use will preserve the value, spirit, character, and

integrity of the surrounding area;

(3) that the applicant has met all other requirements of this chapter pertaining to the use in question;

(4) that granting the permit will not be harmful to the public health, safety and general welfare; and

(5) that the sufficient setbacks, lot area, buffers or other safeguards are being provided to meet the conditions listed in MSB 17.30.050(B).

Please seriously consider our points of opposition when determining whether this CUP is granted or rejected. We ask that this CUP be rejected for the benefit of all the residents and businesses that would be negatively impacted if granted.

Also, one last tidbit of information we learned about...a 30 day public notice of the action was issued on 9-23-20 to the SOA Public Notice Website, the Alaska Mental Health Trust Authority Website and to the Frontiersman newspaper on 9-25-20. No comments were received. Is there any wonder??? Why wouldn't they have notified the 300 residents and business owners within one half mile of the project by mail? We feel this was done to keep it under "the radar" and it did until the Borough mailed out the notices to advise us all of what was in the works. This is who and what we will be dealing with for the next 20 years!! Please keep that in mind when making your decision that will affect us all in a very negative way.

Thank you for your time and we look forward to the [July 19th](#) meeting to hear further discussions on this proposed gravel pit.

Monica/Mark Alderman
1265 E Lolly Cir (mailing)
Wasilla, AK 99654

.....
7350 W [Sun](#) Ridge Cir (physical)
Meadow Lakes, AK 99623

.....
907-355-8584 (Monica)
907-355-5029 (Mark)

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645



ZIP 99645 \$ 000.51⁰
02 4W
0000366428 MAY 14 2021

Matanuska-Susitna Borough
Development Services

JUN 17 2021

52686B01L003 95

Received

WASILLA AK 99623

The Planning Commission of the Matanuska-Susitna Borough will consider the following:

Applicant: UMIAQ Environmental on behalf of Colaska Inc. (dba OAP)
Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian.
Request: An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

The Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, **July 19, 2021 at 6:00 p.m.** in the Borough Assembly Chambers, 350 E. Dahlia Avenue, in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. Please Note: Due to the ongoing Coronavirus/COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough website. The public is encouraged to check the Borough website prior to attending the public hearing for any changes to the meeting schedule or method. The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application material may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527. The public may provide verbal testimony in person at the meeting or telephonically by calling 1-855-290-3803. You will hear "Joining conference" when you are admitted to the meeting. You will be automatically muted and able to listen to the meeting. When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, "Your hand has been raised." When it is your turn to testify, you will hear, "Your line has been unmuted." State your name for the record, spell your name, and provide your testimony. You have 3 minutes to

state your concerns & comments. This is not a question and answer session. This is only for stating your concerns and comments. Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to mark.whisenhunt@matsugov.us. In order to be eligible to file an appeal for a decision of the Planning Commission, a person must be designated an "interested party." (See MSB 15.39.010 for the definition of "interested party.") The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before **June 21, 2021** and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning commission, but will be provided to the Commission at the meeting.

Name: Cynthia/Sandra Phillips-Johnson Mailing Address: 1399 S. Tim AVE, Wasilla 99623

Address of your property: 1399 S. Tim AVE

Comments: Strongly Object To Proposed Gravel Permit (Conditional Use Permit)
Traffic; Traffic Congestion at Park/Sylvan; Noise, Odor; Devaluation of Property;
Possible Water Table Drop; Note: Vicinity Map Located on Reverse Side
Or Pollution To our Water; Safety of Children/Residents
That Walk, bike, skateboard in area; Wildlife displaced; Emergency Accessibility;

Matanuska-Susitna Borough
Development Services

JUN 16 2021

14 JUN 2021

Received

TO: PLANNING COMMISSION;

I LIVE AT 6811 W. JOES DR.; AND I DON'T NEED OR WANT A GRAVEL PIT OR AN ASPHALT PLANT IN MY BACK YARD.

THE STATE OF ALASKA DID ENOUGH DAMAGE WHEN THEY WIDENED THE PARKS HWY.

WHAT YOU ARE PROPOSING WILL RUIN THE HABITAT OF THE MOOSE AND GROUSE POPULATION AS WELL AS THE GROUND WATER AND THE QUALITY OF THE AIR.

I ALSO DON'T WANT THE NOISE POLLUTION OR THE MAJOR DUST THIS WOULD CAUSE WITH THE BULLDOZERS, LOADERS DIGGING UP THE DIRT AND GRAVEL AND ALL THE TRUCK TRAFFIC.

I SUGGEST IN VERY STRONG TERMS TO TABLE THIS PROPOSAL AND RETHINK THE DAMAGE THIS WOULD IN THE LONG TERM.

PUT ASIDE THE GREED OF MONETARY AMBITIONS.

SINCERELY,



GARY F. HARVEY

Mark Whisenhunt

From: Nellie Hanousek <907hanousek@gmail.com>
Sent: Monday, June 21, 2021 10:00 PM
To: Mark Whisenhunt
Cc: edpilebuck@gmail.com; nellie.hanousek@gmail.com
Subject: Conditional Use Permit Tax ID # 17N02W10C001 Sylvan Road Gravel Pit

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

My name is Nellie Hanousek and my family and I live at 7172 W. Knox Dr., which is directly adjacent to the proposed gravel pit by Umiq Environmental on behalf of Colaska Inc. (dba QAP). If this happens to be approved, it would be right in my back yard, 25 feet from where we lay our heads down to get a peaceful night's rest; I would be one of the first families affected by all the commotion that will be taking place from 7am to 7pm, and possibly 24/7.

In my opinion and that of all the families involved/affected by this project, it is purely unnecessary and built on pure greed, with no thought of how it will diminish our way of life, mentally, physically, emotionally, spiritually and finally financially.

There are numerous gravel pit locations that are currently available and ready to use and in addition, there are many more places that would be more suitable for a pit that are NOT surrounded by residential neighborhoods, families, schools, children, wildlife, forests and wetlands.

In order to get the gravel, they would be drilling straight down, leaving a gaping hole. The proposed site, next door to my house and where they want to dig, is basically flat with no hills or mounds to dig from, which will end up leaving a huge, dangerous water pit or hole right smack in the middle of three adjacent residential subdivisions.

Imagine the consequences of that? This has the possibility of effecting the water table and the very source we live by and no thought of that is considered by those people applying for the permit to include the State of Alaska Mental Health Department and the Native Corporation that cries out to protect the land, except when they both can make easy money off of it with no regards to the well-being of the people who live there.

I'm sure you have already heard about the other talking points Mr. Oliver, the Meadow Lakes Community Council and other concerned members of our community have written about, so I don't think I need to duplicate them here, but to let you know my family and I are absolutely against this proposed gravel pit that will adversely diminish the quality of life for us all. Just think if it was you and your family. I'm sure you would be against it one hundred percent!!

We may be common folk, but we do deserve to live in peace, like anyone else. Please hear our voices and deny the permit. Your consideration is very much appreciated.

Respectfully,

Ed and Nellie Hanousek
7172 W. Knox Dr
Wasilla, Alaska 99623

Mark Whisenhunt

From: Shawn Barrows <sbarrows451@gmail.com>
Sent: Monday, June 21, 2021 3:53 PM
To: Mark Whisenhunt
Subject: Colaska (dba QAP) Conditional Use Permit for Earth Materials Extraction (Sylvan Road) - Opposition Letter (Barrows)
Attachments: Opposition to Colaska dba QAP Conditional Use Permit Sylvan Rd - Barrows 06.21.21.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mark,

Here is an opposition letter to Colaska's Conditional Use Permit for Earth Materials Extraction on Sylvan Road.

I respectfully ask that you include it in the Planning Commissions' packet.

Thank you.

Regards,

Shawn and Stuart Barrows, Property Owner
7075 West Joe's Drive, Wasilla, AK 99654

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645



U.S. POSTAGE PITNEY BOWES
ZIP 99645 \$ 000.51⁰
02 4W
0000368428 MAY 14 2021

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

54850B01L003A 22
BARROWS STUART & SHAWN
1606 S RIVER DR
EAGLE RIVER AK 99577

The Planning Commission of the Matanuska-Susitna Borough will consider the following:

Applicant: UMIAQ Environmental on behalf of Colaska Inc. (dba OAP)
Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address), within Township 17 North, Range 2 West, Section 10, Seward Meridian.
Request: An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

The Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, **July 19, 2021 at 6:00 p.m.** in the Borough Assembly Chambers, 350 E. Dahlia Avenue, in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. **Please Note: Due to the ongoing Coronavirus/COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough website. The public is encouraged to check the Borough website prior to attending the public hearing for any changes to the meeting schedule or method.** The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application material may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527. **The public may provide verbal testimony in person at the meeting or telephonically by calling 1-855-290-3803.** You will hear "Joining conference" when you are admitted to the meeting. You will be automatically muted and able to listen to the meeting. When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, "Your hand has been unmuted." State your name for the record, spell your name, and then state your concerns & comments. This is not a question and answer session. This is only for stating your concerns and comments. Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to mark.whisenhunt@matsugov.us. In order to be eligible to file an appeal for a decision of the Planning Commission, a person must be designated an "interested party." See MSB 15.39.010 for the definition of "interested party." The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before **June 21, 2021** and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning commission, but will be provided to the Commission at the meeting.

Name: Shawn and Stuart Barrows **Mailing Address:** 1606 South River Dr.
Eagle River AK 99577

Address of your property: 7075 W. Joe's Drive
Wasilla, AK 99654

Comments:

Note: Vicinity Map Located on Reverse Side

* Opposed - See Letter of opposition

June 21, 2021

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, AK 99645

Re: **Opposition** to the Application for a Conditional Use Permit under MSB 17.30 for Parcel 17N02W10C001 – Conditional Use Permit for earth materials extraction activities, which proposes a gravel pit on Sylvan Road.

To Whom It May Concern,

My husband Stuart and I own property, located in a residential neighborhood south of Parcel 17N02W10C001, on West Joe's Drive (Bruns PK RSB B/1 L/3 & 4 Block 1 Lot 3A, Account No: 4850B01L003A).

Conditional Use Permit Issues of Concerns:

1.) Impact(s) to Sylvan Road:

- Sylvan Road accommodates primarily residential traffic, with some, commercial traffic operating west of Parcel 17N02W10C001. None of these commercial businesses operate the type or quantity of heavy equipment (as defined by Federal Highway Administration (FHWA) that QAP will have to utilize to haul aggregate material.

The strategy in material hauling is delivery at 'hauling capacity'. If QAP, a prudent contractor, opts to extract Phases 1 and 2 simultaneously, which at this point extraction means and methods is silent in the Site Plan, they can easily haul at capacity on a daily basis – 500 trucks per day (as delineated in paragraph four of Site Plan). Also considering the Terms and Conditions of the agreement with the Alaska Mental Health Trust Authority for QAP to use 300,000 tons of aggregate within the first two years of operation (See Page 2 of 6, AK Mental Health Trust Authority, Best Interest Decision MHT #9200764.) it would make sense for a prudent contractor to use haul trucks at *full capacity* to maximize operations.

The tables below illustrate the three main type of dump trucks used in civil contracting gravel extraction operations and what is visible in Colaska or QAP's current pit locations.

The weights of the dump trucks were queried by standard manufacturer and defined by Federal Highway Administration (FHWA) Gross Vehicle Weight Ratings (GVWR) per class and category, with FHWA Class HEAVY being the optimum and standard size equipment for hauling.

END DUMP:

FHWA Class	Weight	Trailer Type	Weight or Load Capacity
Light	< 10,000 lbs.		
Medium	10,001– 26,000 lbs.	Small End Dump	13,000 - 15,000 lbs. or 6.5 to 7.5 tons
Heavy	26,001 lbs.	Large End Dump	28,000 lbs. or 14 tons



(McKenna Brothers' End Dump as shown on <https://mckennabrotherspaving.com>)

BOTTOM OR BELLY DUMP:

FHWA Class	Weight	Trailer Type	Weight or Load Capacity
Light	< 10,000 lbs.		
Medium	10,001– 26,000 lbs.	Small Belly Dump	11,350 lbs. (empty starting weight) or 5.675 tons
Heavy	26,001 lbs.	Large Belly Dump or Tandem Converter Dolly	75K lbs. 37.5 tons

SIDE DUMP:

FHWA Class	Weight	Trailer Type	Weight or Load Capacity
Light	< 10,000 lbs.		
Medium	10,001– 26,000 lbs.	Small Belly Dumps	11,350 lbs. (empty starting weight) or 5.675 tons
Heavy	26,001 lbs.	Standard Triple-Axle Side Dump	55K lbs. – 59.5lbs or 25 – 27 tons

- Sylvan Road is currently in a state of disrepair. (i.e., potholes, frost heaves, etc.) Operating the HEAVY equipment class on Sylvan Road daily will further degrade the condition. Maintenance of Sylvan Road is within the City of Wasilla and is maintained by either the City of Wasilla or the State of Alaska Department of Transportation, neither or whom have this road in the 2021-2022 budget for repair. According to the Condition Use Permit, hauling would begin in summer, 2021.

2.) Noise Impact (hours of operation):

- Mobile crushers, aggregate screening extraction and hauling equipment are extremely loud. QAP's Plan of Operation delineates crushing and screening operations from 7am to 7pm, with the caveat that operations *may require* 24-hours per day 7 days a week to accommodate project needs. This is completely unacceptable. This "pit" is the middle of residential neighborhoods. Quality of residential life will be drastically impacted by the noise.

3.) Environmental Risks:

- Ground water leaching/well contamination – Most wells in proximity of the proposed pit are shallow 20' – 30' below ground, same level as the anticipated extraction depth. The threat of contaminates from the aggregate material extraction project leaching into the soil and thereby contaminating nearby wells is high.

4.) Impact(s) to Community Safety:

- Sylvan Road contains side streets with an abundance of residential property owners, as such there are school bus stops, children-at-play, community members walking, riding bicycles on both the main part of Sylvan and its side streets, with ATVs, and snow machines adjacent to road. Having the sheer volume and weight of trucks operating along a stretch of road, with a 35 mile an hour speed, poses a serious life safety issue for these community members. (See FMCSA's requirement for additional space for safe braking and unexpected actions with large trucks: <https://www.fmcsa.dot.gov/safety/driver-safety/cmv-driving-tips-following-too-closely>)

5.) Impact(s) to Residential Property Values:

- Placement of the Sylvan Pit in the middle of residential properties will degrade property values within this Mat-Su community. Current property owners have already been impacted by lost sales due to the pending condition use permit. There are 56 lots waiting for the Mat-Su Platting Board approval. If the condition use permit goes through it's almost guaranteed that no prospective buyers will be found to buy or build on these lots.

Opposition Summary:

QAP's placement of the Sylvan Pit in the middle of a residential neighborhood is ill-conceived and poorly planned, having a high potential for serious degradation to community properties, the main road system, the quality and health and safety of the neighborhoods.

The Mat-Su Borough is the fastest growing region in Alaska. The Borough has an opportunity to ensure future planning is done better than it has been in the past where commercial and residential properties are comingled without any respect for the future.

We respectfully ask the Planning Commission to *deny* Colaska's (dba QAP) Conditional Use Permit for Earth Materials Extraction as it is not in the best interest of the Sylvan community, it's residents, and ultimately the Mat-Su Borough, as the likelihood of this project causing irreparable harm to the Sylvan community cannot be overstated.

If previous Colaska 'reclaimed' sites are any indication, the Mat-Su Borough and Sylvan community deserve better than the sand pits they've left behind.

Thank you in advance for your consideration.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Shawn Barrows', with a stylized flourish at the end.

Shawn Barrows on behalf of -
Shawn and Stuart Barrows, Property Owners
7075 West Joe's Drive, Wasilla, Alaska 99654

Mark Whisenhunt

From: ROGER AXBERG <axberg@mtaonline.net>
Sent: Monday, June 21, 2021 10:55 AM
To: Mark Whisenhunt
Cc: axberg
Subject: QAP Sylvan Conditional Use Permit. Tax ID 17N02W10C001
Attachments: gravel pit.rtf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Attached is my opposition to this project for your review. Thank you.

Jane Axberg

Date: 06-18-21

To: Mark Whisenhunt, Planner II
Matanuska Susitna Borough
350 East Dahlia Avenue
Palmer, AK 99645

Matanuska-Susitna Borough
Development Services

JUN 21 2021

Received

Re: QAP Sylvan Conditional Use Permit. Tax ID 17N02W10COO1

I am writing in opposition to the gravel pit for numerous reasons. My family has lived on Joe's Drive since 1985, when my husband, who is a building contractor, built it. We have seen changes and many additions to the area over the years, however, a gravel pit would be devastating to the entire surrounding and a detriment to the health of those living there.

The information we received in the mail informing us of this application states, "In order to be eligible to file an appeal for a decision of the Planning Commission, a person must be designated an "interested party." The definition of interested party is: any person aggrieved by a final determination by a borough official pursuant to MSB 15.39.030(A)(1) or (5), that was not rendered at a public hearing of the platting board or planning commission, or any person who would be aggrieved if such final determination being appealed were to be reversed on appeal; (Definition of aggrieved: means that a person's real property interest in the use, enjoyment, or value of specific real property is adversely impacted by the determination being appealed. A person cannot be aggrieved for the purposes of this chapter if the person's interest is no different from that of the general public.) We would be an "interested party" as the proposed site would adjoin our back yard. I certainly hope the decision made here is beneficial for all residents living in the area and it would not have to go to an appeal. Our neighbor to the east thought their house was sold. They even had a garage sale to clear things out for their move. They were then told the buyer backed out because of the possibility of a gravel pit in their back yard, that they were not even aware of yet. They certainly are "interested parties." Those of us that live to the south of the gravel pit and asphalt plant will get the dust and noxious fumes as the usual winds carry it our direction. We are all "interested parties."

The safety of driving on Sylvan is really in jeopardy, with at their busy times, up to 1,000 trips a day. It's hard to imagine the addition of that many trips of dump trucks entering Sylvan. The intersection, which anyone who frequently uses it knows, is currently a safety hazard. There have been numerous accidents there which usually involve someone turning left into traffic. I contacted the Mat Su Borough transportation department. There are 6 school buses that travel up Sylvan, 2 trips

daily. That is driving 4 times each on Sylvan and through the intersection. Navigating Sylvan with constant dump trucks entering the road would be a challenge. There are 2 buses that transport children 3-5 years old to CCS, Chugiak Children's Services, located in the Meadow Lakes Mall. 4 more trips through the intersection. American Charter School is located in the Meadow Lakes Mall. It is quite congested as parents pick their children up. Midnight Sun School is located a little ways up Pitman and adds to the congestion when school is out. Meadow Lakes School is a little further up Pitman with most of the school buses using the Parks Hwy, going through the intersection. 3 bears, a very busy store, is located right by the intersection. You don't want to go to 3 Bears when school is getting out because there is so much traffic going by it's difficult to get out. All of this traffic using the intersection. The UPS store is located in the Mall. Many local residents pick their mail up on a daily basis. Tesoro, a very busy business, is located by the intersection.

I understand this is business for QAP, but isn't it also their business and duty as a responsible community member, to locate where it will not devalue the surrounding properties and quality of life of the neighboring residents? The middle of an established residential area is reckless and not a reasonable location. Before you make your decision answer this: if you lived here and are raising your family here, would you want this to pass?

Thank you for your thoughtful consideration.

Sincerely,

Jane Axberg

Mark Whisenhunt

From: MICHAEL KOENEMAN <kathyk@mtaonline.net>
Sent: Monday, June 21, 2021 1:15 PM
To: Mark Whisenhunt
Subject: gravel pit on Sylvan

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Please add this to my comments.

I am concerned about the project running 24/7 if needed.
This would cause even more unnecessary stress and anxiety.

7am-7pm is bad enough.

I reiterate, A residential area with many tax paying homes is not the place for this.
The borough does not profit from this. My land value very will likely go down, therefore I will pay less taxes.

Thank you.

Sincerely,

Kathleen Koeneman

Mark Whisenhunt

From: MICHAEL KOENEMAN <kathyk@mtaonline.net>
Sent: Sunday, June 20, 2021 11:59 PM
To: Mark Whisenhunt
Subject: Gravel pit and asphalt plant SYLVAN ROAD MENTAL HEALTH LAND - QAP
Attachments: attachments (3).zip; Scan_20210620.pdf; Gravel Pit 2.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

To Mark and whom it may concern,

Please see attachments for pictures and comments on the proposed gravel pit.

Thank you.

Sincerely,

Kathleen Koeneman

P.S. You should be able to open these. Comment ASAP if not. Thank you.

Mailing:

06/20/2021

Kathleen Koeneman

7118 W. Knox DR.

Wasilla, Alaska 99623

Physical:

7118 W. Knox Dr.

Wasilla, Alaska 99654

49'ER BLOCK 1 LOT 15

(LOT 14, 16, & 17)

To Mark Whisenhunt and Planning Commission members,

I have lived in the 49er subdivision for over 30 years. For much of this time, I have been a water operator for our public water system: AK2224028. We are Class A system and have been providing quality water to our consumers for many years. We currently have 14 residences, there are 19 potential hookup points, and we are monitored very closely by ADEC. We are in compliance and we spend a lot of time and money keeping current with water testing and paperwork that is required.

Our well is located on the corner of Knox and Sylvan on Tract B. This will be very close to the possible 500 truckloads with 1,000 trips a day traveling up and down Sylvan. We have a small rectangle located within 49'ER BLOCK 1 LOT 2 and we *do not* have another public space for our well. We must be 200 feet from our 7,500 gallon community septic tank, which is located on tract A.

Our subdivision does have water rights filed with the Alaska Department of Natural Resources.

It is a Federal Offence to tamper with our system: US CODE Title 42, Section 300i-1. Our residents get their first draw of water every day from our facility. What plan do you have to protect our water source? Does QAP have one? If we have a problem, *who* will have to provide water to every home until the problem is resolved? *We will be seeking someone for liability if our water system is harmed.* My first call will be to ADEC and whatever Federal contact we need. We are very concerned about this!

This is not the right place for a gravel pit.

The value of my property tripled three years ago, and as a result, my taxes went up. If you pass this, can I request an assessment ASAP? I don't think I should pay as much in taxes, as I'm sure that my property value will decrease. This is literally at my back door. Would you want to buy a home with an active gravel pit directly behind it? Would you like to come home to this every day? I have heard that Platting and Planning does not come to look at the projects that they are voting on. Does this seem fair to you? There are many residences surrounding this proposed pit and you will be affecting the quality of life of many tax payers. Does the borough get any money from this project? Is the gravel taxed?

Here are some other concerns:

Physical health and/or **mental health** issues caused by air quality, dust, asphalt smell, noise, vibrations, etc.

Safety is an issue as well. Note the following:

The intersection at Sylvan/Pittman and Parks is already a problem.

Sylvan is already **very busy** and Platting just approved Bruns Lake Overlook, which will be 56 lots.

This land is being developed by Byler, so this would have **a lot** of vehicles coming from it (100-400 is what I estimate).

There is an airport nearby. Will this affect their visibility? They fly right over the area of this proposed pit.

American Charter and **CCS** are both located at the Meadow Lakes City Center mall at Sylvan and Parks.

Concerns for the safety of minors. The older students hike for exercise up and around Sylvan. Both schools have play yards in the back.

Environmental issues:

Ruining animal habitats, including an owl, moose, birds, rabbits, squirrel, bats, etc.

Ruining our ground water.

Ruining wetlands and a lake.

These are nonrenewable resources.

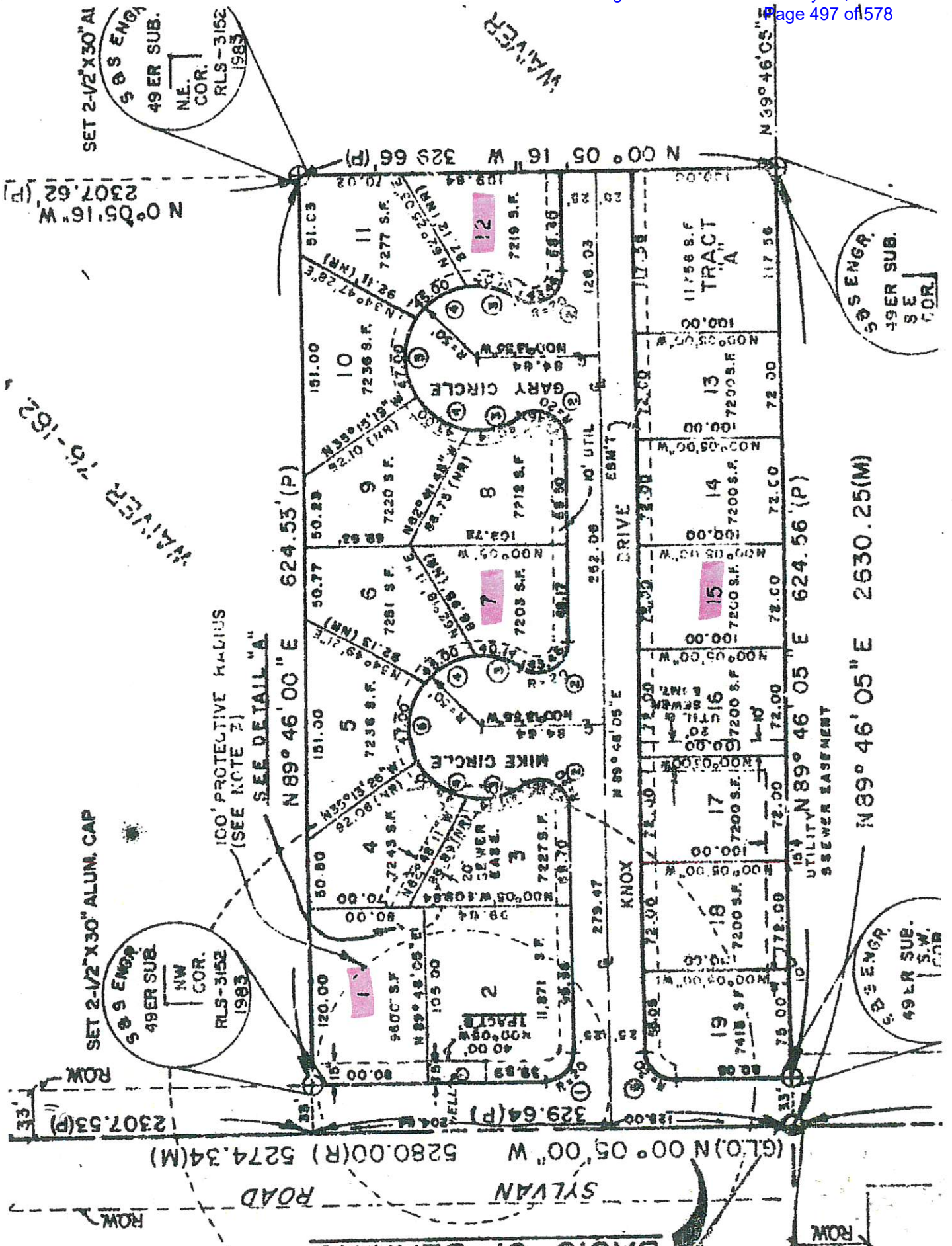
You would not want an active gravel pit in your backyard. I wouldn't think so. This is the wrong location for this project.

Thank you.

Sincerely,

Kathleen Koeneman

P.S. See three attachments.





WARNING!

**TAMPERING WITH
THIS FACILITY
IS A
FEDERAL
OFFENSE!**

US CODE Title 42, Section 300i-1



REPORT SUSPICIOUS ACTIVITY TO:

907-232-8901

Mark Whisenhunt

From: dalebrunsak@gmail.com
Sent: Sunday, June 20, 2021 10:02 PM
To: Mark Whisenhunt
Cc: Joy Bruns
Subject: QAP Sylvan Conditional Use Permit. Tax ID 17N02W10C001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mr Whisenhunt.

I am a homeowner that uses Sylvan road as my primary ingress and egress to my home. I would like to go on record **opposing** the proposed conditional use permit allowing gravel extraction on Subject Property:

Township: __1_7_N__, Range: __0_2_W__, Section: _____, Meridian:

10 Seward MSB Tax ID# 17N02W10C001

There are many concerns about this project, See Below:

I have lived near gravel pits before and a 10' earthen berm may be "to code" but it does not mitigate the noise once the noise generator is a moderate distance away from it. This gravel pit will create noise pollution for the surrounding area.

Sylvan Road is the only access to the proposed gravel pit, increasing congestion, particularly at the Pittman/Sylvan intersection with the Parks Highway.

The proposed second Sylvan access, being on the top of the hill, will add to the noise pollution to the properties on Sun Ridge Circle, Bruns Park Estates and Bruns Lake overlook subdivisions. The hill is fairly steep making that intersection somewhat blind.

The site location is part of the identified "Town Center Site" in the Meadow Lakes Comprehensive Plan which is against Large scale industrial activities, page 49.

Sylvan Road is only a minor collector and I question the design's capability to handle the gravel truck, side dump wear and tear.

Sylvan has load restrictions every spring which will require more loads/traffic to extract the same volume.

The Sylvan intersection with the Parks Highway is not appropriate for the increase in traffic. It is already congested with long wait times at the light. It has no dedicated turn lanes to support gravel truck traffic headed West towards the current project, East towards Wasilla or Vine and faces oncoming turning traffic from the Pittman side to get to the railway loading site.

There are several businesses that use Sylvan as their primary access road from the Parks highway through the Pittman/ Sylvan intersection.

The school in the Rainbow Mall uses the Sylvan intersection as the primary access point from the surrounding areas and currently causes increased congestion, additional gravel trucks will make it more dangerous.

There is a daycare in the Rainbow Mall that also uses the Sylvan intersection as the primary access.

At the East side of the intersection, there is a gas station/store, restaurant and liquor store that require cars to turn on to Sylvan and then do a U turn around a meridian crossing Sylvan's Northbound lane to access the commercial area. It is very congested and dangerous.

The Proposed gravel Pit is immediately surrounded to the North, East, and South with residential Subdivisions and its operation will negatively impact hundreds of residents.

The proposal in itself as already impacted property sales in Bruns park being the specific reason for a contract cancelation.

I could go on but you are aware of the impacts of noise, dust and asphalt plant smell has on a community so I will stop here.

Please do not approve the conditional use permit.

Thank you for your consideration.

Byron Dale Bruns

Mark Whisenhunt

From: Whitney Crombie <wcrombie76@gmail.com>
Sent: Sunday, June 20, 2021 8:07 PM
To: Mark Whisenhunt
Subject: QAP Sylvan Conditional Use Permit Tax ID: 17N02W10C001 - Public Comments

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mark Whisenhunt
Planner II
Matanuska-Susitna Borough Department of Planning and Land Use

I am writing this email to request the Mat-Su Borough Planning Committee DENY a conditional use permit currently pending approval. I am a resident of Knox Drive off Sylvan Road in the Meadow Lakes Community and I STRONGLY OPPOSE the conditional use permit proposed to allow a gravel pit and asphalt plant on the 160 acre parcel located in a tract of land bordered by residential neighborhoods on 3 of the 4 sides. I have read the conditional use permit application submitted by Colaska Inc. (QAP) and believe that the approval of the permit would be detrimental to the residents, as well as the environment and wildlife in the area. I would ask that an Environmental Impact Study (EIS) be conducted in the proposed parcel of land in order to gauge the true impacts that such an industrial activity will have on the surrounding areas. The reasons I oppose the gravel pit are outlined below:

- Contradicts the Meadow Lakes Comprehensive Community Plan
 - The Comp. Plan adopted a pedestrian-centered community
- Traffic Concerns
 - Sylvan Road is a 2 lane road in a rural residential area that is not suitable for intense use such as 1,000 large trucks hauling gravel each day
- Neighborhood Safety Concerns
 - Many homes in Meadow Lakes have children, pets or both residing in them and use Sylvan road to access bike and walking paths, ATV paths and local businesses in the community
 - Children stand on Sylvan Road waiting for school buses in the morning and walk Sylvan road in the afternoon once dropped off by school bus
 - American Charter Academy is within ¼ mile of the proposed gravel pit and asphalt plant
 - CCS Early Learning operates a childcare facility within ¼ mile of the proposed gravel pit and asphalt plant
- Environmental Concerns
 - Noise Pollution
 - Dust containing carcinogenic substances
 - Odor
 - Groundwater contamination – there are numerous private wells in the area, as well as a community well located at the end of Knox Drive utilized by several households on the road
- Home Values
 - Home values are important to the Mat-Su Borough as a source of revenue via property taxes
 - Home values near recently constructed gravel pits have been estimated to decrease between 30-50%, which would be detrimental to the 130 homes in the immediate vicinity with an estimated loss in the millions of dollars for residents and the borough
- Wildlife and Wetlands
 - Numerous mammals utilize the proposed parcel including moose, fox, squirrels, chipmunks and porcupines

- In addition to mammals, a diverse songbird species inhabit the area, as well as a resident Great Gray Owl
- There is a wetland running through the center of the proposed gravel pit which may be home to sensitive species such as the wood frog

I moved to Knox Drive 11 years ago because I enjoy the quiet neighborhood with abundant green space and excellent air quality. A gravel pit and asphalt plant operating directly behind my house would be in direct conflict with the serene home I have created over the last decade. I ask that you DENY the conditional use permit and protect the residents, wildlife and forest ecosystems you are in charge of overseeing.

Thank you,

Whitney Crombie (concerned resident)

Mark Whisenhunt

From: Brittany Johnson <skydivingchef@gmail.com>
Sent: Sunday, June 20, 2021 7:54 PM
To: Mark Whisenhunt
Subject: Opposition of the Proposed Gravel Pit off Sylvan

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

To the Members of the Mat-Su Borough Planning Commission,

I am writing in opposition of the conditional use land permit for the proposed gravel pit at 17N02W10C001, which is to be accessed from Sylvan Rd.

I am greatly concerned due to noise pollution from the gravel pit as it proposed to be in an established residential area, which will impact numerous neighborhoods off Sylvan and Vine.

I am also concerned due to the increase in traffic. The proposed plan would significantly increase the congestion that Sylvan already experiences from approximately 65+ homes (with approx. 56 additional homes to be built by a developer) and numerous businesses.

As a resident of the Meadow Lakes area and specifically off Sylvan Rd. for the last 45 years, it is disheartening to see our slice of paradise, be gutted and turned into an industrial wasteland.

Please consider denying this conditional use permit.

Respectfully,
Alice Koeneman
6901 W Dun Fussin Road

(I am submitting this letter on behalf of my Grandmother, who does not use e-mail; Thank You - Brittany Johnson).

Sent from my iPhone

Mark Whisenhunt

From: heather langendorf <hlangendorf@gmail.com>
Sent: Sunday, June 20, 2021 6:52 PM
To: Mark Whisenhunt
Subject: QAP Sylvan Conditional Use Permit - Public Comment - Langendorf, interested party

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

DATED: June 20th, 2021

TO: Matanuska-Susitna Borough

Department of Planning and Land Use

Development Services Division

ATTENTION: Mark Whisenhunt, Planner II

RE: QAP Sylvan Conditional Use Permit Tax ID 17N02W10C001

As a homeowner directly adjacent to the proposed gravel pit and asphalt manufacturing plant, I appeal to the Matanuska-Susitna Borough, Department of Planning and Land Use, to act to protect the residential community of Meadow Lakes and deny this conditional use permit. This large parcel of State Mental Health Trust land is bordered on three-sides by quiet residential neighborhoods, and the proposed industrial use will be harmful to the public health, safety, and economic welfare of residents.

The proposed pit is incompatible with the Meadow Lakes Comprehensive Plan developed by The Meadow Lakes Community Council and adopted as amended by the assembly in 2005, MSB Title 15.24.030 (B) (19). The purpose of this long-term planning document is to guide future development in the Meadow Lakes area to meet community goals. Meadow Lakes is foremost a residential area. Property owners within the Meadow Lakes Community boundaries do not favor heavy industry or other developments that lower local property values. People appreciate the large tracts of trees and meadows, unspoiled lakes and streams. The parcel proposed for this large-scale heavy industrial development is in the Town Center which is intended to be a pedestrian-oriented, mixed use residential and commercial district. A wooded trail system is already present on the parcel and a park loop trail concept is identified in the plan as a goal for future development.

This conditional use permit should be denied because of the environmental and off-site impacts to the neighboring residents. This undeveloped parcel is mature forested habitat containing a complex interrelated system of surface and subsurface water. The intact watershed protects water quality, and supports domestic wells. This type of land is very important for recharging aquifers, for providing open space that helps sustain the area's rural character, and providing habitat to moose, birds and other species.

I ask that the planning committee screen industrial development and deny a permit that allows up to 1000 gravel trucks per day on community roads and the total destruction of a natural landscape in a residential area. A large-scale gravel pit/asphalt plant would be harmful to physical and mental health of residents due to cumulative exposure to industrial processes generating noise pollution, light pollution, air pollution, dust and smells. Asphalt plants are known to produce toxic air pollutants, including arsenic, benzene, formaldehyde, and cadmium, that may cause cancer, central nervous system problems, liver damage, respiratory problems and skin irritation. ... The planned quarry will be releasing silica dust into the air on a regular basis.

I ask that the planning committee act to preserve property values, promote the safety of pedestrian traffic to schools, and preserve the function of roads designed for residential use and prevent congestion at the single-lane Sylvan Rd. and Parks Highway intersection. Is it right for one landowner to be able to operate a gravel pit until 2041 for monetary gain when such an operation endangers the health, safety, and quality of life for hundreds of residents in the area?

I expect the Development Services Division responsible for the administration and enforcement of Borough ordinances and regulations to carry out the Planning Department's mission to build quality communities.

Sincerely,

Heather Langendorf

Mark Whisenhunt

From: Audrey Morlock <ms.99654@hotmail.com>
Sent: Sunday, June 20, 2021 4:56 PM
To: Mark Whisenhunt
Subject: Gravel pit off of Sullivan

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Audrey Morlock 695 W. Joe's Drive. Mailing address PO Box 298566, Wasilla, AK 99629 There is no way they should be building this gravel pit I have eight grandchildren I have children at my house still this will be not a environment for them I don't know how people are going to sleep how people are gonna be able to sell their houses I mean I just don't understand how anybody in their right mind to build a gravel pit around the subdivisions thank you

Mark Whisenhunt

From: Amy Schachle <a.schachle@msrhc.com>
Sent: Sunday, June 20, 2021 4:17 PM
To: Mark Whisenhunt; amyschachle@yahoo.com
Subject: Fwd: [EXTERNAL] Proposed gravel pit on South Sylvia Road Tax ID# 17N02W10C001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Mark,

I am just sending this letter of opposition to you again with a read receipt to make sure you have received this. This is a very serious issue for me and I want to exhaust all avenues of communication. I plan on attending the Borough meeting in July.

Thank you,
Amy Schachle

Thank you,
Amy

Amy Schachle, RHIA | Lead Coder | Mat-Su Regional Medical Center
2500 S. Woodworth Loop | Palmer, AK 99645 | (F) 907-861-6611
[HTTP://www.msrhc.com](http://www.msrhc.com)

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----- Forwarded message -----

From: Amy Schachle <amyschachle@yahoo.com>
Date: Wed, Jun 16, 2021 at 6:59 PM
Subject: [EXTERNAL] Proposed gravel pit on South Sylvia Road Tax ID# 17N02W10C001
To: <mark.whisenhunt@matsugov.us>
Cc: Amy Schachle <amyschachle@yahoo.com>

Hello,

I am writing you to voice my opposition to the proposed gravel pit on South Sylvan Road in Meadow Lakes. I am a resident at 7494 West Sun Ridge Circle and am adamantly opposed to a gravel pit in a residential area.

My main concern is safety. I have children who will use Sylvan Road to access the the many opportunities open to them from living in the area. I fear the constant travel from the gravel trucks greatly increases their chances of being injured by said vehicles. I fear the possibility of any child being struck by a truck or an object that dislodges from a truck. Sylvan road was not constructed with the ability to safely handle this kind of repetitive use by large vehicles/machinery. The deterioration to the road, from the gravel trucks, will increase the chances of a vehicle losing control and potentially striking a pedestrian along the road. Sylvan road is a residential road and it reflects that in its narrow lanes and non-existent shoulders. This potentially goes against MSB 17.30.060 (4) that granting the permit will not be harmful to the public health, safety and general welfare; and

Another large concern is the devaluation of my property, and all other residential properties in the area. A gravel pit less than 1/2 mile (end of my road) will reduce the value of my home by a large sum. This decrease will eventually lower my taxes and decrease the amount of revenue the borough receives for community benefit. This means less money for EMS, Law Enforcement, Schools, and Parks and Recreation just to list a few. A neighbor has already been negatively impacted by the potential gravel pit when a buyer for their house pulled out once they found out about the gravel pit. Every other potential buyer has stopped as soon as they read about it in the disclosure. How will any of the residents be able to move should the gravel pit be allowed? The devaluation of my house goes against MSB 17.30.060, 2) that the use will preserve the value, spirit, character, and integrity of the surrounding area;

The entrance to this gravel pit is planned to be within feet of a community well. This puts those on this well in grave danger should their well be damaged by the equipment. The exit will be feet from Sun Ridge on a blind hill. MSB 17.30.060 (4) that granting the permit will not be harmful to the public health, safety and general welfare; and

Another point is that I did not choose to live near a gravel pit! It's one thing to buy a property near an active gravel pit, it's a choice one gets to make. I have lost my freedom of choice when a gravel pit is opened in an established residential neighborhood. I did not get to make the choice to hear heavy equipment at all hours of the day. I did not get to make the choice to smell an asphalt plant during operating hours. I did not get to make the choice to send my children to school by traveling a road congested by gravel trucks and heavy machinery. I would not have made the choice to live next to a gravel pit that will generate dust that then impacts my immune compromised child. MSB 17.30.060 (4) that granting the permit will not be harmful to the public health, safety and general welfare; and

Below is a brief list of reasons to oppose the gravel pit on South Sylvan - Parcel C001 Tax ID# 17N02W10C001 -

- The inadequacy of Sylvan to handle the traffic
- The heavy equipment on an inadequate road
- The effect of traffic on the Parks/Sylvan intersection
- The airport across from the proposed site, and the flight path directly over the pit
- The devaluation of homes in the area
- The 24 hour a day/7 days a week schedule proposed in the CUP
- The need for strong compliance monitoring
- The homeowner's well on Knox Drive abuts that pit, with potential contamination of the water
- Noise, dust, odor which will be generated by the operation
- Destruction of wildlife and the natural environment
- The gravel will largely be going into Anchorage and will not create revenue for the Borough
- American Charter School regularly uses South Sylvan Road for their PE class and are often seen running/walking the road.

This CUP repeatedly goes against Borough Code 17.30.060. See #2 and #4

17.30.060 GENERAL STANDARDS FOR APPROVAL. SHARE

(A) In granting an administrative permit or a conditional use permit, the director or commission must make the following findings:

(1) that the use is not inconsistent with the applicable comprehensive plan;

(2) that the use will preserve the value, spirit, character, and integrity of the surrounding area;

(3) that the applicant has met all other requirements of this chapter pertaining to the use in question;

(4) that granting the permit will not be harmful to the public health, safety and general welfare; and

(5) that the sufficient setbacks, lot area, buffers or other safeguards are being provided to meet the conditions listed in MSB [17.30.050](#)(B).

Please seriously consider my points of opposition when determining whether this CUP is granted or rejected. I ask that this CUP be rejected for the benefit of all the residents and businesses that would be negatively impacted if granted.

Thank you for your time,
Amy Schachle
907-982-3869
7494 West Sun Ridge Circle
99623

Mark Whisenhunt

From: A Bitz <asapbitz@gmail.com>
Sent: Saturday, June 19, 2021 5:15 PM
To: Mark Whisenhunt
Subject: QAP Sylvan Conditional Use Permit Tax ID 17N02W10C001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Dear Mr. Whisenhunt,

As residents of the Bruns Lake subdivision, we want to voice our very strong and adamant opinion against the proposed gravel pit conditional use permit. We have 4 young children who frequently walk or ride their bikes along the streets, and play outdoors, in general. The dangers of increased traffic with the gravel trucks and equipment, the noise and dust pollution, and the disruption of our quiet rural setting and the wildlife habitats would most definitely be detrimental to our quality of life and the value of our property.

The intersection at Sylvan/Pittman and Parks is already a nightmare. It would be completely irresponsible to seriously consider adding the traffic load of up to a 1000 gravel truck trips per day on top of the current volume already experienced from residents, businesses, the only grocery store in the Meadow Lakes area, gas stations, and multiple schools! And that's not to mention the proposed 56-lot Byler subdivision around Bruns Lake.

We moved here 3 years ago with the anticipation of raising our daughters in a quiet neighborhood that we felt comfortable to take walks and bike rides and play outside without worrying about heavy equipment, high noise, and dust pollution. I know we are not the only families concerned about the welfare of our health and safety! There are over 84 families that would potentially be directly affected by this.

Please take this into consideration as you move forward with planning. Thank you for time and attention.

Aaron and Stefani Bitz
Residents at 6871 W Joe's Dr.
(907) 355-2324

Mark Whisenhunt

From: bowkermech@gmail.com
Sent: Saturday, June 19, 2021 4:07 PM
To: Mark Whisenhunt
Subject: 17N02W10C001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good afternoon sir,

My name is David Fraker I live on 7841 W Sun Ridge Circle Wasilla 99623 and my place of business is at 7160 W Anna Marie Dr Wasilla 99623. I can be reached on my cell at 907-841-8883 or office 907-373-2330. I am voicing my **OPPOSITION** to the purposed gravel pit that QAP has requested a permit for. Sylvan Rd can not handle this much traffic. The Plotting board as approved Byler Constructions development of 65 acres with 56 lots. Best case for that land would be 56 single family dwellings, however that is **NOT** what Byler typically builds. He builds "detached" 4-plexes, so **WORSE** case scenario we could see as many as 224 little house and **ALL** the traffic that would bring to a single lane road. Add QAP's purposed 500 trucks a day, Builders Choice Truss plant and their trucks/trailer, American Charter and its 160 students being dropped off and then the CCS early Learning has another 60 kids being dropped off. American Charter uses Sylvan, Buttercup and Marigold for the kids P.E. class when they do their running, the safety issue this pit will cause is **ENORMOUS**. The intersection of Parks and Pittman/Sylvan is one of the worst intersection in the valley and now with Byler's development and the purposed QAP pit I can **NOT** imagine how bad it will get. In 2019 a 23 year old young lady was killed on the Glen Hwy when a rock truck coming from a gravel pit sent a huge rock flying out of the double tires and smashed through her windshield. This Pit is just not safe nor should it be allowed in a residential area and "school zone" Now for the financial hit to me. I am concerned about my homes value decreasing with this pit. One individual on Joes Drive had his home for sale and once the perspective buyer researched the area and saw the requested permit from QAP the buyer backed out of the deal. I feel to approve this pit would be very irresponsible.

Very Respectfully David L Fraker

Mark Whisenhunt

From: djharris@mtaonline.net
Sent: Friday, June 18, 2021 10:50 PM
To: Mark Whisenhunt
Subject: Sylvan Gravel Pit Conditional Use Permit MSB 17.30
Attachments: Sylvan & Joes.jpg

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Dear Mr. Whisenhunt,

My name is Dawn Harris and I reside at: 6850 W Joes Dr., Wasilla, AK.

I am writing to you regarding the QAP Conditional Use Permit Application. The property is owned by the State of Alaska Mental Health Trust along Sylvan Drive in the Meadow Lakes area.

I strongly oppose this application for the following reasons:

History shows that residential property values decrease as a result of gravel pits adjacent to such properties. Should property owners decide to sell their homes, it would be difficult to sell based on devalued property next to gravel pit mining. Accordingly, the Mat Su Borough stands to lose property tax income when such devalue is applied to the affected property.

Sylvan Road hosts many residents who walk, ride bikes (including children). The is an incredibly dangerous traffic situation and frankly the road simply cannot handle the commercial traffic of dump trucks and such. The already crumbling shoulders and pot holes would worse, requiring the Borough to re-pave and be in continuous repair. This will be costly to the Mat Su Borough and ultimately the tax payer in this Road Service Area (#27)

From my direction of travel to the Parks Highway, the visibility at the top of the hill on Sylvan is already poor and unsafe. (see attached photo) It's an accident waiting to happen, not to mention the poorly designed intersection at the Parks highway with Sylvan Rd and Pittman Rd. It is already the busiest intersection in the Meadow Lakes area.

Gravel pits produce dust and unhealthy particulates for breathing. I do not want my family to be exposed to this or water table contamination. The health concerns are considerable.

Many of the children in the area (including my own when they were younger) attend American Charter Academy in the Meadow Lakes City Center. During PE and field trip time, the children use Sylvan as a part of their pedestrian activities. This is also a grave concern. The safety of children in our neighborhoods should be of utmost importance to the Mat Su Borough. Sylvan and connecting roads are also a school bus route.

The revenue that gravel pits generate is temporary and benefits only the developers; residential property is long term, generates tax revenue for many years and there is no benefit to the property owners.

I hope you make the correct, safe and conscientious choice to deny this application. It's a bad idea for residents, the properties and the Mat Su Borough.

Sincerely,
Dawn Harris and Family



Mark Whisenhunt

From: schwdan <schwdan@yahoo.com>
Sent: Friday, June 18, 2021 10:11 AM
To: Mark Whisenhunt
Subject: Petition

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mark,

Do you need hard copies of our objections and letters or will email suffice?

Thank you,
Dan Schwarzenberger

Sent from my iPhone

Mark Whisenhunt

From: Merada <merada@mtaonline.net>
Sent: Friday, June 18, 2021 9:59 AM
To: Mark Whisenhunt
Subject: QAP Sylvan Conditional Use Permit, Tax ID 17NO2W10C001

Importance: High

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

We are homeowners in the Bruns Park Subdivision Lot 11 block 1. Our address is 6901 W Joe's Drive. Wasilla, AK 00623. We have lived in this home since March 1989.

We have many concerns about the proposed development of a gravel pit with in and out access to it off Sylvan Road. This road is the ONLY in and out road for two existing subdivisions (Bruns Park and Rainbow Heights Est.) and a proposed subdivision Bruns Lake Overlook with proposed 56 lots. The American Charter School is located in the strip mall off Sylvan Road and the Parks Highway. Cars use Sylvan to drop of school children and pick them up. This road is used by school buses and school children walking. The existing intersection on Parks and Sylvan has cars going south making an almost u-turn to access the Tesoro and other businesses on Sylvan and Parks. There are other businesses that use Sylvan Road as their access.

How can one two lane road accommodate all the potential traffic? How are emergency services going to access the neighborhoods with all the traffic on Sylvan?

This project will create safety issues, noise, dust, and have a devaluation to properties close by. We are concerned about the quality to the water table. Our property will have the gravel pit as our back yard neighbor. We strongly urge this conditional use permit be denied.

Frank B. and Merada A. Gregory

Sent from [Mail](#) for Windows 10

Mark Whisenhunt

From: isaiah chevalier <bandit04200@hotmail.com>
Sent: Friday, June 18, 2021 8:54 AM
To: Mark Whisenhunt
Subject: Gravel pit

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello, I am Isaiah Chevalier and I own the property at 6351 aeronautical. The gravel pit being planned would impact my family and I greatly. First off, the wind blows from the site to my property a lot and with it will be the smell of tar (which I doubt is low VOC like some roofing material) and dust. We already have one family member with health issue that dust and other things aggravate. What is the price for my family's health? Is the gravel pit going to be covering the costs incurred which should be prevented in the first place?

Secondly what will this do to the property value? I'm sure it will not help it. Will we be getting new driveways or road work, or just being told to deal with it and suck it up?

Another issue is the water table, the water isn't that deep there and the less ground material there is to filter it, the worse it will get. Just by that, one cannot say it won't be affected.

I have no issues with businesses trying to expand and grow, it's when they stop caring about the community around them and keep going at someone else's expense is when I have a problem with it and that's what is going on here. A gravel pit should be located out of town, like a tannery or rifle range, not in the middle of a residential and small businesses. Which is another point. Having some small restaurants around there and having dust kicked up and tar small would not be good for them either, would you like to eat in one of them and enjoy "the smell of progress"?

I am, as many others that are probably not speaking up, greatly opposed to this gravel and asphalt plant. This honestly should not even need to be discussed as our representatives should be keeping our best interests of the people, not a business, in mind. Even if the gravel pit paid for everything we would want, health is still health and what price is that? Hope you can tell everybody the price of their health if this goes through.

Mark Whisenhunt

From: Dan Schwarzenberger <schwdan@yahoo.com>
Sent: Friday, June 18, 2021 7:56 AM
To: Mark Whisenhunt
Subject: Petition To Reject the Gravel Pit Parcell C001 Tax ID#17N02W10C001 Section10, T17N, R2W
Attachments: Petition.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Mark,

This is in regards to the proposed gravel pit located on Parcell C001 Tax ID#17N02W10C001 Section10, T17N, R2W. Please see the attached signed petition. Both my wife and myself signed this. We live right next to this property. We **absolutely do not want** a massive gravel pit next to us. I would destroy the value of our home and property. We purchased this place last year because it was a quiet neighbor hood. If we would have know that there was a construction site going in next door, we never would have purchased our property last year. This was intended as a residential neighborhood not a commercial construction site. We live in an area that has covenants against these types of businesses. We are not allowed to run a gravel pit or businesses that cause problems to home owners in our plat. But all the sudden right next door they are going to put in a massive gravel pit ignoring that the surrounding communities have covenants restricting this type of work? This will ruin the value of our home and property. It will cause health problems for us with all the dust and noise going on. We are also concerned about the hundreds of large trucks running down the road. We have kids and this is a dangerous situation for our kids and other children in a residential neighborhood. Another thing to mention is that this intended property is wetland as well as part of my property. It will destroy the wetland ecosystem. The Alaska Fish and Game conducted studies on this very wetland several years ago documentation certain species and amphibian populations. This will have a huge impact on the wetland ecosystem and likely end the frog population that the AK Fish and Game was studying. I have worked in construction and am part of the Local 302 union. I know what construction sites are like and very noisy and busy. Quality and Granite companies are the biggest contractors in the state for construction. We don't want this destroying our quiet neighbor hood and ecosystem. We beg you! Please do not allow this to go forward!

Sincerely,
Daniel and Heather Schwarzenberger
6521 W Aeronautical Ave
Wasilla, AK. 99610

PS. Please see the attached petition that we signed from the Church

I Dan + Heather Schwanenberger

Residing at 6521 W. Aeronautical Ave, Wasilla, AK. 99627

I Strongly Object to the issuing of a permit to allow the operation of a gravel pit on Sylvan road also known as Parcel C001 Tax ID# 17N02W10C001 within the Township 17 North Range 2 West Section 10 Seward Meridian.

My concerns are to the health of my family from the operation of this pit. The noise, dust and odor of the pit. The operation of gravel trucks on Sylvan road. The possibility of 500 truck trips on the road in one day, as listed in the application by the gravel company, would be a monumental problem. The loss of value for my home and property is of great concern. I am also concerned about the effects this may have on the children attending the American Charter Academy.

Other Comments:

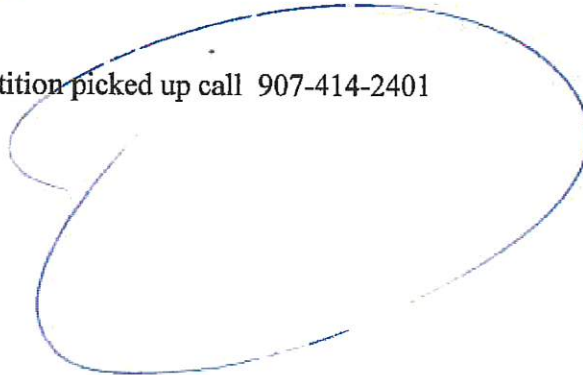
Signed

Dan + Heather Schwanenberger

Date June 17, 2021

If you need to have this Petition picked up call 907-414-2401

B4
18th



Mark Whisenhunt

From: Monica Alderman <malderman@mtaonline.net>
Sent: Thursday, June 17, 2021 9:24 PM
To: Mark Whisenhunt
Cc: Monica Alderman; Mark Alderman
Subject: QAP Sylvan Conditional Use Permit Tax ID 17N02W10C001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Mr. Whisenhunt:

We are writing/emailing you to voice our concerns and opposition to the proposed gravel pit on Sylvan Rd in Meadow Lakes. My family has been residents of Rainbow Heights Estates at 7350 W Sun Ridge Circle for the past 18 years. I am a retiree of 25 years from MTA and my husband owns Mat-Su Mechanical, Inc. We are upstanding citizens and take great pride in where we live and have thoroughly enjoyed living in this community. Our daughter, son-in-law and 2 grandchildren live on Joe's Drive and will be directly affected by having this gravel pit literally in their back yard. We feel the proposed gravel pit will have a huge impact on families safety, health and financial loss when homeowners try to sell their homes but can't or even at a reduced rate because of this gravel pit right smack dab in the middle of 3 residential zones.

Please think about this...would you, Mr. Whisenhunt, or anyone else making this decision want a gravel pit in walking distance to your home and community? We as residents of this area, purchased property and built homes due to the location and away from the hustle and bustle of "city life" and all that entails to a quiet community. It would have been one thing to purchase land and build a home if the gravel pit was there "before" we purchased... but it wasn't, now "big business" wants to move into our community so a buck can be made (approx 1 million to be exact). Think about all the money that will be lost to current homeowners who cannot sell their homes or have to take quite the cut in equity if this proposed gravel pit is allowed to go through. Is the Borough willing to reduce or dismiss our high property taxes? We pay approx \$7500 per year for our taxes. And we are one of 26 lots in our subdivision that all take pride in their homes and land as well as the many others along and off Sylvan Rd. The devaluation of our homes goes against MSB 17.30.060 2) "that the use will preserve the value, spirit, character, and integrity of the surrounding area"....which is in direct opposition to what QAP and the Borough is considering.

The constant noise, dust, dirt, odor and unsightliness of a gravel pit so close in proximity to so many homes cannot possibly be okay with "the powers that be". We are also understanding that the gravel/asphalt produced from this pit is going to Anchorage and not even benefiting the Valley....double whammy! To think we would have 20 years of an active gravel pit and asphalt plant in our community is crazy to even think about. Under MSB 17.30.060 4) "that granting the permit will not be harmful to the public health, safety and general welfare". There are school buses that pickup/drop off students on Sylvan so kids will have to walk on a daily basis through the above mentioned noise, dust, dirt, odor of a gravel pit/asphalt plant and the extra traffic this will cause on our one mile of road on Sylvan Rd that is the only connection to get to all the streets where these homes are located. Talk about an accident waiting to happen....so much traffic...heavy equipment traffic on a road that is less than a mile long...this along with the additional traffic from the approved Byler development of 50 single dwelling homes at the end of Sylvan Rd that was apparently approved before the public was able to oppose it!

Today, I was stuck in traffic at Pittman/Sylvan/Parks Hwy due to gravel trucks coming off Pittman Road where the traffic lights were turned off and traffic manually handled by Jolt (or another subcontractor). So there are already gravel trucks backing up traffic on the Parks, Pittman and Parks coming from Pittman....imagine when they start coming off Sylvan (in the opposite direction)!! Traffic will be so backed up on a continual basis that it will affect people traveling on the Parks Hwy for years to come.

There are so many reasons "NOT" to do this versus the main reason they want too...money! Sometimes it's in the best interest to listen and feel the needs of the people that call this community "home" and not be part of "big business" when it effects so many hardworking/good people...sometimes their home is all they have and worked a lifetime to acquire.

Below is a brief list of reasons to oppose the gravel pit on South Sylvan - Parcel C001 Tax ID# 17N02W10C001 -

- The inadequacy of Sylvan to handle the traffic
- The heavy equipment on an inadequate road
- The effect of traffic on the Parks/Sylvan intersection
- The airport across from the proposed site, and the flight path directly over the pit
- The devaluation of homes in the area
- The 24 hour a day/7 days a week schedule proposed in the CUP
- The need for strong compliance monitoring
- The homeowner's well on Knox Drive abuts that pit, with potential contamination of the water
- Noise, dust, odor which will be generated by the operation
- Destruction of wildlife and the natural environment
- The gravel will largely be going into Anchorage and will not create revenue for the Borough
- American Charter School regularly uses South Sylvan Road for their PE class and are often seen running/walking the road.

This CUP repeatedly goes against Borough Code 17.30.060. See #2 and #4

17.30.060 GENERAL STANDARDS FOR APPROVAL.

(A) In granting an administrative permit or a conditional use permit, the director or commission must make the following findings:

- (1) that the use is not inconsistent with the applicable comprehensive plan;
- (2) that the use will preserve the value, spirit, character, and integrity of the surrounding area;
- (3) that the applicant has met all other requirements of this chapter pertaining to the use in question;
- (4) that granting the permit will not be harmful to the public health, safety and general welfare; and
- (5) that the sufficient setbacks, lot area, buffers or other safeguards are being provided to meet the conditions listed in MSB 17.30.050(B).

Please seriously consider our points of opposition when determining whether this CUP is granted or rejected. We ask that this CUP be rejected for the benefit of all the residents and businesses that would be negatively impacted if granted.

Also, one last tidbit of information we learned about...a 30 day public notice of the action was issued on 9-23-20 to the SOA Public Notice Website, the Alaska Mental Health Trust Authority Website and to the Frontiersman newspaper on 9-25-20. No comments were received. Is there any wonder??? Why wouldn't they have notified the 300 residents and business owners within one half mile of the project by mail? We feel this was done to keep it under "the radar" and it did until the

Borough mailed out the notices to advise us all of what was in the works. This is who and what we will be dealing with for the next 20 years!! Please keep that in mind when making your decision that will affect us all in a very negative way.

Thank you for your time and we look forward to the July 19th meeting to hear further discussions on this proposed gravel pit.

Monica/Mark Alderman
1265 E Lolly Cir (mailing)
Wasilla, AK 99654

.....
7350 W Sun Ridge Cir (physical)
Meadow Lakes, AK 99623

.....
907-355-8584 (Monica)
907-355-5029 (Mark)

Mark Whisenhunt

From: Edward Duncan <ednook@gmail.com>
Sent: Thursday, June 17, 2021 8:55 AM
To: Mark Whisenhunt
Subject: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

"Interested Party"
Edward J. Duncan

Physical Address
7051 West Joes Drive
Meadow Lakes, AK. 99623

Mailing Address
3705 Arctic Blvd.
Box # 2709
Anchorage, AK 99503

The proposed Gravel pit will be directly behind my house. I have many concerns. I have lived here for eleven years and it has been a quiet peaceful neighborhood.
My concerns.

POLLUTION

1. The dust from the mining and processing equipment, what is the level of crystalline in the dust? Is it at a safe level for children and adults to be inhaling 7 days a week?
2. The exhaust fumes and odors from all the trucks and processing equipment the permit allows for 500 truck loads a day.
3. The noise from all the loaders, rock crushers, sifters, trucks, and the back up alarms of all the mobile equipment 7am till 7pm seven days a week. The permit will allow the pit to operate 24 hours a day if the gravel demands require it to.

WATER TABLE

1. My home has a water well, as do all my neighbors. What is all the mining and heavy equipment going to do to the quality of my water and my neighbor's water supply?
2. The oil and glycol from all the equipment and trucks. There will be leaking engine oil, hydraulic oil, and glycol coolant leaks due to blown hoses and poor maintenance and over time these fluids will reach the water table. Who will be responsible when this does occur?

GROUND STABILITY

1. My property is at the top of the hill, there will be gravel taken from the back side of hill with a sheer drop of what I understand to be 100 feet or more, what is that going to do to the stability of the ground and my home's foundation as well as my neighbors in the event of earthquakes?

HOME VALUE

1. What will be the effect of my home value? How much will my home be worth with a noisy air polluting gravel pit in my backyard digging away at the hill side. How much of a loss will I have to settle for, that is

if I could even find a buyer. My neighbor has his house for sale and he had a buyer willing to buy his home. The buyer backed out after learning of the proposed gravel pit. I would have backed out too.

SYLVAN ROAD

1. Sylvan Road is already congested with all the heavy trucking and business vehicles from the industrial area at the lower end of the road.
2. Recently a home developer has been permitted to build 50 duplex houses further up Sylvan Road. That will be ONE HUNDRED more families using the road
and in the short term of a couple of years all the traffic from the contractors building the homes along with all the gravel trucks and the resident traffic. There will be a traffic jam at the Sylvan Road and Parks Highway intersection which is already dangerous.
3. People walk up and down Sylvan Road. There are no sidewalks. How long will it be before someone is injured or killed with all this traffic.
4. Sylvan Road is narrow and how is it expedited to handle the tonnage of all the gravel trucks proposed to be operating on it. When the road is destroyed, who will repair it?

CONCLUSION

This proposed gravel pit will be devastating to the quality of life to the surrounding neighborhoods. Our clean air, water and safety will be compromised.

THIS GRAVEL PIT IS A BAD IDEA FOR THIS AREA. █

Edward J. Duncan

6/17/2021

Mark Whisenhunt

From: Mary Whitemeacham <3bearnite1105@gmail.com>
Sent: Wednesday, June 16, 2021 8:22 PM
To: Mark Whisenhunt
Subject: I am sharing '1623903602869_Document1' with you
Attachments: 1623903602869_Document1.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

To: Mark Whisenhunt,

June 16, 2021

Subject: The Planning Commission in regards to conditional use permit for Sand and Gravel Pit on South Sylvan Road, Wasilla, AK, 99654. Tax ID 17N02W10C001 (160-Acre Parcel, No address)

I am a very concern neighbor from this said 160-Acre Parcel.

First off, this road is not able to handle the proposed traffic that this gravel pit is anticipated maximum trips per day. In 2014, there was an articulated dump truck, which is made up of two parts – the front tractor section and the back hauler, which was driving so fast down South Sylvan Road that he was on the wrong side of the road to make the right hand turn on to Marigold Drive. Because of the drives action, the driver spooked my son's dog that was using the small wood area on the edge of our property, to go to the bathroom, the driver flatten her like a pancake, and murdered our dog. The driver had parked the articulated dump truck up Marigold Drive a few feet, before the driver realized what the driver had done. The driver came back and said, "I think I just ran over your dog, I can help you replace it." Not saying he was sorry by his action. This dog as he called her, was not a just a dog. She was the last dog to a long line of sled dogs I had over the years. There was no replacing her, plus, my family views dogs not as pets they are a part of the family. Because of this incident, I will not allow my grandchildren play in the side yard that faces South Sylvan Road without wearing bright yellow reflector gear. That section of the road is a school bus stop and there are signs to watch for children playing, as well as check your speed, speed limit 25, and slow children playing. In addition, we had the Mat-Su Borough post a radar speed display sign, to hopefully slow traffic down. All that did was to make drivers, drive faster to see how fast they could go done this road. Therefore, now you want to add 1,000 dump truck loads! This makes me more in fear for the lives of my family, as well as those children that walk down this road. I like to know about load restriction for this road. As every year, the road has big potholes and standing water during break-up. How many loads are QAP really planning on running at any given time?

Second, there is a school, American Charter School that uses this road to give the children exercise. Moreover, I have seen the Local Daycare Center use the side of the road to teach the children road safety. If this said sand and gravel pit is allowed, the health and safety of those children are in grave danger.

Thirdly, our neighborhood of the Knox Road has a community well on the corner of Knox and South Sylvan. Which, I believe is considered to be registered as Class A water system. From my understanding, this system is protected by State and Federal statutes. Who will fix our system if

the water goes bad? As we had just a few year ago had to upgrade the system per DEC. The cost to the neighborhood that is on this system was not cheap no means. In addition, as my husband and our property owner of that corner lot we lost many of our trees to that upgrade. Those trees blocked much of the noise that comes from the road traffic. Now, we are up all hours of the night because of the noise. Once, again your proposal adds to vibration to our water system that could very well cause damage. Moreover, the noise that will come from all the additional traffic, let along the dusty that comes with it.

Fourthly, the value of our home and property, what will happen to that? I am sure that it will not help by no means. While talking to our neighbors, my husband and have learned that some are in the process of trying to sell. We are sadden to know that the value of their home as decreased dramatically. The potential, buyers have backed out because they have read the disclosers and do not want to live next to no sand and gravel pit. While, talking to them they had reminded us that not only is this going to be sand and gravel pit, but the QAP want to place an asphalt plant here too. Can you even imagine the smell that will come from that! My husband and want the value of our home to go up not down just as any other homeowner would want. Who is going to buy our house if the value goes down? I am sure QAP and the Alaska Mental Health Trust Authority is not going to buy us out.

Lastly, why don't you come on down here, park your camper here for a week, and see all that we see? How about really looking at the traffic hazards? This road is not meant for this kind of proposed traffic. In addition, I thought that the Mat-Su Borough had already given Alaska Mental Health Trust Authority to turn this land parcel into some kind of nice park, seeing it already has a trail going across it that many teenagers like to walk down this trail. Why, would Jami Johnson, Traffic Control Supervisor, and John Klotunowitch, Project Superintendent, sign off on this project? Did they even come over here, look with their own two eyes, and see how dangerous this can be for all of use that will be affective by the site plan?

The operation of hours 7am to 7pm is unacceptable! Can you even imagine what the noise, smells from the asphalt, the dusty in the air would do to a person suffering from asthma? A person cannot enjoy their back yard looking at a gravel pit for the next 20 years. Are you really trying to drive people out of the state? If you do approve this project, how about QAP, Alaska Mental Health Authority, or the Mat-Su Borough pay for house cleaning for all those residents affected by the site plan are!

Thank you for time in ready our concerns to this project.

Mary White-Meacham

Haden Williams

Mark Whisenhunt

From: Amy Schachle <amyschachle@yahoo.com>
Sent: Wednesday, June 16, 2021 7:00 PM
To: Mark Whisenhunt
Cc: Amy Schachle
Subject: Proposed gravel pit on South Sylvia Road Tax ID# 17N02W10C001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

I am writing you to voice my opposition to the proposed gravel pit on South Sylvan Road in Meadow Lakes. I am a resident at 7494 West Sun Ridge Circle and am adamantly opposed to a gravel pit in a residential area.

My main concern is safety. I have children who will use Sylvan Road to access the the many opportunities open to them from living in the area. I fear the constant travel from the gravel trucks greatly increases their chances of being injured by said vehicles. I fear the possibility of any child being struck by a truck or an object that dislodges from a truck. Sylvan road was not constructed with the ability to safely handle this kind of repetitive use by large vehicles/machinery. The deterioration to the road, from the gravel trucks, will increase the chances of a vehicle losing control and potentially striking a pedestrian along the road. Sylvan road is a residential road and it reflects that in its narrow lanes and non-existent shoulders. This potentially goes against MSB 17.30.060 (4) that granting the permit will not be harmful to the public health, safety and general welfare; and

Another large concern is the devaluation of my property, and all other residential properties in the area. A gravel pit less than 1/2 mile (end of my road) will reduce the value of my home by a large sum. This decrease will eventually lower my taxes and decrease the amount of revenue the borough receives for community benefit. This means less money for EMS, Law Enforcement, Schools, and Parks and Recreation just to list a few. A neighbor has already been negatively impacted by the potential gravel pit when a buyer for their house pulled out once they found out about the gravel pit. Every other potential buyer has stopped as soon as they read about it in the disclosure. How will any of the residents be able to move should the gravel pit be allowed? The devaluation of my house goes against MSB 17.30.060, 2) that the use will preserve the value, spirit, character, and integrity of the surrounding area;

The entrance to this gravel pit is planned to be within feet of a community well. This puts those on this well in grave danger should their well be damaged by the equipment. The exit will be feet from Sun Ridge on a blind hill. MSB 17.30.060 (4) that granting the permit will not be harmful to the public health, safety and general welfare; and

Another point is that I did not choose to live near a gravel pit! It's one thing to buy a property near an active gravel pit, it's a choice one gets to make. I have lost my freedom of choice when a gravel pit is opened in an established residential neighborhood. I did not get to make the choice to hear heavy equipment at all hours of the day. I did not get to make the choice to smell an asphalt plant during operating hours. I did not get to make the choice to send my children to school by traveling a road congested by gravel trucks and heavy machinery. I would not have made the choice to live next t a gravel pit that will generate dust that then impacts my immune compromised child. MSB 17.30.060 (4) that granting the permit will not be harmful to the public health, safety and general welfare; and

Below is a brief list of reasons to oppose the gravel pit on South Sylvan - Parcel C001 Tax ID# 17N02W10C001 -

- The inadequacy of Sylvan to handle the traffic
- The heavy equipment on an inadequate road
- The effect of traffic on the Parks/Sylvan intersection
- The airport across from the proposed site, and the flight path directly over the pit
- The devaluation of homes in the area
- The 24 hour a day/7 days a week schedule proposed in the CUP
- The need for strong compliance monitoring
- The homeowner's well on Knox Drive abuts that pit, with potential contamination of the water
- Noise, dust, odor which will be generated by the operation
- Destruction of wildlife and the natural environment
- The gravel will largely be going into Anchorage and will not create revenue for the Borough
- American Charter School regularly uses South Sylvan Road for their PE class and are often seen running/walking the road.

This CUP repeatedly goes against Borough Code 17.30.060. See #2 and #4

17.30.060 GENERAL STANDARDS FOR APPROVAL.

SHARE

(A) In granting an administrative permit or a conditional use permit, the director or commission must make the following findings:

(1) that the use is not inconsistent with the applicable comprehensive plan;

(2) that the use will preserve the value, spirit, character, and integrity of the surrounding area;

(3) that the applicant has met all other requirements of this chapter pertaining to the use in question;

(4) that granting the permit will not be harmful to the public health, safety and general welfare; and

(5) that the sufficient setbacks, lot area, buffers or other safeguards are being provided to meet the conditions listed in MSB **17.30.050**(B).

Please seriously consider my points of opposition when determining whether this CUP is granted or rejected. I ask that this CUP be rejected for the benefit of all the residents and businesses that would be negatively impacted if granted.

Thank you for your time,

Amy Schachle
907-982-3869
7494 West Sun Ridge Circle
99623

Mark Whisenhunt

From: Valerie Martinez <vals74@yahoo.com>
Sent: Wednesday, June 16, 2021 5:19 PM
To: Mark Whisenhunt
Subject: Permit for Gravel Pit

Importance: High

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

I would like to comment on the Pending Permit for the Gravel Pit located at Parcel C001 on Sylvan Rd in Meadow Lakes as I am a homeowner off of Knox Dr.

There are several reasons why this should not be allowed to be granted. First of all Sylvan Road is already in terrible shape and with resources being hauled out 24-7 will destroy what is left of this small narrow road. Secondly The dust that will be created by the hauling, piling, and loading of the gravel will create harmful breathing conditions for everyone not to mention anyone that may have an respiratory issues (could be fatal.)

Thirdly the noise will be horrible with the crushing of the rock there will not be any peace in our yards for the next 20 years. Lastly, our property values will be reduced significantly as no one wants to live near a gravel pit for all of the reasons I've outlined.

Sincerely,

Valerie Martinez
570 S Gary Cir
Wasilla, AK 99623

Sent from [Mail](#) for Windows 10



Virus-free. www.avg.com

Mark Whisenhunt

From: Samie K <samiej85@gmail.com>
Sent: Wednesday, June 16, 2021 11:51 AM
To: Mark Whisenhunt
Subject: QAP Sylvan Conditional Use Permit Tax ID 17N02W10C001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Dear Mark,

My name is Samantha Kendall and I am writing to let you know that I am not for the gravel and sand pit in my neighborhood. PLEASE NO!!! I live down a dirt road as it is which happens to be 6863 w Knox Drive. My question is why down Sylvan when there are by far safer and more reasonable places? We use Sylvan on a daily basis for work and school daily how is this going to affect our timing and planning. AGAIN PLEASE NO!!!

Thanks,
Samantha

Mark Whisenhunt

From: gentry k <gkendall77@gmail.com>
Sent: Wednesday, June 16, 2021 11:48 AM
To: Mark Whisenhunt
Subject: Qap sylvan conditional use permit. Tax ID 17n02w10c001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

My name is Gentry kendall. I live on 6863w. Knox dr. Wasilla ak, 99623 . In regards to the gravel and sand pit down sylvan road. Please no. Way to many kids in the area. The small sylvan road is busy enough. We don't need semi trucks driving around the area at all hours of the day and night. The dust in our area is bad enough living on a dirt road Knox dr.. I'm sure a gravel pit won't help out at all.

Let alone bring down the area property value.
There has to be a non rural area in this vast land that would be a far better choice.

Mark Whisenhunt

From: Elissa Williams <Elissa.Alderman@hotmail.com>
Sent: Tuesday, June 15, 2021 10:41 PM
To: Mark Whisenhunt
Subject: QAP Sylvan - Conditional User Permit (Tax ID #17N02W10C001)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Mark,

I am writing this email in opposition to the proposed Gravel Pit by QAP on Sylvan Road. My husband and I built our first house at the end of Joe's Dr together 8 years ago, and have since had two children. We chose to build in this neighborhood because it had been well established for many years, and is a quiet, safe area. We built our first home small, with the hopes of paying it down and building equity so we could one day sell and provide more for our growing family, as many people do. The news of this gravel pit being considered for development directly behind our house is heartbreaking, for us as well as many, many others in the area. Not only will this bring down the property and re-sale value of our homes, but it will be loud, disruptive and potentially dangerous for our families for multiple reasons. I beg you to consider the people in this community and the negative impacts this will have on them when making a decision on this proposal.

Negative impacts to the surrounding neighborhoods:

1. Noise / Smell / Dusty / Air Quality
2. Increased traffic of LARGE dump trucks
 - a. The Pittman intersection was poorly designed and will not be able to handle this traffic
3. Safety of pedestrians, ATVs and other vehicles using Sylvan or surrounding roads
4. Decreased property value for everyone around
5. Potential for water/well pollution or contamination for houses surrounding the proposed site (what is the contingency plan from QAP if this happens??)
6. The school and day care at the end of Sylvan have heavy traffic during school days, and this is a huge safety concern with large trucks constantly going down the road.

I could go on and on, but I don't want to waste your time. In the end, this is our home, where we are raising young children and trying to provide the best we can for them.

Thank you for taking the time to read this. Please feel free to contact me if you have any questions!

Elissa Williams
907-355-2029

Mark Whisenhunt

From: Cynthia Phillips-Johnson <ckphillipsjohnson@gmail.com>
Sent: Monday, June 14, 2021 6:59 PM
To: Mark Whisenhunt
Subject: QAP sylvan conditional use permit Tax ID# 17N02W10C001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

I, Cynthia Phillips-Johnson, strongly object to the issuing of a permit allowing the operation of a gravel pit on Sylvan Rd. I live at 1399 Tim Ave, part of The Bruns Park subdivision. My concern is the devaluation of my property, the noise and odor pollution, Concern for my water source. I'm concerned about the traffic load on Sylvan rd, concerned about the danger at the intersection of sun ridge rd and Sylvan where the proposed access to said gravel pit. I drive along Sylvan multiple times a day for work/errands and am concerned that in my small car that the big trucks will be unable to see me as I am cresting the hill at the intersection of sylvan & sun ridge. I'm concerned about the congestion at the Sylvan and Parks Highway intersection with the proposed 1000 trips per day. I'm concerned with the ability of emergency vehicles being able to access the many residential homes surrounding the proposed gravel pit and their access to get on/off the Parks highway sufficiently. The people of the neighborhood and children of the charter school and CCS preschool walk along Sylvan road and the schools ability to access & safely cross Sylvan rd as part of their emergency evacuation plan for the schools in the Town center area.

Also need to take into consideration the proposed Bruns Lake overlook housing project, if approved, will add additional traffic from 56 proposed lots for residential use. This along with semi-trucks, dump trucks and other heavy equipment will not only add more damage and stress to the already low maintained road but will increase the likelihood of motor vehicle and/or pedestrian incidents.

Please take my concerns and strong objections into consideration for the safety and health of all the residents in and around the proposed gravel pit site.

Sincerely
Cynthia Phillips-Johnson

Mark Whisenhunt

From: Sandy Phillips-Johnson <sjphillipsjohnson@gmail.com>
Sent: Monday, June 14, 2021 6:50 PM
To: Mark Whisenhunt
Subject: QAP sylvan conditional use permit Tax ID# 17N02W10C001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

I, Sandra Phillips-Johnson, strongly object to the issuing of a permit allowing the operation of a gravel pit on Sylvan Rd. I live at 1399 Tim Ave, part of The Bruns Park subdivision. My concern is the devaluation of my property, the noise and odor pollution, Concern for my water source. I'm concerned about the traffic load on Sylvan rd, concerned about the danger at the intersection of sun ridge rd and Sylvan where the proposed access to said gravel pit. I'm concerned about the congestion at the Sylvan and Parks Highway intersection with the proposed 1000 trips per day. I'm concerned with the ability of emergency vehicles being able to access the many residential homes surrounding the proposed gravel pit and their access to get on/off the Parks highway sufficiently. The people of the neighborhood and children of the charter school and CCS preschool walk along Sylvan road and the schools ability to access & safely cross Sylvan rd as part of their emergency evacuation plan for the schools in the Town center area.

Also need to take into consideration the proposed Bruns Lake overlook housing project, if approved, will add additional traffic from 56 proposed lots for residential use. This along with semi-trucks, dump trucks and other heavy equipment will not only add more damage and stress to the already low maintained road but will increase the likelihood of motor vehicle and/or pedestrian incidents.

Please take my concerns and objections into consideration for the safety and health of all the residents in and around the proposed gravel pit site.

Sincerely,

Sandra Phillips-Johnson

Mark Whisenhunt

From: julie holbrook <holbrook@mtaonline.net>
Sent: Monday, June 14, 2021 5:23 PM
To: Mark Whisenhunt
Subject: conditional use permit objection

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

RE: Conditional Use Permit for gravel pit operation at Parcel C001 Tax
ID17N02W10C001

I reside at 7421 W. Sun Ridge Circle, directly across Sylvan from the property referenced above. I strongly oppose the issuance of a conditional use permit to allow a gravel pit operation.

My concerns are for the safety and well being of my family and others living in the area who will be directly impacted by this permit. The noise, lights, dust, odors and additional traffic this gravel pit/asphalt plant will generate should not be allowed with all of the houses around it. This permit will allow for gravel hauling 24 hours, 7 days a week, for 20 years. Anticipated maximum traffic is 500 trucks per day. The plans are for entrance and exit along Sylvan Rd. Sylvan Road is already over burdened with traffic, congested and the site of frequent accidents. There are 84 homes, 3 duplexes, several businesses, a preschool and charter school that use Sylvan as their entrance and exit. The intersection at Sylvan and the Parks Highway is not designed to handle 1000 vehicle trips a day. There is no turn lane onto the Parks. It is dangerous already.

Beyond my safety and quality of life, I am also concerned about the effects this pit will have on the value of my home, as well as those of my neighbors. A near by home was sold but the buyer backed out when learning of this proposed gravel pit. Property values will sink. It is unfair to people who have put their life's savings into their homes to have them devalued by something like this.

I am not against development. But this pit with this kind of traffic in a mostly residential/light commercial area with the only access on an underdeveloped single lane street flanked by two schools is poor planning at best.

Julie Holbrook

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This email has been checked for viruses by Avast antivirus software.
<https://www.avast.com/antivirus>

Mark Whisenhunt

From: Matt Medinas <MMedinas@megawattelectric.com>
Sent: Monday, June 14, 2021 11:14 AM
To: Mark Whisenhunt
Subject: FW: CU Permit Parcel 17N02W10C001 Meadow Lakes

Importance: High

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mark

I am writing this email in opposition of CU Permit for Parcel 17N02W10C001 in Meadow Lakes Subdivision. The proposed pit is not only in contradiction to our Registered Community Plan but is also a personal issue. Below are a few reasons I wholeheartedly object to the pit.

* I own two lots, one on Sylvan and one adjoining on Knox. I purchased the lot on Knox for 38 thousand dollars so that I could have my horses close to my house and enjoy some wooded peace in my backyard. This pit would ruin this. (my wife and i wrote letter and saved for years to purchase this property). We have owned it for 3 years, Please do not ruin it!!

* Traffic, Sylvan Road intersection is NOT SAFE as it is. My son was hit broadside leaving the fuel station by a lady jumping across from the school to the gas station as she raced through traffic. This is only one example. I avoid the intersection and take Blondell from the HWY home typically because it's a challenge. Additionally I fear that everybody will do the same if the truck traffic increases pushing more traffic down a residential street where kids play regularly. I fight to slow traffic down as it's used as a bypass for angry drivers during construction as it is (let alone when there is no construction This PIT will only make it worse!!

* Property Values, What becomes of my investment. History shows and the fact is that it will decrease my property value. We have lived and raised our kids there with the idea we would pay the house off and eventually sell it for a good proffitt. I don't have a solid number but am I supposed to just eat the loss?

* Water Contamination, i have wells on both lots. The water table for both lots is at 40' and the surface percs water extremely well! When the water is contaminated or lost due to the pit depth, who is going to provide water to the over 100 houses it has potential to affect? Are you going to guarantee us water rights? I did not move to a place where I have perfect water on both lots to drink city water!

* Habitat, There are wetlands that run through the property you have in question. What mitigation is there for this? Is there a SWPPP in place?

These are a few of my reasons you should reconsider.. I work in the construction field and understand the need for quality materials however I DO NOT see where it's an ethical or good business practice to develop a pit in the middle of an established residential neighborhood!! I think you know this as well, please reconsider.

Matthew & Amber Medinas
907-333-4506
Gomedinas@gmail.com

Mark Whisenhunt

From: matt medinnas <gomedinas@gmail.com>
Sent: Monday, June 14, 2021 11:13 AM
To: Mark Whisenhunt
Subject: CU Permit 17N02W10C001 Meadow Lakes

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mark

I am writing this email in opposition of CU Permit for Parcel 17N02W10C001 in Meadow Lakes Subdivision. The proposed pit is not only in contradiction to our Registered Community Plan but is also a personal issue. Below are a few reasons I wholeheartedly object to the pit.

* I own two lots, one on Sylvan and one adjoining on Knox. I purchased the lot on Knox for 38 thousand dollars so that I could have my horses close to my house and enjoy some wooded peace in my backyard. This pit would ruin this. (my wife and i wrote letter and saved for years to purchase this property). We have owned it for 3 years, Please do not ruin it!!

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* Water Contamination, i have wells on both lots. The water table for both lots is at 40' and the surface percs water extremely well! When the water is contaminated or lost due to the pit depth, who is going to provide water to the over 100 houses it has potential to affect? Are you going to guarantee us water rights? I did not move to a place where I have perfect water on both lots to drink city water!

* Habitat, There are wetlands that run through the property you have in question. What mitigation is there for this? Is there a SWPPP in place?

These are a few of my reasons you should reconsider.. I work in the construction field and understand the need for quality materials however I DO NOT see where it's an ethical or good business practice to develop a pit in the middle of an established residential neighborhood!! I think you know this as well, please reconsider.

Matthew & Amber Medinas
907-333-4506
Gomedinas@gmail.com

Mark Whisenhunt

From: Karen <kzaj2ch@mtaonline.net>
Sent: Monday, June 14, 2021 10:23 AM
To: Mark Whisenhunt
Subject: QAP Sylvan Conditional Use Permit. Tax ID 17N02W10C001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

We are 100% opposed to having a gravel pit on Sylvan Rd which would creep up to our backyard since our property borders this parcel of land. It seems that we citizens living in this area have not been given any consideration over the NEGATIVE impact it would have on everyone in all ways. This is heavy industry and does not belong in this location which is the center of town. The gravel pit and asphalt plant will surely devalue our home and property not to mention the impact it would have on our health. We are living in Alaska for the clean environment and not what the proposed situation would bring to us.

Edward and Karen Zajchowski June 14, 2021

Sent from [Mail](#) for Windows 10

Mark Whisenhunt

From: Paul Nolton <noltonp@yahoo.com>
Sent: Saturday, June 12, 2021 9:40 AM
To: Mark Whisenhunt
Subject: Opposed to Sylvan Road gravel pit.

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

I am a home owner who lives off of Sylvan road on Knox Drive. I am strongly opposed to the gravel pit being planned along Sylvan road.

Three community streets, Knox Drive, Sun Ridge and Joes Place are all established neighborhoods that their only access out is on Sylvan road.

Children walk along Sylvan road as well as riding bicycles. School buses stop along Sylvan road.

This will be a big safety issue with numerous gravel trucks driving on Sylvan road. Also the dust and dirt it will cause as well as traffic concerns and the road itself deteriorating.

This proposed gravel pit should not be in the middle of established neighborhoods.

Thank you for your consideration.

Paul Nolton
357-5890

Mark Whisenhunt

From: Sherri <sherri@mtaonline.net>
Sent: Friday, June 11, 2021 6:10 PM
To: Camden Yehle
Cc: Patricia Fisher; Chad Scott; Linda Conover; Mark Whisenhunt
Subject: Re: Opposition letter to Sylvan gravel CUP

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good letter

Sent from my Verizon Motorola Smartphone

On Jun 10, 2021 12:21 PM, Camden Yehle <camdenyehle@gmail.com> wrote:

Hi Mark - I'd like to submit the attached letter on behalf of the Meadow Lakes Community Council in response to the proposed Sylvan gravel mine. The membership voted unanimously at our June 9, 2021 meeting to oppose the CUP. As stated in the letter, the CUP is in violation of several components of the Meadow Lakes Comprehensive Plan.

Camden Yehle
Meadow Lakes Community Council President
907-346-0506
camdenyehle@gmail.com

Mark Whisenhunt

From: psfisher@gci.net
Sent: Friday, June 11, 2021 12:44 PM
To: Mark Whisenhunt
Subject: Letter of Opposition to the Sylvan Gravel Pit
Attachments: My letter of Opposition.docx

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mark, here is my personal letter of opposition to the pit (as separate from the Community Council's letter).

Opposition to Sylvan Gravel Pit

June 10, 2021

As an individual, I strongly oppose the Sylvan Gravel Pit for the following reasons:

- 1) It violates the Meadow Lakes Community Council Comprehensive plan
 - **It places a gravel pit in the center of the ML Town Site.**
 - It will cause the **destruction of the natural environment of the area**, the stream and wildlife.
 - It potentially **endangers the drinking water of residents** that directly adjoin the pit.
- 2) Sylvan road is a minor collector road that was not designed for heavy truck traffic. It cannot **physically** accommodate 1000 trips a day by heavy equipment trucks.
- 3) Sylvan cannot handle **the amount of traffic** that will occur with 1000 truck trips added per day, and the congestion at the Parks/Sylvan intersection.
- 4) It will **endanger the children** that walk along Sylvan from American Charter School.
- 5) It would create an **unhealthy environment for the residents** on Knox, Tim, Blondell, Joe's Drive, Sun Ridge and Full Curl in terms of dust, odor, noise, and **will result in devaluation to properties.**

Patti

Patricia Fisher
PO Box 7362 W Parks Hwy. #514
Wasilla, AK 99623
907-357-8616

Mark Whisenhunt

From: Roger Oliver <ropaoliver@gmail.com>
Sent: Friday, June 11, 2021 9:55 AM
To: Mark Whisenhunt
Subject: sylavan gravel pit proposal

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello My name is Roger Oliver I live at 6721 W. Joes Drive Wasilla Alaska. I am totally against the proposed gravel pit on Sylvan Road. Why would the borough want to give a permit that will damage this community for life. I have suffered Just from the Proposal of UMIAQ Environmental On Behalf of Coalaska (dba Qap) I had my house sold and was waiting for closing date when this proposal became public notice and the buyer backed out (I have this in writing if you need another copy) also had 2 potential buyer ready to make offer until they read about proposed Sylvan gravel pit they also back out and i can prove this this. As you have read from my realtor Shannon Parberry The buyer backed out just from the proposal. Now nobody wants the house with a gravel pit in their backyard !! Would you like it. all property and business are going to lose here. There are plenty of places to get gravel beside this one proposed on sylvan road. dose the borough even care about all the people it going to effect for rest of are lives I ask you to please Denied this proposed gravel pit.

Also, do you have a copy of the lease agreement from mental health and UMIAQ I would like to see it. Also why did not everyone get a letter from Mat su Borough and really this is leased land QAP don,t even own the property!! QAP is owned by coalaska and coalaska is owned by cola group one of the largest const in the world. they can put a gravel pit where it will not affect residential area life. **Do not approve this permit** .

Thank You Roger J Oliver

FROM : Roger and Olena Oliver

On the proposed Gravel Pit on Sylvan road Also known as Parcel COO1 Tax
Id#17N02W10C001 within Township 17 North Range 2 West section 10 Seward Meridian

Roger Oliver <ropaoliver@gmail.com>

Jun 11,
2021, 9:54
AM (3 days
ago)

to mark.whisenhunt

Hello My name is Roger Oliver I live at 6721 W. Joes Drive Wasilla Alaska. I am totally against the proposed gravel pit on Sylvan Road. Why would the borough want to give a permit that will damage this community for life. I have suffered Just from the Proposal of UMIAQ Environmental On Behalf of Coalaska (dba Qap) I had my house sold and was waiting for closing date when this proposal became public notice and the buyer backed out (I have this in writing if you need another copy) also had 2 potential buyer ready to make offer until they read about proposed Sylvan gravel pit they also back out and i can prove this this. As you have read from my realtor Shannon Parberry The buyer backed out just from the proposal. Now nobody wants the house with a gravel pit in their backyard !! With the proposal all houses on Joes drive will be looking down into A very deep gravel pit much like the one along Palmer Wasilla Hwy at where the Essential store is. Would you like Your house there? all property and business are going to lose here. There are plenty of places to get gravel beside this one proposed on sylvan road. dose the borough even care about all the people it going to effect for rest of are lives I ask you to please Denied this proposed gravel pit.

Also, do you have a copy of the lease agreement from mental health and UMIAQ I would like to see it. Also why did not everyone get a letter from Mat su Borough. And really this is leased land QAP don,t even own the property!! QAP is owned by coalaska and coalaska is owned by cola group one of the largest const in the world. they can put a gravel pit where it will not affect residential area life. **Do not approve this permit** . Thank You Roger J Oliver.

Roger J Oliver

Matanuska-Susitna Borough
Permit Center

JUN 14 2021

Received

Termination of Agreement to Purchase

This form authorized for use ONLY by active Real Estate Licensee Subscribers of Alaska Multiple Listing Service, Inc

1 Address 6721 W Joes Drive, Wasilla, AK 996542 Legal (the Property) Bruns Park L6 B2

3

4 **RELEASE:** The undersigned agree that the Purchase and Sale Agreement between:

5 Lorinda Ganong, Buyer, and Roger and Olena Oliver, Seller,
 6 dated 05/04/2021 for the purchase of the above described property and all other agreements or
 7 undertakings between them in respect to said property are hereby terminated; and each releases the other and the
 8 Brokers and their Licensees from any and all present or future liability there under and/or in connection with said sale,
 9 other than as set forth hereinafter.

10

11 **EARNEST MONEY:** The Earnest Money is held by ☐ Listing Brokerage ☒ Selling Brokerage. The Broker is
 12 authorized and directed to immediately disburse the earnest money as follows:

13 Due to new information pertaining to the potential gravel pit, all earnest money to be returned to the buyer.
 14
 15

16 **BROKERAGE FEE IF SOLD IN THE FUTURE:** If Seller shall, within 6 months after the date hereof, agree to sell,
 17 sell, option, or lease option, said property to the Buyers, or someone acting on Buyer's behalf, the seller shall pay the
 18 Listing Brokerage a brokerage fee per the Personal Services Agreement/Authorization and Exclusive Right to Sell.

May-26-2021 | 14:44 PDT

20 Dated: 5/26/2021 Time: 11:55am a.m./p.m.

Dated: _____ Time: _____ a.m./p.m.

21 DocuSigned by:

22 Buyer 1: Lorinda Ganong
9C85BC7E37674DA...

DocuSigned by:

22 Seller 1: Roger J Oliver
DocuSigned by:
59447...

24 Buyer 2: _____

24 Seller 2: Olena Oliver
46F54BCD60BA467...

26 Buyer 3: _____

26 Seller 3: _____

27 DocuSigned by:

28 Selling Licensee: Tanya J Hegg
DocuSigned by:
A66C034BA...

DocuSigned by:

28 Listing Licensee: Shannon Parberry
2D116425E92D488...30 Selling Licensee 2: Samuel J. Goldman
DocuSigned by:
A954E3...

30 Listing Licensee 2: _____

32 Selling Brokerage: Alaska Built Real Estate32 Listing Brokerage: RE/MAX Dynamic of the Valley

34 Authorized Signature/Selling Broker:

34 Authorized Signature/Listing Broker:

35 DocuSigned by:

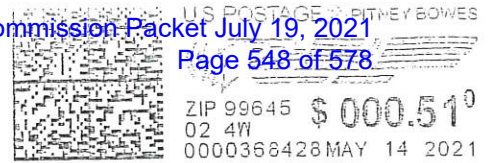
35 Samuel J. Goldman
DocuSigned by:
A954E3...

DocuSigned by:

35 Sally Goodrich
DocuSigned by:
95630D0113F3450...Matanuska-Susitna Borough
Permit Center

JUN 14 2021

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645



Matanuska-Susitna Borough
Permit Center

JUN 14 2021

52686B01L003 95

WASILLA AK 99623

Received

The Planning Commission of the Matanuska-Susitna Borough will consider the following:

Applicant: UMIAQ Environmental on behalf of Colaska Inc. (dba OAP)
Location: Parcel C001 on Sylvan Road in Meadow Lakes, Tax ID# 17N02W10C001 (No Site Address); within Township 17 North, Range 2 West, Section 10, Seward Meridian.
Request: An application for a conditional use permit under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities, has been submitted for the extraction of approximately 2,000,000 cubic yards of earth material, through 2041. The total area of earth material extraction activity will occur on approximately 105 acres of the 160-acre parcel.

The Planning Commission will conduct a public hearing concerning the following application for a conditional use permit on Monday, July 19, 2021 at 6:00 p.m. in the Borough Assembly Chambers, 350 E. Dahlia Avenue, in Palmer. This may be the only presentation of this item before the Planning Commission and you are invited to attend. Please Note: Due to the ongoing Coronavirus/COVID-19 Pandemic, the method in which this meeting is being conducted may change. If a change to the meeting is necessary, it will be posted on the Borough website. The public is encouraged to check the Borough website prior to attending the public hearing for any changes to the meeting schedule or method. The Planning Commission members may submit questions to the Planning Commission Clerk concerning the matter or request for more information from the applicant at the time of introduction. All questions and requests submitted by the Commission shall be in writing and copies will be provided to the applicant and made available to all interested parties and the public upon request. Answers to questions and additional material requests will be addressed in the staff report for the public hearing. Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

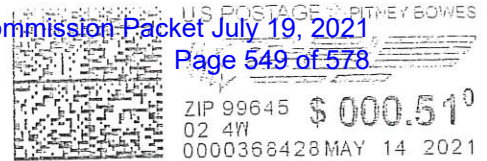
Application material may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." For additional information, you may contact Mark Whisenhunt, Planner II, at 861-8527. The public may provide verbal testimony in person at the meeting or telephonically by calling 1-855-290-3803. You will hear "Joining conference" when you are admitted to the meeting. You will be automatically muted and able to listen to the meeting. When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, "Your hand has been raised." When it is your turn to testify, you will hear, "Your line has been unmuted." State your name for the record, spell your name, and provide your testimony. You have 3 minutes to state your concerns & comments. This is not a question and answer session. This is only for stating your concerns and comments. Written comments can be mailed to: MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645. You may e-mail comments to mark.whisenhunt@matsugov.us. In order to be eligible to file an appeal for a decision of the Planning Commission, a person must be designated an "interested party." See MSB 15.39.010 for the definition of "interested party." The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before June 21, 2021 and will be included in the Planning Commission packet for the Commissioner's review and information. Please be advised that comments received from the public after that date will not be included in the staff report to the Planning commission, but will be provided to the Commission at the meeting.

Name: Roger J Oliver **Mailing Address:** P.O Box 298767 Wasilla, AK 99629
Address of your property: 6721 W. Joos Drive
Comments: No Gravel P.t Are Property Value Has dropped, we lost Are Sale for Are house And I paid it! \$30

Note: Vicinity Map Located on Reverse Side

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645



Matanuska-Susitna Borough
Permit Center

JUN 14 2021

52686B01L003 95

Received

WASILLA AK 99623

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Name: Olena Oliver **Mailing Address:** P.O. Box 298767
Address of your property: 6721 West Toes Drive Wasilla, AK 99629

Comments: I have so many reasons to say
"NO" to Gravel Pit!!! I can't understand why
would someone to make a decision to change
ours lives!!!! We have so nice quiet and
peaceful neighborhood and we want to
keep it this way! NO GRAVEL PIT!

Note: Vicinity Map Located on Reverse Side

Mark Whisenhunt

From: Harriet Frankson <hjane23@live.com>
Sent: Wednesday, June 9, 2021 10:36 AM
To: Mark Whisenhunt
Subject: Gravel pit sylvan

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Whoever this may concern,

I currently live here on West Knox drive and have been here for 9 going on 10 years. I'm not too happy about the gravel pit that will coming soon. This is a very quiet neighborhood and would love to keep it that way. Last thing I want as scenery is a gravel pit, this is going to be right in my back yard.

Sent from my iPhone

Mark Whisenhunt

From: Dee <dpak1@hotmail.com>
Sent: Tuesday, June 8, 2021 7:27 PM
To: Mark Whisenhunt
Subject: QAP gravel pit on Sylvan Rd.

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Dee Prescott
1726 N. Lakeview Dr.
Meadow Lakes, Alaska 99623

In reference to the proposed gravel pit on Sylvan and Blondell area and being a resident of Meadow Lakes, living off of Pittman Rd., I am totally against it. Consider my vote to be a definite NO.

Thank you.

Dee Prescott

Sent from my iPhone

Sent from my iPhone

Mark Whisenhunt

From: Jennie Rupp <jenniekrupp@gmail.com>
Sent: Tuesday, June 8, 2021 10:04 AM
To: Mark Whisenhunt
Subject: Parcel C001 on Sylvan Road

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

To whom it may concern:

In regards to the possible extraction activities that may happen on Sylvan road, I wanted to share some concerns. I am aware that these concerns are purely selfish. We all are just trying to do what is best for ourselves and our families so I am aware any party involved feels the same. My husband and I own a home on Sylvan road. Our driveway is one of the few that is directly on that road. With this new business, I know many trucks will be coming and going. My concern is that we have a young family and the constant traffic makes me nervous. We already struggle with constant speeding cars going past our home. It just makes me feel uneasy. I feel it important to share our feelings, but know that the decision for the majority of people involved will be chosen. Thank you for your time.

Jennie Rupp
jenniekrupp@gmail.com

Mark Whisenhunt

From: Brian O'Connor <frontierliving@gmail.com>
Sent: Friday, June 4, 2021 11:11 PM
To: Mark Whisenhunt
Subject: QAP Sylvan- conditional use permit comment
Attachments: Sylvan Pit.pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mr. Whisenhunt,

I hope your day is going well so far. My name is Brian O'Connor and I am emailing you about a proposed development in the meadow lakes area. Attached is a letter that addresses the QAP Sylvan Earth Material Mine. If you could spare a moment of your time by reading my letter, I would be greatly appreciative. Please, feel free to contact me via phone or email if you have any questions or concerns about my letter. Thank you.

Brian O'Connor
907-952-2507
Frontierliving@gmail.com

Brian and Erica O'Connor

*Property owners of: 7080 West Knox Drive, Wasilla AK
Physical address: 6418 North Idle Bear Circle, Palmer AK
Contact: 907-952-2507 / 907-982-5992*

Mark Whisenhunt
Planner II
MSB Development Services Division
350 East Dahlia Avenue
Palmer, AK 99645

June 4, 2021

Dear Mr. Whisenhunt,

I am writing you today to express my concern and disapproval of the QAP Sylvan permit. It is a permit that would allow extraction of earth materials at parcel C001 on Sylvan Road in Meadow Lakes. Earth material extraction is proposed, at this time, for a period of 20 years in a residential area.

My concern with the approval of the QAP Sylvan permit is that it will have a severely negative impact on living conditions, property value and loss of revenue from our rental property. The rental property is located at 7080 West Knox Dr. The material extraction site is proposed to be within 75 feet from our bedroom windows. The amount of noise produced from the entry/exit of heavy machinery (up to 1,000 trips/day), the loading of material, material sifting/sorting/rock crushing and operation of equipment, such as earth movers, will make it nearly impossible to obtain any suitable rest from tenants that sleep both daytime and nighttime. A 10 foot berm will be greatly insufficient for noise mitigation for a 2 story dwelling with south facing bedroom windows (facing the proposed mine). Thus, making it extremely difficult (if not impossible) to rent out either unit unless the rental price is significantly below average rental rates in the area.

I am asking you to deny the QAP Sylvan permit to extract earth materials from site parcel C001.

I would also like to add that upon purchasing our property in 2016, the 160 acre parcel to be mined was state owned under the Department of Mental Health. If there was any inkling of a commercial use of the 160 acre parcel, we would not have purchased the property for our multi-family dwelling.

I want to thank you, Mr. Whisenhunt, for taking the time out of your day to read my letter of concern and for considering my issues as you decide on denial/approval of the QAP Sylvan permit. Feel free to contact me at any time with questions or concerns that you may have. Again, thank you for your valuable time.

Regards,
Brian and Erica O'Connor

Mark Whisenhunt

From: Alex Mahoy <amahoy@yahoo.com>
Sent: Tuesday, June 1, 2021 8:56 PM
To: Mark Whisenhunt
Subject: Parcel C001 Sylvan Road

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

To Whom it may concern,

I'm writing in opposition to the new neighborhood being proposed off Bruns and Sylvan roads. I live in Rainbow Heights Estates just to the north and west of the proposed neighborhood.

My main concerns revolve around the amount of vehicles constantly entering and exiting the neighborhood both in an emergency, and everyday use at the Parks Highway light. Sylvan exits onto the Parks highway without a right hand turn lane at the Parks/Sylvan light. On a normal day, there is a school to the west of the intersection with cars lined up twice a day, and the Tesoro gas station/Cadillac Cafe that constantly has traffic turning left across Sylvan. Currently there is a median that blocks a left hand turn to the gas station until near the school traffic that is trying to cross the opposite direction across Sylvan. So each lane of traffic is trying to cross the opposing lane in a small area without a light or left hand turn lane.

A smaller threat of danger, but one that could potentially be catastrophic, would be a wild fire in the area. The lack of another exit to the Parks Highway could be fatal for many people. In recent years we've seen Willow burn twice, and the threat of that happening out in the Meadow Lakes area is very real.

The added amount of traffic without a change to the Sylvan road exit to the Parks Highway would be poor planning at a minimum. Undoubtedly it would cause long waits at the Sylvan/Parks light, and a road safety hazard.

And speaking of planning, I think it would be wise as a community to pause on approvals to new neighborhoods and think of the future of the valley. I'm not personally opposed to new development, but the way in which we go about that development is important. In the last decade we have seen a preponderance of detached four-plexes built around our community. Byler, the builder of the proposed neighborhood, has done many of these. In an effort to not have the entire valley look like Muldoon road in Anchorage, I ask that if all the above mentioned traffic concerns are ignored by the Mat-Su borough, that at least you consider a restriction to single family homes on each lot.

Another note is that this property is boarded on three sides by residential neighborhoods and with heavy equipment plus trucks running to excavate/haul 2,000,000 cubic yards of earth material it's going to be very noisy. The noise, traffic, excessive wear on the road plus potential decrease in our property values is irresponsible.

Thank you for your time and consideration.

Alexander Mahoy
7704 W Sun Ridge Cir
Wasilla, AK 99623

Sent from my iPhone

Mark Whisenhunt

From: Tom Semler <TSemler@nhtiusa.com>
Sent: Monday, May 31, 2021 5:00 PM
To: Mark Whisenhunt
Subject: QAP Sylvan – Conditional Use Permit

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello, I am concerned about the proposed gravel pit on the Alaska Mental Health Trust Authority land located on Sylvan rd Wasilla. This will

Decimate the 3 adjoining neighborhoods. The proposed entrance is currently a school bus stop right by signs that say children playing.

Sylvan road is not even close to being big enough to handle large trucks. There have been several home sales cancelled over this already, I

Hope the bureau is prepared to readjust property values and lose property taxes. The Borough wont do anything about the drug dealing junk yard right there on the highway

But it doesn't surprise me that this is being considered.

Tom Semler
907-982-7009

Mark Whisenhunt

From: Mikel Saunders <mikel@advancedblastingak.com>
Sent: Tuesday, May 18, 2021 11:36 AM
To: Mark Whisenhunt
Subject: 17n02w10c001

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

I am in support of this conditional use permit, it will have a positive impact on the area.
Thanks

Mikel Saunders
Advanced Blasting Services, LLC
281 S. Conquest Circle
Wasilla, AK 99623
Office:(907)357-2900
Cell: (907)230-9449

PLANNING COMMISSION RESOLUTION

By: Mark Whisenhunt
Introduced: June 21, 2021
Public Hearing: July 19, 2021
Action:

MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. 21-14

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT FOR THE EXTRACTION OF APPROXIMATELY 2,000,000 CUBIC YARDS OF EARTH MATERIAL FROM AN APPROXIMATELY 105-ACRE SITE WITHIN AN APPROXIMATELY 160 ACRE PARCEL, LOCATED WITHIN TOWNSHIP 17 NORTH, RANGE 2 WEST, SECTION 10, TAX PARCEL C001 (17N02W10C001), SEWARD MERIDIAN.

WHEREAS, an application has been received from Emily McDonald on behalf of COLASKA, Inc. (dba QAP) for a conditional use permit for the extraction of earth material at Tax Parcel C001 (no street address), located within Township 17 North, Range 2 West, Section 10, Seward Meridian; and

WHEREAS, it is the intent of the Matanuska-Susitna Borough to recognize the value and importance of promoting the utilization of natural resources within its boundaries; and

WHEREAS, it is the purpose of MSB 17.30 to allow resource extraction activities while promoting the public health, safety, and general welfare of the Borough through the regulation of land uses to reduce the adverse impacts of lands uses and development between and among property owners; and

WHEREAS, it is further the purpose of MSB 17.30 to promote orderly and compatible development; and

WHEREAS, the Planning Commission has reviewed this application, associated materials, and the staff report, with respect to standards set forth in MSB 17.30 and MSB 17.28; and

WHEREAS, findings of fact and conclusions of law have been listed in the staff report; and

WHEREAS, the Planning Commission conducted a public hearing on July 19, 2021 regarding this Conditional Use Permit request; and

WHEREAS, the Planning Commission finds that the proposed Conditional Use Permit is compatible with the goals and policies of the Meadow Lakes Comprehensive Plan; and

WHEREAS, the Planning Commission finds the application material meets all of the requirements of MSB 17.28 and MSB 17.30, and complies with all applicable local, State, and Federal laws.

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission approves the Conditional Use Permit for earth materials extraction as detailed in the application material.

ADOPTED by the Matanuska-Susitna Borough Planning Commission
this ____ day of ____, 2021.

COLLEEN VAGUE, Chair

ATTEST

KAROL RIESE, Planning Clerk

(SEAL)

YES:

NO:

By: Mark Whisenhunt
Introduced: June 21, 2021
Public Hearing: July 19, 2021
Action:

MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. 21-19

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION
ADOPTING FINDING OF FACT AND CONCLUSIONS OF LAW TO SUPPORT DENIAL
OF RESOLUTION 21-14.

WHEREAS, Resolution 21-14 was for approval of a conditional
use permit for the extraction of earth material at Tax Parcel C001
(no street address), located within Township 17 North, Range 2
West, Section 10, Seward Meridian; and

WHEREAS, the Planning Commission conducted a public hearing
on July 19, 2021 regarding this Conditional Use Permit request;
and

WHEREAS, the Planning Commission's vote on the motion failed
to garner a majority vote on July 19, 2021.

WHEREAS, it is further the purpose of MSB 17.30 to promote
orderly and compatible development; and

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna
Borough Planning Commission denied the Conditional Use
Permit for earth materials extraction at Tax Parcel C001
(no street address), located within Township 17 North,
Range 2 West, Section 10, Seward Meridian, based on the
following findings of fact and conclusions of law:

1. According to the applicant, an application for an Alaska State Department of Natural Resources (ADNR) mining permit has been submitted to the State.
2. According to the application material, a Storm Water Pollution Prevention Plan (SWPPP) will be developed prior to beginning operations.
3. The subject parcel is located within the Meadow Lakes Community Council boundaries and is subject to the Meadow Lakes Comprehensive Plan.
4. The Matanuska-Susitna Borough Comprehensive Development Plan (2005) applies to all parcels within the Matanuska-Susitna Borough.
5. Land Use Goal Three of the Meadow Lakes Comprehensive Plan states: "Create a Pedestrian-Oriented, Mixed-Use Town Center. A town center was established as a clear priority for the community during both the workshops and survey. Desired uses in the town center include public spaces to meet friends and neighbors, venues for events and community meetings, and commercial services like a bank, Post Office, grocery, restaurants. A successful town center can improve resident quality of life, attract spending from people traveling through the community, and help develop a stronger, positive image for Meadow Lakes."

6. Land Use Goal Four of the Meadow Lakes Comprehensive Plan states: "The community wants to maintain the natural, rural character of the community, and to protect the quality of residential neighborhoods. At the same time, the community recognizes the value of creating opportunities for employment, and increasing the local tax base, for example, through sand and gravel extraction. The balance point between these goals is to accept economic development activities, but also to establish rules to minimize the off-site impacts of such activities. This goal focuses on uses with significant impacts, such as large-scale resource development like coal-bed methane and gravel extraction, but also is intended to limit impacts of more modest uses such as auto storage/junk yards.
7. Meadow Lakes Comprehensive Plan outlines "Standards for commercial, industrial or other development with significant off-site impacts (for uses ranging from large scale sand and gravel operations to smaller-scale commercial)."
8. One development standard within the Meadow Lakes Comprehensive Plan states: "Impacts On Environment - Activities creating off site impacts on surface and

subsurface water quality and quantity, and air quality are not permitted.”

9. Meadow Lakes Comprehensive Plan identifies discouraged uses within Town Center Pedestrian Core. It states: “Uses that disrupt opportunities to create a pedestrian-oriented commercial district. Uses that deaden a town center include large parcels devoted to a single function, e.g., large scale industrial activities, auto sales, storage, junkyards, big box retail stores.”
10. Meadow Lakes Comprehensive Plan identifies the overall objective for the Town Center. It states “Desired uses in the town center include comfortable public spaces to meet friends and neighbors; space for events, community activities and a range of commercial uses; and higher density housing.
11. Meadow Lakes Comprehensive Plan identifies the overall objective for the Town Center. It states: “The town center will have two sub-districts: The core area is intended to be a pedestrian-oriented district, with relatively high density mixed use development, in the spirit of traditional American main streets. Surrounding the core area will be a more spread out commercial and industrial district, providing space for uses that

require larger buildings, larger parking lots, and a more auto-oriented character."

12. Meadow Lakes Comprehensive Plan identifies the overall objective for the Town Center. It states: "The town center is intended to serve as an amenity and convenience to Meadow Lake residents, be a profitable place for local businesses, provide an attractive destination for visitors, and help build a positive image for Meadow Lakes."
13. Meadow Lakes Comprehensive Plan, in multiple locations, identifies the need and priority to maintain the quality of surface and drinking water within the community.
14. Goal LU-1 of the Matanuska Susitna Borough Comprehensive Development Plan states: "Protect and enhance the public safety, health, and welfare of Borough residents."
15. Policy LU1-1 of the Matanuska Susitna Borough Comprehensive Development Plan states: "Provide for consistent, compatible, effective, and efficient development within the Borough."
16. Goal LU-2 of the Matanuska Susitna Borough Comprehensive Development Plan states: "Protect residential neighborhoods and associated property values."
17. Policy LU2-1 of the Matanuska Susitna Borough Comprehensive Development Plan states: "Develop and

implement regulations that protect residential development by separating incompatible uses, while encouraging uses that support such residential uses including office, commercial and other mixed-use developments that are shown to have positive cumulative impacts to the neighborhood."

18. According to Rutgers Noise Technical Assistance Center, heavy trucks produce approximately 90 decibels (dB) when operating, which falls in the "very loud" category.
19. According to Rutgers Noise Technical Assistance Center, a quiet to noisy home produces sound around 30-60 decibels (dB), which falls in the "faint" and "moderate" categories.
20. MSB 8.52.010(A) declares: "Loud noise and amplified sounds have an adverse effect on the psychological and physiological well-being of persons."
21. Earth material extraction activities are an industrial use that can cause excessive noise, dust, and heavy truck traffic.
22. According to the application material, the proposed use may operate 24 hours a day.
23. According to the application material, the proposed use may produce up to 1,000 vehicle trips per day.

24. According to the application material, the proposed buffer will be 25 feet of vegetation with a 10-foot tall earthen berm between the mining area and the north and east lot lines. The 10-foot tall earthen berm will abut the section line easement to the west and south.
25. According to the traffic control plan, primary access will be directly across from Marigold Drive, which appears to eliminate a portion of the earthen berm.
26. The closest residential structures from the primary access are approximately 25 and 40 feet to the north.
27. Established quiet residential neighborhoods abut the proposed use to the north, south, east, and west.
28. Lands to the north, east, and south are developed with single-family homes. The lots to the north, east, and south range in size from .17 acres to 20 acres. However, most lots are one to five acres in size.
29. A subdivision to the west is developed with singled family homes. The lots range from three to six acres. Eight lots within this subdivision have direct access to an airstrip.
30. Lands to the west/northwest are sandwiched between the Parks Highway and Sylvan Road. These lands are developed with commercial and industrial uses such as, a truss plant, storage facilities, and restaurants.

31. Lands to the north, which abut the Parks Highway, are primarily commercial. A private charter school occupies a portion of a commercial building located at the intersection of Sylvan Road and the Parks Highway.
32. Production of sound levels, such as 90 decibels (dB) adjacent to a quiet neighborhood would have an adverse impact to its residents.
33. The proposed noise mitigation measures will likely be ineffective in protecting the adjacent residential homes and residential homes along Sylvan Road.
34. Noise levels exceeding the levels in MSB 17.28.060 (A) (5) (a) are prohibited.
35. Alaska Department of Environmental Conservation has produced a user manual of best management practices to protect surface water and groundwater quality in Alaska.
36. Alaska Department of Environmental Conservation Best Management Practices Manual states: "DEC has established drinking water protection areas and recommended buffer zones for public water system (PWS) sources, which can be found at <http://dec.alaska.gov/das/GIS/apps.htm>. There are also PWS sources for which drinking water protection areas have not yet been delineated. For those PWS sources, it is recommended that the buffer zone be considered a 1,000-foot radius around the source area.

It is recommended that excavation limits be restricted to areas outside any PWS source buffer zone. Equipment storage, maintenance, and operation should be as limited as possible within designated buffer zones, and appropriate BMPs should be used to prevent water contamination (see Chapter 6)."

37. Alaska Department of Environmental Conservation Best Management Practices Manual states in part: "Some of the best ways to prevent mining impacts to surface and groundwater quality are to maintain distance between mining operations and the water to be protected, and to monitor water quality. This chapter presents recommended setbacks for mining operations from public water system (PWS) source areas, surface water bodies, and the groundwater table. Where proposed mining is closer to these waters than the recommended setbacks, it is recommended that a detailed hydrogeologic study be performed by a qualified person to evaluate potential impacts and design effective mitigation alternatives."
38. The proposed use is within the "protection area" for a community drinking water well.
39. A detailed hydrogeologic study to mine within the "protection area" has not been provided.

40. The applicant has not proposed to monitor the water quality.
41. On June 23, 2021 QAP applied for an MSB Driveway Permit across from Buttercup Drive. This driveway location is inconsistent with the Conditional Use Permit application material.
42. The State Mining Permit, Storm Water Pollution Prevention Plan (SWPPP), and notice of intent (NOI) for construction general permit as required Department of Environmental Conservation (DEC) pursuant to the Alaska Pollutant Discharge Elimination System (APDES) requirements must still be provided (MSB 17.30.055(A)).
43. The proposed use is inconsistent with the applicable comprehensive plans (MSB 17.30.060(A)(1)).
44. The proposed use will detract from the value, character and integrity of the surrounding area (MSB 17.30.060(A)(2)).
45. The proposed use will likely be harmful to the public health, safety, convenience and welfare (MSB 17.30.060(A)(4)).
46. Sufficient setbacks, lot area, buffers or other safeguards are not being provided (MSB 17.30.60(A)(5)).

47. Due to access points and proximity to residential homes, noise levels will likely exceed the levels in MSB 17.28.060 (A) (5) (a) .

48. The applicant did not provide enough information to show compliance with the lighting standards in accordance with MSB 17.28.060 (A) (6) .

ADOPTED by the Matanuska-Susitna Borough Planning Commission
this ____ day of ____, 2021.

COLLEEN VAGUE, Chair

ATTEST

KAROL RIESE, Planning Clerk

(SEAL)

YES:

NO:

COMMISSION BUSINESS

Upcoming PC Agenda Items

(Pages 573-578)

COMMISSION BUSINESS




MATANUSKA-SUSITNA BOROUGH
Planning and Land Use Department
350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7822
www.matsugov.us

MEMORANDUM

DATE: July 8, 2021

TO: Planning Commissioners

FROM: Kim Sollien, Acting Planning and Land Use Director 

SUBJECT: Items tentatively scheduled for future PC Meetings and Updates on PC items sent to the Assembly

August 2, 2021 (*MSB Assembly Chambers*)

Introduction for Public Hearing: Quasi-Judicial

Resolution PC 21-17, A Conditional Use Permit in Accordance with MSB 17.60 - Conditional Uses was submitted by Greg Smith of 2nd Amendment, LLC; allowing for the operation of a marijuana cultivation facility, located at 20357 West Susitna Parkway, Tax ID#17N04W35C001; within Township 17 North, Range 4 West, Section 35, Seward Meridian. Public Hearing: August 16, 2021 (Applicant: Greg Smith, dba 2nd Amendment; Staff: Peggy Horton).

Introduction For Public Hearing: Legislative

(None)

Agency/Staff Reports

(None)

Land Use Classifications

(None)

Public Hearing: Quasi-Judicial

Resolution PC 21-15, An Application Under MSB 17.65 – Variances, Has Been Submitted By Richard Toussaint For A Variance To The Minimum 25-Foot Setback To A Public Right-Of-Way And To the Minimum 75-Foot Shoreline Setback Requirements Under MSB 17.55. Located At 3874 South Wolverine Drive, Tax ID #5147000L004, Within Township 17 North, Range 3 West, Section 28, Seward Meridian (Applicant: Richard Toussaint; Staff: Peggy Horton, Planner II).

Public Hearing: Legislative

Resolution PC 21-18, A Resolution of the Matanuska-Susitna Borough Planning Commission Recommending Assembly Adoption Of An Ordinance Amending Timber Salvage Sales Terms In MSB 23.20.130 And Repealing The Timber Transport Permit in MSB 28.60. Public Hearing: August 16, 2021 (Staff: Emerson Krueger, Natural Resource Manager-Community Development).

Unfinished Business

(None)

New Business

(None)

Commission Business

- Upcoming Planning Commission Agenda Items

August 16, 2021 *(MSB Assembly Chambers)*

Introduction for Public Hearing: Quasi-Judicial

(None)

Introduction For Public Hearing: Legislative

(None)

Agency/Staff Reports

(None)

Land Use Classifications

(None)

Public Hearing: Quasi-Judicial

Resolution PC 21-17, A Conditional Use Permit in Accordance with MSB 17.60 - Conditional Uses was submitted by Greg Smith of 2nd Amendment, LLC; allowing for the operation of a marijuana cultivation facility, located at 20357 West Susitna Parkway, Tax ID#17N04W35C001; within Township 17 North, Range 4 West, Section 35, Seward Meridian. (Applicant: Greg Smith, dba 2nd Amendment; Staff: Peggy Horton).

Public Hearing: Legislative

(None)

Unfinished Business

(None)

New Business

(None)

Commission Business

- Upcoming Planning Commission Agenda Items

Upcoming PC Actions

PC Tentative Future Agenda Items

July 8, 2021

Page 2 of 3

Quasi-Judicial

- D&S Alaskan Trail Rides, Inc. – Denali SpUD, 29N05W33D012 and 29N05W33D028 (Staff: Mark Whisenhunt)
- Alaskan Originals – Marijuana Retail Facility, 5060B01L001A (Staff: Mark Whisenhunt)
- Bad Gramm3r – Modification to Conditional Use Permit for Marijuana Retail Facility, 1068000L020 (Staff: Mark Whisenhunt)
- BAM Alaska, Inc. – Marijuana Cultivation Facility – 2080B02L007 (Staff: Peggy Horton)
- Green Degree (Clapp) – Marijuana Retail Facility – 1011B01T001-2 (Staff: Peggy Horton)
- Aldeman – Multi-family Development Application – 17N01W18B011 (Staff: Peggy Horton)

Legislative

- Lake Management Plan Update (Staff: Kelsey Anderson)
- Historical Preservation Plan (Staff: Adam Bradway)
- Municipal Separate Storm Sewer System (Staff: Ted Eischeid)
- Metropolitan Planning Organization (Staff: Kim Sollien)
- Capital Improvement Program (CIP) (Staff: Kelsey Anderson)
- Official Streets And Highway Plan (Staff: Kim Sollien)
- MSB Borough-Wide Comprehensive Plan (Staff: Kim Sollien)
- Marijuana Code Update (Staff: Jason Ortiz)
- Glacier View Comp Plan and SpUD Update (Staff: Kim Sollien/Leda Borys)

PC Decisions Currently Under Appeal

- **Resolution PC 20-29, A Resolution Of The Matanuska-Susitna Borough Planning Commission Adopting Findings Of Fact And Conclusions Of Law Supporting The Denial Of PC Resolution 20-18 Concerning A Request For A Variance From MSB 17.55 To Allow An Existing Single-Family Residence To Encroach Into The Required 75-Foot Waterbody Setback At 5782 S. Big Lake Road Tax ID# 6142000L006; Within Township 17 North, Range 3 West, Section 29, Seward Meridian (Applicant: Dennelle Seetomona on behalf of Janice Ellsworth; Staff: Mark Whisenhunt).**
BOAA Case # 20-03
The decision of the Planning Commission was upheld.
Filed in Superior Court.

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