

MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION AGENDA

Edna DeVries, Mayor

PLANNING COMMISSION

Doug Glenn, District 1 – Vice-Chair
Richard Allen, District 2 – Chair
Brendan Carpenter, District 3
Michael Collins, District 4
Linn McCabe, District 5
VACANT, District 6
Curt Scoggin, District 7



Michael Brown, Borough Manager

PLANNING & LAND USE DEPARTMENT

Alex Strawn, Planning & Land Use Director
Jason Ortiz, Planning & Land Use Deputy Director
Wade Long, Development Services Manager
Fred Wagner, Platting Officer
Lacie Olivieri, Planning Clerk

*Assembly Chambers of the
Dorothy Swanda Jones Building
350 E. Dahlia Avenue, Palmer*

January 19, 2026
REGULAR MEETING
6:00 p.m.

Ways to participate in the meeting:

IN-PERSON: You will have 3 minutes to present your oral comment.

IN WRITING: You can submit written comments to the Planning Commission Clerk at msb.planning.commission@matsugov.us.

Written comments are due at noon on the Friday prior to the meeting.

TELEPHONIC TESTIMONY:

- Dial 1-855-290-3803; you will hear “joining conference” when you are admitted to the meeting.
- You will be automatically muted and able to listen to the meeting.
- When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear, “Your hand has been raised.”
- When it is your turn to testify, you will hear, “Your line has been unmuted.”
- State your name for the record, spell your last name, and provide your testimony.

OBSERVE: observe the meeting via the live stream video at:

- <https://www.facebook.com/MatSuBorough>
- Matanuska-Susitna Borough - YouTube

I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM

II. APPROVAL OF AGENDA

III. PLEDGE OF ALLEGIANCE

IV. CONSENT AGENDA

A. MINUTES

Regular Meeting Minutes: January 5, 2025

B. INTRODUCTION FOR PUBLIC HEARING: QUASI-JUDICIAL MATTERS

C. INTRODUCTION FOR PUBLIC HEARING: LEGISLATIVE MATTERS

V. COMMITTEE REPORTS

VI. AGENCY/STAFF REPORTS

VII. LAND USE CLASSIFICATIONS

VIII. AUDIENCE PARTICIPATION (*Three minutes per person, for items not scheduled for public hearing*)

IX. PUBLIC HEARING: QUASI-JUDICIAL MATTERS

Commission members may not receive or engage in ex-parte contact with the applicant, other parties interested in the application, or members of the public concerning the application or issues presented in the application.

Resolution 25-28

A Variance In Accordance With MSB 17.65 Variances. Alan & Gloria Hunsuck and Dylan & Sabrena Stenger Submitted An Application For A Variance From The 75-Foot Setback Requirements Under MSB 17.55, To Allow For Construction Of A 1,500 Square Foot Cabin At Its Closest Location Of 27-Feet From Big Lake.

Staff: Rebecca Skjothaug, Current Planner

X. PUBLIC HEARING: LEGISLATIVE MATTERS

XI. CORRESPONDENCE & INFORMATION

XII. UNFINISHED BUSINESS

XIII. NEW BUSINESS

XIV. COMMISSION BUSINESS

A. Upcoming Planning Commission Agenda Items

XV. DIRECTOR AND COMMISSIONER COMMENTS

XVI. ADJOURNMENT (*Mandatory Midnight*)

Individuals with disabilities requiring reasonable accommodations to participate in a Planning Commission

Meeting should contact the Borough ADA Coordinator at 861-8432 at least one week in advance of the meeting.

MINUTES

January 5, 2026

(Pages 4-9)

MATANUSKA-SUSITNA BOROUGH

Edna DeVries, Mayor

PLANNING COMMISSION

Doug Glenn, District 1 – Vice Chair
Richard Allen, District 2 - Chair
Brendan Carpenter, District 3
Michael Collins, District 4
Linn McCabe, District 5
Maksim Zagorodniy, District 6
Curt Scoggin, District 7



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*Assembly Chambers of the
Dorothy Swanda Jones Building
350 E. Dahlia Avenue, Palmer*

PLANNING COMMISSION MEETING MINUTES January 5, 2026

I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM

The Matanuska-Susitna Borough Planning Commission's regular meeting was held on January 5, 2026, at the Matanuska-Susitna Borough Assembly Chambers, 350 E. Dahlia Avenue, Palmer, Alaska. Chair Carpenter called the meeting to order at 6:00 p.m.

Present: – Commissioner Carpenter
Commissioner Collins- Called in
Commissioner McCabe
Commissioner Zagorodniy
Commissioner Scoggin

Absent/Excused: Commissioner Glenn
Commissioner Allen

Staff Present: – Mr. Alex Strawn, Planning and Land Use Director
Ms. Lacie Olivieri, Planning Department Admin
Ms. Denise Michalske, Assistant Borough Attorney

II. APPROVAL OF AGENDA

Chair, Carpenter, inquired if there were any changes to the agenda.

GENERAL CONSENT: The agenda was approved without objection.

III. PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner McCabe.

IV. CONSENT AGENDA

A. MINUTES: Regular Meeting Minutes – December 15, 2025

B. INTRODUCTION FOR PUBLIC HEARING QUASI-JUDICIAL MATTERS

Resolution 25-28 A Variance In Accordance With MSB 17.65 Variance. Alan & Gloria Hunsuck and Dylan & Sabrena Stenger Submitted An Application For A Variance From The 75-Foot Setback Requirements Under MSB 17.55, To Allow For Construction Of A 1,500 Square Foot Cabin At Its Closest Location Of 27-Feet From Big Lake.

Public Hearing Date: January 19, 2026

Staff: Rebecca Skjothaug, Current Planner

C. INTRODUCTION FOR PUBLIC HEARING LEGISLATIVE MATTERS

(There were no Legislative Introductions)

Chair Carpenter read the Consent Agenda into the record.

GENERAL CONSENT: The Consent Agenda was approved without objection.

V. COMMITTEE REPORTS

(There were no committee reports.)

VI. AGENCY/STAFF REPORTS

(There were no Agency/Staff Reports)

VII. LAND USE CLASSIFICATIONS

Resolution 25-29 A Resolution Of The Matanuska-Susitna Borough Planning Commission Recommending Approval Of An Ordinance Classifying A Portion Of 5256000T00A As General Use Land For The Purpose Of A Lease To Install A Cellular Communication Tower (MSB007983).

Staff: Suzanne Reilly, Asset Manager

Chair Carpenter read the resolution title into the record.

Staff, Mr. Peter Burton, presented a staff report on behalf of Suzanne Reilly.

Chair Carpenter inquired if commissioners had any questions for staff.

Commissioners had no questions for staff.

Chair Carpenter opened the public hearing.

There being no persons to be heard, Chair Carpenter closed the public hearing, and the discussion moved to the Planning Commission.

MOTION: Commissioner McCabe moved Planning Commission Resolution 25-29. The motion was seconded by Commissioner Scoggin.

VOTE: The motion passed without objection.

Resolution 25-30 A Resolution Of The Matanuska-Susitna Borough Planning Commission Recommending Approval Of An Ordinance Classifying A Portion Of 18N03W09A001 As Reserved Use Land For The Purpose Of A Shooting Range (MSB008238).
Staff: Peter Burton, Land Management Specialist

Chair Carpenter read the resolution title into the record.

Staff, Mr. Peter Burton, presented his staff report.

Chair Carpenter inquired if commissioners had any questions for staff.

Commissioner McCabe asked questions of staff.

Commissioner Carpenter asked questions of staff.

Chair Carpenter opened the public hearing.

Linda Oxly
Kelton Hansley
Darcie Morgan
Robert Morgan
Raymond Smyth

There being no persons to be heard, Chair Carpenter closed the public hearing, and the discussion moved to the Planning Commission.

MOTION: Commissioner Scoggin moved Planning Commission Resolution 25-30. The motion was seconded by Commissioner McCabe.

Discussion ensued.

VOTE: The motion passed without objection.

VIII. AUDIENCE PARTICIPATION (Three minutes per person.)

There being no persons to be heard, Audience Participation was closed without objection.

IX. PUBLIC HEARING QUASI-JUDICIAL MATTERS *(There were no Quasi-Judicial Matters.)*

X. PUBLIC HEARING LEGISLATIVE MATTERS

Resolution 25-25 A Resolution Of The Matanuska-Susitna Borough Planning Commission Recommending Approval Of An Ordinance Amending

MSB 8.55, Special Events, To Repeal The Surety Bond Requirement Standards.

Staff: Alex Strawn, Planning and Land Use Director

Chair Carpenter read the resolution title into the record.

Staff, Mr. Alex Strawn, presented his staff report.

Chair Carpenter inquired if commissioners had any questions for staff.

Commissioners had no questions for staff.

Chair Carpenter opened the public hearing.

There being no persons to be heard, Chair Carpenter closed the public hearing, and the discussion moved to the Planning Commission.

MOTION: Commissioner McCabe moved Planning Commission Resolution 25-25. The motion was seconded by Commissioner Zagorodniy.

Discussion ensued

VOTE: The motion passed without objection.

Resolution 25-26 A Resolution Of The Matanuska-Susitna Borough Planning Commission Recommending Approval Of An Ordinance Amending MSB 17.67, Tall Structures Including Telecommunication Facilities, Wind Energy Conversion Systems, And Other Tall Structures; To Reduce The Minimum Setback Requirements For New Telecommunications Towers.

Public Hearing Date: January 5, 2026

Staff: Alex Strawn, Planning and Land Use Director

Chair Carpenter read the resolution title into the record.

Staff, Mr. Alex Strawn, presented his staff report.

Chair Carpenter inquired if commissioners had any questions for staff.

Commissioner McCabe asked questions of staff.

Chair Carpenter opened the public hearing.

There being no persons to be heard, Chair Allen closed the public hearing, and the discussion moved to the Planning Commission.

MOTION: Commissioner McCabe moved Planning Commission Resolution 25-26. The motion was seconded by Commissioner Scoggin.

VOTE: The motion passed without objection.

Resolution 25-27 A Resolution Of The Matanuska-Susitna Borough Planning Commission Recommending Approval Of An Ordinance Amending MSB 15.24 Assembly; Zoning Functions To Update The Process Of Initiating And Amending Lake Management Plans And A Resolution Establishing A Fee For Processing Requests For Lake Management Plans Under MSB 15.24 Assembly; Zoning Functions.

Public Hearing Date: January 5, 2026

Staff: Alex Strawn, Planning and Land Use Director

Chair Carpenter read the resolution title into the record.

Staff, Mr. Alex Strawn, presented his staff report.

Chair Carpenter inquired if commissioners had any questions for staff.

Commissioner McCabe asked questions of staff.

Chair Carpenter opened the public hearing.

There being no persons to be heard, Chair Carpenter closed the public hearing, and the discussion moved to the Planning Commission.

MOTION: Commissioner McCabe moved Planning Commission Resolution 25-27. The motion was seconded by Commissioner Zagorodniy.

VOTE: The motion passed without objection.

XI. CORRESPONDENCE AND INFORMATION

(Correspondence and information were presented, and no comments were noted)

XII. UNFINISHED BUSINESS

(There was no unfinished business.)

XIII. NEW BUSINESS

XIV. COMMISSION BUSINESS

A. Upcoming Planning Commission Agenda Items (*Staff: Alex Strawn*)
(Commission Business was presented, and no comments were noted.)

XV. DIRECTOR AND COMMISSIONER COMMENTS

Commissioner McCabe: Thanks to the staff for your good reports. I urge the people that came here about the shooting range to keep your eye out for the Assembly meeting

and if you want more input show up and talk to the assembly at that time.
And thanks for your good job as acting chair.

Commissioner Scoggin: No Comment.

Commissioner Carpenter: I hope everyone has a safe journey home, the other side of the Valley seems to have a lot more snow. I wanted to thank you guys for coming and talking, it does mean a great deal, especially with the weather. Happy New year.

Commissioner Zagorodniy: Happy New year, hopefully we have a good 2026

Director Strawn: Great job, Chair Carpenter. Be careful doing such a good job, you may get selected for this again in the future.

XVI. ADJOURNMENT

The regular meeting adjourned at 6:56 p.m.

RICHARD ALLEN
Planning Commission Chair

ATTEST:

LACIE OLIVIERI
Planning Commission Clerk

Minutes approved: _____

QUASI-JUDICIAL PUBLIC HEARING

Resolution No. PC 25-28

(Pages 10 - 73)

Variance 17.65

Resolution

By: Rebecca Skjothaug
Introduced: January 5, 2025
Public Hearing: January 19, 2025
Action:

**MATANUSKA-SUSITNA BOROUGH PLANNING
COMMISSION RESOLUTION NO. 25-28**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION APPROVING A VARIANCE TO MSB 17.55.020 FOR THE CONSTRUCTION OF A DWELLING TO BE PLACED APPROXIMATELY 27 FEET FROM THE SHORELINE OF BIG LAKE ON LONG ISLAND LOT 2-B, LONG IS RSB L/02 & 3 Lot 2-B and located within Section 17, Township 3 North, Range 19 West, PLAT #71-83, PALMER RECORDING DISTRICT, STATE OF ALASKA, LOCATED ON LONG ISLAND, BIG LAKE ALASKA TAX ID # 6149000L002-B.

WHEREAS, Alan & Gloria Hunsuck and Dylan & Sabrena Stenger are requesting a variance to MSB 17.55.020 to construct an additional 1,500 square foot cabin at its closest location of 27 feet from Big Lake, on Shepard's Island, Big Lake, Tax ID #6149000L002-B; and

WHEREAS, to grant a variance, the Planning Commission must find that each requirement of MSB 17.65.020(A) has been met; and

WHEREAS, the subject lot is part of the South Big Lake Alaska Subdivision and was initially plated in 1971 before Borough setback and lot size regulations were established; and

WHEREAS, the subject parcel does not conform to the current Borough subdivision standards for lot size; and

WHEREAS, Big Lake is located north and south of the subject parcel, and east and west of the subject parcel are residential properties; and

WHEREAS, according to the Borough Assessments data, the subject parcel is approximately 0.28 acres; and

WHEREAS, according to the application material, has irregular dimensions of approximately 100 feet northwest to east-west, 111.02 feet northeast to southeast, 110 feet southeast to southwest, and 145 feet southwest to northwest; and

WHEREAS, An overhead MEA utility line, shown on the original 1971 plat and running generally east to west across the property, imposes a required 15-foot setback; and

WHEREAS, the proposed residential cabin will only occupy 12% of the total parcel; and

WHEREAS, Planning staff analyzed all 48 lakefront parcels on Long Island of Big Lake and found that 39 of them contain residential structures; and

WHEREAS, the dwellings that may violate the setback requirements were not included in the average dwelling size calculation; and

WHEREAS, after conducting an analysis, the Planning staff found that there are 39 lakefront parcels with dwellings that appear

to meet the 75-foot setback criteria, have legal non-conforming status or a granted variance, and these dwellings have an average size of 1,332 square feet; and

WHEREAS, Planning staff found the lakefront properties within the analysis area vary in size from 0.24 to 1.24 acres; and

WHEREAS, development within the analysis area averages 1,332 square feet; and

WHEREAS, according to the application material, the applicant proposes building a residential cabin of 1,500 square foot single-story structure; and

WHEREAS, according to the application materials, the proposed residential cabin will adhere to all other setbacks from the side lot lines, northern waterbody setback, and the utility setback; and

WHEREAS, according to the application material, the subject parcel has 221.02 feet of shoreline on Big Lake on the northern and southern end of the subject parcel; and

WHEREAS, based on the application materials, the applicant proposes preserving a minimum of 50% of undisturbed native vegetation of the shoreline bank; and

WHEREAS, according to the application materials, the applicant was provided with an Alaska Fish & Game permit to reconstruct the dock on February 24, 2025; and

WHEREAS, in 2005, the Matanuska-Susitna Borough Assembly adopted voluntary best management practices (BMP) for development around waterbodies; and

WHEREAS, MSB Chapter 17.65 - Variances, was written to grant relief to property owners whose lots are impacted by existing land use regulations, thereby making the lot undevelopable; and

WHEREAS, the Big Lake Comprehensive Plan (2009 update), by design, does not set out precise binding rules on development but instead provides general goals on the type of place the community wants to be in the future and then outlines general strategies to reach those goals; and

WHEREAS, Goal (LU&E-3) of the Big Lake Comprehensive Plan Update (August 2009) is to "Protect the natural environment; and

WHEREAS, Goal (LU&E-4) of the Big Lake Comprehensive Plan Update (August 2009) is to "Provide for freedom to enjoy our properties; and

WHEREAS, Goal (LU-1) of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Protect and enhance the public safety, health, and welfare of Borough residents; and

WHEREAS, Policy LUL-1 of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Provide for consistent, compatible, effective, and efficient development within the

Borough; and

WHEREAS, Goal {LU-2} of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Protect residential neighborhoods and associated property values; and

WHEREAS, the variance request is consistent with the policies and goals of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) as the residential structure cannot be constructed on the lot without a setback variance, the structure is placed as far back on the property as possible, and the structure is similar to surrounding development; and

WHEREAS, according to the Planning staff's analysis, constructing an 1,500-square-foot dwelling is compatible with the surrounding area; and

WHEREAS, the subject parcel is not in a special land use district; and

WHEREAS, residential structures are allowed on this property; and

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby adopts the aforementioned findings of fact and makes the following conclusions of law supporting approval of Planning Commission Resolution 25-28;

1. The 0.28-acre parcel has no legal buildable area due to the 75' building setback and the utility easement that runs east-west through approximately the middle of the property, which is an unusual condition (MSB 17.65.020(A)(1)).
2. The strict application of the provisions of this title would deprive the applicants of rights commonly enjoyed by others, as the subject lot has certain unique conditions and circumstances that apply. The average size of dwellings within the analysis area is 1,332 square feet. The property is 0.28 acres of land. Therefore, constructing an 1,500 square-foot cabin on the property is a reasonable use of the land. (MSB 17.65.020(A)(2)).
3. Granting a variance will not be injurious to nearby property nor harmful to the public welfare (MSB 17.65.020(A)(3)).
4. The proposed variance is consistent with the applicable comprehensive plans and does meet the intent of MSB 17.65 (MSB 17.65.020(A)(4)).
5. Granting a variance will be no more than necessary to permit reasonable use of the property (MSB 17.65.020(A)(5)).
6. The person seeking the variance did not cause the need for the variance (MSB 17.65.030(A)(1)).
7. The variance will not allow land use in a district in which that use is prohibited, as residential structures are allowed on this site (MSB 17.65.030(A)(2)).

8. The variance is not solely being sought to relieve pecuniary hardship or inconvenience (MSB 17.65.030(A)(3)).

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby approves the 27 FEET FROM THE SHORELINE OF BIG LAKE ON LOT 2-B, LONG IS RSB L/02 & 3 Lot 2-B and located within Section 17, Township 3 North, Range 19 West, PLAT #71-83, PALMER RECORDING DISTRICT, STATE OF ALASKA, LOCATED ON LONG ISLAND, BIG LAKE ALASKA TAX ID #6149000L002-B, as referenced in the application material.

ADOPTED by the Matanuska-Susitna Borough Planning Commission

this day of January 2026.

CHAIR

ATTET

Lacie Olivieri
PLANNING CLERK

(SEAL)

Staff Report



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7822
www.matsugov.us

DEVELOPMENT SERVICES DIVISION STAFF REPORT

Date: January 19, 2026

File Number: **VARY-2025-010063**

Applicant: Alan & Gloria Hunsuck and Dylan & Sabrena Stenger

Property Owner: Alan & Gloria Hunsuck and Dylan & Sabrena Stenger

Request: Planning Commission Resolution 25-28

Request for a Variance – MSB 17.65

Location: Long Island, Big Lake Alaska, Tax ID# **6194000L002-B**; within Township 17 South, Range 3 West, Section 19, Seward Meridian

Size of Property: .28 acres

Reviewed By: Alex Strawn, Planning and Land Use Director
Wade Long, Development Services Manager

Staff: Rebecca Skjothaug – Current Planner

Staff Recommendation: Approval

EXECUTIVE SUMMARY

Alan & Gloria Hunsuck and Dylan & Sabrena Stenger, property owners, have applied for a variance under MSB 17.65 for a parcel located on Long Island, Big Lake, Alaska (Tax ID# **6194000L002-B**). The proposed structure will be situated as close as 27 feet from Big Lake. The structure will total 1,500 square feet and subsequently be located within the 75-foot waterbody setback area. Per borough code 17.55.020, structures are required to maintain a minimum setback of 75 feet from a waterbody. Approval of this variance would allow the owners to construct the proposed residence within the required setback distance.

MSB 17.65 requires a variance permit for residential structures uses within the setback are as highlighted in MSB 17.55. As of 17.65.020 – *In order to grant a variance to the regulations of MSB title 17, the planning commission must find that each of the following requirements has been met:*

- (1) There are unusual conditions or circumstances that apply to the property for which the variance is sought.
- (2) The strict application of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties under the terms of this title.
- (3) The granting of the variance will not be injurious to nearby property, nor harmful to the public welfare.
- (4) The granting of the variance will be in harmony with the objectives of this title and any applicable comprehensive plans.
- (5) The deviation from the requirement of this title that is permitted by the variance will be no more than is necessary to permit a reasonable use of the property.

LAND USE

Existing Land Use:

The subject property, Tax ID #6194000L002-B, identified as LONG IS RSB L/02 & 3 Lot 2-B and located within Section 17, Township 3 North, Range 19 West, lies on Long Island in Big Lake within the Big Lake Community Council area. The parcel was platted under Plat No. 71-83 on September 10, 1971, prior to the establishment of borough setback and minimum lot size requirements. The lot measures approximately 0.28 acres (12,400 square feet) and has irregular dimensions of approximately 100 feet northwest to east-west, 111.02 feet northeast to southeast, 110 feet southeast to southwest, and 145 feet southwest to northwest. An overhead MEA utility line, shown on the original 1971 plat and running generally east to west across the property, imposes a required 15-foot setback. No additional restrictions or notes are identified on the recorded plat. The applicant proposes construction of a 30-foot by 50-foot single-family dwelling. A survey of the property was prepared by Scott Holm on February 24, 2025. Long Island does not have any roads accessing any point on the island and it is required to access all parcels by use of the waterbody.

Surrounding Land Uses:

Long Island is located within Big Lake in the Matanuska-Susitna Borough and is characterized by low-intensity residential and recreational land uses. Development on the island is limited and generally consists of seasonal or single-family residential cabins, accessory structures, and small private docks supporting water-dependent access. Land use patterns emphasize preservation of the island's natural character, with substantial areas remaining undeveloped and vegetated with native vegetation cover. Due to its island setting, access is primarily by boat, and infrastructure such as roads, utilities, and public services is minimal or absent. Uses are largely consistent with surrounding Big Lake shoreline development, which prioritizes residential enjoyment, recreation, and environmental stewardship, while maintaining the lake's function as a valued natural and recreational resource.

Commonly Enjoyed Uses Analysis:

Planning staff conducted an analysis using Borough Assessment files and GIS systems. Staff analyzed the parcels with lake frontage on Long Island. According to MSB 17.65.020(2) *The strict application of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties under the terms of this title.* An analysis of commonly enjoyed rights within the Long Island subdivision in Big Lake examined a total of 48 properties, of which 39 are legal through adhering to applicable setbacks, Grandfather Rights, and previously allocated variances. Long Island encompasses approximately 31.86 acres and is located within the Big Lake Community Council area and Assembly District 5. Development on the island is predominantly residential, with a total of 42 residential properties, one commercial property, and five undeveloped parcels. Existing development reflects modest residential use, with an average structure size of approximately 1,332 square feet and an average year built of 1977. Lot sizes on the island range from approximately 0.24 acres at the smallest to 1.24 acres at the largest. Structures are generally situated close to the shoreline, with an average approximate distance of 55.125 feet from the waterbody, reflecting historic development patterns and shared access to the lake as a common and defining feature of the subdivision.

All calculations of applicable criteria and findings provided by staff will use only legal parcels and parcels that are not in violation of any MSB setback regulations.

REVIEW OF APPLICABLE CRITERIA AND FINDINGS

MSB 17.03 – Public Notification

Borough staff mailed a total of 11 notices on December 12, 2025, to all property owners located on Long Island, and any other subject parcels within 600 feet of the subject lot. The Frontiersman published the public hearing notice in the December 12, 2025, issue. Staff posted the application material on the Borough's website and emailed the public notice, application material, and a request for comments to outside agencies and the Big Lake Community Council on December 12, 2025.

Staff has received one comments from the public in favor of granting the variance.

Section 17.65.020 Requirements for Granting a Variance

(A) In order to grant a variance to the regulations of MSB title 17, the planning commission must find that each of the following requirements has been met:

(1) There are unusual conditions or circumstances that apply to the property for which the variance is sought.

Findings of Fact:

1. The subject lot is part of the Long Island Subdivision, Big Lake Alaska, and was initially platted in 1971 before Borough setback and lot size regulations were established.
2. Big Lake is located to the south and north of the subject parcel. To the west and east is a residential property.

3. According to the application material, the subject lot measures approximately 0.28 acres (12,400 square feet) and has irregular dimensions of approximately 100 feet northwest to east-west, 111.02 feet northeast to southeast, 110 feet southeast to southwest, and 145 feet southwest to northwest.
4. According to the application material an overhead MEA utility line, shown on the original 1971 plat and running generally east to west across the property, imposes a required 15-foot setback.
5. According to the application materials, the buildable land is a small section of land on the south side of the property. The buildable area is 27' from the ordinary high-water of Big Lake, on the south side and 75 feet from the ordinary high-water of Big Lake, on the north side of the property.
6. According to the application there is no portion of the lot that will adhere to all waterbody setbacks, and platted utility line setbacks.

Discussion: The applicant indicates that the proposed development will be served by an on-site wastewater treatment system. Any wastewater treatment system must be designed, permitted, installed, and maintained in full compliance with the requirements of the Alaska Department of Environmental Conservation (ADEC) and the Matanuska-Susitna Borough. Approval of this application does not exempt the applicant from obtaining all required permits or meeting applicable state and local wastewater regulations.

Conclusion of Law: Based on the findings, the 0.28-acre parcel has limited legal building area due to the 75' building setback and the overhead utility line setback of 15-feet, which is an unusual condition (MSB 17.65.020(A)(1)).

(2) *The strict application of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties under the terms of this title.*

7. Planning staff analyzed 48 parcels with lake frontage on Long Island of Big Lake.
8. Planning staff found the lakefront properties within the analysis area vary in size from 0.24 to 1.24 acres.
9. Development within the analysis area reflects modest residential use, with an average structure size of approximately 1,332 square feet
10. After conducting an analysis, the Planning staff found that there are 39 lakefront parcels with dwellings that appear to meet the 75-foot setback criteria, have legal non-conforming status or a granted variance.
11. The dwellings that may violate the setback requirements were not included in the average dwelling size calculation.
12. According to the application material, the applicant proposes a residential cabin of 1,500 square foot residential single-story structure 27-feet from Big Lake.
13. According to the application materials, the proposed residential cabin will adhere to all other setbacks from the side lot lines, northern waterbody setback, and the utility setback.

14. Big Lake is located south and north of the subject parcel. To the east and west is a residential property.

Discussion: Real property owners are granted a series of rights over their land, chief among these being the right to use and enjoy the premises as they see fit. This encompasses a wide range of activities, from residential to commercial purposes, allowing property owners considerable freedom in utilizing their land. However, this freedom is not absolute and is subject to certain legal restrictions to promote orderly development and ensure the community's welfare. For example, property owners must comply with the Borough's zoning laws and regulations, including how far structures must be set back from property lines, waterbodies, and public rights-of-way.

The planning staff used the Borough Assessment files and GIS systems to conduct an analysis. The study area's average dwelling size was the focus of our analysis. We excluded any properties featuring dwellings that appeared to fall within the 75-foot waterbody setback to maintain our findings' integrity. Our analysis aims to reflect lawful property use and development patterns within the area of interest by excluding non-compliant properties.

Conclusion of Law: Based on the above findings, the strict application of the provisions of this title would deprive the applicants of rights commonly enjoyed by others, as the subject lot has certain unique conditions and circumstances that apply. The average size of dwellings within the analysis area is 1,332 square feet. The property is 0.28 acres of land, and limited to development because of a utility easement that runs east-west through the middle of the property. Therefore, constructing an 1,500 -square-foot residential cabin within the 75' setback on the property is a reasonable use of the land. (MSB 17.65.020(A)(2)).

- (3) *The granting of the variance will not be injurious to nearby property, nor harmful to the public welfare.*

Findings of Fact:

15. According to the application material, the applicant proposes building a residential cabin of 1,500 square foot single-story structure within the 75' setback regulation.
16. According to the application material, the applicant proposes a residential cabin of 1,500 square foot residential single-story structure 27-feet from Big Lake of the southern end of the subject parcel.
17. According to the application materials the proposed residential cabin will only occupy 12% of the total parcel.
18. According to the application materials, the proposed residential cabin will adhere to all other setbacks from the side lot lines, northern waterbody setback, and the utility setback.
19. In 2005, the Matanuska-Susitna Borough Assembly adopted voluntary best management practices (BMP) for development around waterbodies.
20. According to the application material, the subject parcel has a total of 221.02 feet of shoreline on Big Lake on the northern and southern end of the subject parcel.
21. Based on the application materials, the applicant proposes preserving approximately 100% of undisturbed native vegetation of the shoreline bank besides the access and egress from the subject parcel to the dock.

22. According to the application materials, the applicant was provided with an Alaska Fish & Game permit to reconstruct the dock on February 24, 2025.

Conclusion of Law: Based on the above findings, granting the variance will not be injurious to nearby property, nor harmful to the public welfare (MSB 17.65.020(A)(3)).

(4) The granting of the variance will be in harmony with the objectives of this title and any applicable comprehensive plans.

COMPREHENSIVE PLAN

The property is located within the Big Lake planning area. The Big Lake Comprehensive Plan Update (August 2009) applies to the subject property. Two of the land use goals of the plan are:

Goal (LU&E-3) Protect the natural environment – *As the area grows, actions are needed to avoid detrimental effects on well water, quality of surface water, habitat, wetlands and other natural environmental features.*

Goal (LU&E-4) Provide for freedom to enjoy our properties – *The plan supports a balance of freedom to use property as individuals choose up to that point where one person's use limits the rights of neighbors to enjoy their property. Responsible land use should be in harmony with surrounding land use without damaging the health, safety and welfare of adjacent property.*

Four types of residential areas are recognized in the plan. The subject property is in the “Dispersed Residential” area, *defined as “Rural residential areas, where lots are larger, and the natural setting is more dominant. This is the primary land use type in the Big Lake area.”*

One of the strategies to achieve the broad goals is to “Establish Community-Wide Development Guidelines.” Some of the guidelines that pertain to this property are as follows:

- **Natural Vegetation/Site Disturbance** – *Encourage retention of existing natural vegetation and replant disturbed areas. Grading and clear-cutting of the entire parcel prior to selling or developing land is strongly discouraged.*
- **Protection of Water Quality** – *Use of land adjoining waterbodies should be designed to minimize impacts on water quality. Actions to achieve this goal include minimizing removal of natural vegetation along the majority of the edge of lakes, streams or wetlands, to keep lawn chemicals, silt, and septic effluents out of the watershed, to inhibit bank erosion and provide habitat for wildlife such as ducks and loons, while providing some screening of development.*
- **Building Setbacks from Waterbodies (new structures)** – *require at least the MSB 75' minimum development setback from streams, lakes, wetlands and other waterbodies; "development" is defined as habitable structures. Non habitable structures, such as boathouses, shed, decks or saunas can be built within 75' of lakes and streams, but these improvements should be designed to have minimal environmental and visual impact on the adjoining waterway.*
- **Building Setbacks from Waterbodies (existing non-compliant structures)** – *for buildings developed after the date (1987) of the setback ordinance (Chapter 17.55 of the Borough Code of Ordinances) and prior to the adoption of the Borough's land use permit (2007),*

special consideration should be given, in keeping with state statutes, to approving setback violation appeals caused by inadequate information and communications of that information to property owners. This is not advocating blanket approvals of setback violations but rather that leeway be given to approving violations that have no adverse impact on surrounding properties and waterbodies, and which occurred as honest mistakes and not as overt violations of the criteria by people who knew or should have known better. The plan recommends these approvals contain restrictions on expanding the encroachment or rebuilding a destroyed structure. However, all requests for variances must be considered in accordance with Alaska Statute 29.40.040(B).

Within the Big Lake Comprehensive Plan Update (August 2009), the introduction is a statement discussing the authority of the plan.

"A comprehensive plan is a legally recognized document, with the authority to guide decisions on land use, public facilities and services, transportation and other issues. At the same time, comprehensive plans are intended to set broad goals that will remain relevant over multiple years. Consequently, by design, this plan does not set out precise binding rules on development, such as might be established in a Special Use District. Nor does it make final decisions on the specific locations of new roads or public facilities. What it does do is present general goals on the type of place the community wants to be in the future and then outline general strategies on how to reach these goals."

The Big Lake Comprehensive Plan Update (August 2009) does not eliminate the possibility of acquiring a variance to MSB 17.55. Still, it encourages thoughtful and considerate use of the property, considering the environment, surrounding use, surrounding development, and freedom to enjoy life on Big Lake.

The Matanuska-Susitna Borough Comprehensive Plan (2005 Update) also pertains to this property. Two of the land use goals state:

Goal (LU-1): Protect and enhance the public safety, health, and welfare of Borough residents.
Policy LUI-1: Provide for consistent, compatible, effective and efficient development within the borough.

This plan does not expressly address variance requests. It does include goals to protect the environment and the surrounding areas. Variance requests are not inconsistent with the policies and goals of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update).

Findings of Fact:

23. MSB Chapter 17.65 – Variances were written to grant relief to property owners whose lots are impacted by existing land use regulations, thereby making the lot undevelopable.
24. The Big Lake Comprehensive Plan (2009 update) contains a list of development guidelines, one of which states, "Require at least the MSB 75' minimum development setback from streams, lakes, wetlands and other water bodies; "development" is defined as habitable structures."
25. The Big Lake Comprehensive Plan (2009 update), by design, does not set out precise binding rules on development but instead provides general goals on the type of place the

community wants to be in the future and then outlines general strategies to reach those goals.

26. Goal (LU&E-3) of the Big Lake Comprehensive Plan Update (August 2009) is to “Protect the natural environment.”
27. Goal (LU&E-4) of the Big Lake Comprehensive Plan Update (August 2009) is to “Provide for freedom to enjoy our properties.”
28. The Big Lake Comprehensive Plan recognizes four types of residential areas. The subject property is in the “Dispersed Residential” area, defined as “Rural residential areas, where lots are larger and the natural setting is more dominant. This is the primary current land use type in the Big Lake area.”
29. Goal (LU-1) of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Protect and enhance the public safety, health, and welfare of Borough residents.
30. Policy LU1-1 of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Provide for consistent, compatible, effective, and efficient development within the Borough.
31. Goal (LU-2) of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Protect residential neighborhoods and associated property values.
32. The variance request is consistent with the policies and goals of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) as the residential structure cannot be constructed on the lot without a setback variance, the structure is placed as far back on the property as possible, and the structure is similar to surrounding development.
33. In 2005, the Matanuska-Susitna Borough Assembly adopted voluntary best management practices (BMP) for development around waterbodies.
34. According to the application material, the subject parcel has a total of 221.02 feet of shoreline on Big Lake on the northern and southern end of the subject parcel.
35. Based on the application materials, the applicant proposes preserving approximately 100% of undisturbed native vegetation of the shoreline bank besides the access and egress from the subject parcel to the dock.
36. According to the application materials, the applicant was provided with an Alaska Fish & Game permit to reconstruct the dock on February 24, 2025.
37. According to the application material, the applicant proposes a residential cabin of 1,500 square foot residential single-story structure 27-feet from Big Lake of the southern end of the subject parcel.
38. According to the application materials, the proposed residential cabin will adhere to all other setbacks from the side lot lines, northern waterbody setback, and the utility setback.
39. Planning staff analyzed 48 parcels with lake frontage on Long Island of Big Lake.
40. After conducting an analysis, the Planning staff found that there are 39 lakefront parcels with dwellings that appear to meet the 75-foot setback criteria, have legal non-conforming status or a granted variance.

41. Planning staff found the lakefront properties within the analysis area vary in size from 0.24 to 1.24 acres.
42. Development within the analysis area reflects modest residential use, with an average structure size of approximately 1,332 square feet
43. The dwellings that may violate the setback requirements were not included in the average dwelling size calculation.
44. According to the Planning staff's analysis, constructing a 1,500-square-foot dwelling is compatible with the surrounding area.

Discussion: Based on the Big Lake Comprehensive Plan, staff suggest that the lot may not be clear-cut, and the property owners maintain a 10-foot wide buffer of undisturbed vegetation along approximately 65 feet of the shoreline.

Conclusion of Law:

Based on the above findings, the proposed variance is consistent with the applicable comprehensive plans and does meet the intent of MSB 17.65 (MSB 17.65.020(A)(4)).

(5) The deviation from the requirement of this title that is permitted by the variance will be no more than is necessary to permit a reasonable use of the property.

Findings of Fact:

45. According to the application material, the subject lot measures approximately 0.28 acres (12,400 square feet) and has irregular dimensions of approximately 100 feet northwest to east-west, 111.02 feet northeast to southeast, 110 feet southeast to southwest, and 145 feet southwest to northwest.
46. According to the application material an overhead MEA utility line, shown on the original 1971 plat and running generally east to west across the property, imposes a required 15-foot setback.
47. According to the application materials, the buildable land is a small section of land on the south side of the property. The buildable area is 27' from the ordinary high-water of Big Lake, on the south side and 75 feet from the ordinary high-water of Big Lake, on the north side of the property.
48. According to the application there is no portion of the lot that will adhere to all waterbody setbacks, and platted utility line setbacks.
49. According to the application materials the proposed residential cabin will only occupy 12% of the total parcel.
50. Planning staff analyzed 48 parcels with lake frontage on Long Island of Big Lake.
51. Planning staff found the lakefront properties within the analysis area vary in size from 0.24 to 1.24 acres.
52. Development within the analysis area reflects modest residential use, with an average structure size of approximately 1,332 square feet

53. After conducting an analysis, the Planning staff found that there are 39 lakefront parcels with dwellings that appear to meet the 75-foot setback criteria, have legal non-conforming status or a granted variance.
54. The dwellings that may violate the setback requirements were not included in the average dwelling size calculation.
55. According to the application material, the subject parcel has a total of 221.02 feet of shoreline on Big Lake on the northern and southern end of the subject parcel.
56. Based on the application materials, the applicant proposes preserving approximately 100% of undisturbed native vegetation of the shoreline bank besides the access and egress from the subject parcel to the dock.
57. According to the application materials, the applicant was provided with an Alaska Fish & Game permit to reconstruct the dock on February 24, 2025.
58. According to the application material, the applicant proposes a residential cabin of 1,500 square foot residential single-story structure 27-feet from Big Lake of the southern end of the subject parcel.

Discussion: The applicant indicates that the proposed development will be served by an on-site wastewater treatment system. Any wastewater treatment system must be designed, permitted, installed, and maintained in full compliance with the requirements of the Alaska Department of Environmental Conservation (ADEC) and the Matanuska-Susitna Borough. Approval of this application does not exempt the applicant from obtaining all required permits or meeting applicable state and local wastewater regulations.

Conclusion of Law: Based on the above findings, granting a variance will be no more than necessary to permit a reasonable use of the property (MSB 17.65.020(A)(5)).

Section 17.65.030 Cases Where Variance is Illegal

(A) A variance from this title may not be granted if:

(1) Special conditions that require the variance are caused by the person seeking the variance.

Findings of Fact:

59. The subject lot is located within Section 17, Township 3 North, Range 19 West, lies on Long Island in Big Lake within the Big Lake Community Council area.
60. The subject parcel was platted under Plat No. 71-83 on September 10, 1971, prior to the establishment of borough setback and minimum lot size requirements.
61. The subject parcel measures approximately 0.28 acres (12,400 square feet) and has irregular dimensions of approximately 100 feet northwest to east-west, 111.02 feet northeast to southeast, 110 feet southeast to southwest, and 145 feet southwest to northwest.
62. The subject parcel contains an overhead MEA utility line, shown on the original 1971 plat and running generally east to west across the property, imposes a required 15-foot setback.

63. According to the application materials the proposed residential cabin will only occupy 12% of the total parcel.
64. Planning staff analyzed 48 parcels with lake frontage on Long Island of Big Lake.
65. Planning staff found the lakefront properties within the analysis area vary in size from 0.24 to 1.24 acres.
66. Development within the analysis area reflects modest residential use, with an average structure size of approximately 1,332 square feet
67. After conducting an analysis, the Planning staff found that there are 39 lakefront parcels with dwellings that appear to meet the 75-foot setback criteria, have legal non-conforming status or a granted variance.
68. Big Lake is located north and south of the subject parcel.

Conclusion of Law: Based on the above findings, the person seeking the variance did not cause the need for the variance (MSB 17.65.030(A)(1)).

(2) The variance will permit a land use in a district in which that use is prohibited.

Findings of Fact:

69. The subject parcel is not in a special land use district.
70. Residential structures are allowed on this property.

Conclusion of Law: Based on the above findings, the variance, if granted, will not allow a land use in a district in which that use is prohibited, as residential structures are allowed on this site (MSB 17.65.030(A)(2)).

(3) The variance is sought solely to relieve pecuniary hardship or inconvenience

Findings of Fact:

71. The subject lot is located within Section 17, Township 3 North, Range 19 West, lies on Long Island in Big Lake within the Big Lake Community Council area.
72. The subject parcel was platted under Plat No. 71-83 on September 10, 1971, prior to the establishment of borough setback and minimum lot size requirements.
73. The subject parcel measures approximately 0.28 acres (12,400 square feet) and has irregular dimensions of approximately 100 feet northwest to east-west, 111.02 feet northeast to southeast, 110 feet southeast to southwest, and 145 feet southwest to northwest.
74. The subject parcel contains an overhead MEA utility line, shown on the original 1971 plat and running generally east to west across the property, imposes a required 15-foot setback.
75. According to the application materials the proposed residential cabin will only occupy 12% of the total parcel.
76. Big Lake is located north and south of the subject parcel.

77. According to the application this reduces there is no buildable area that meets all required setbacks due to the limitation of the utility easement running east west through the middle of the property.

Conclusion of Law: Based on the above findings, the variance is not solely being sought to relieve pecuniary hardship or inconvenience (MSB 17.65.030(A)(3)).

STAFF RECOMMENDATIONS

Staff recommends approval of the variance for the subject property, Tax ID #6194000L002-B, identified as LONG IS RSB L/02 & 3 Lot 2-B, located on Long Island in Big Lake within the Big Lake Community Council area. The parcel was legally platted under Plat No. 71-83 on September 10, 1971, prior to the adoption of current borough setback and minimum lot size requirements and is therefore a pre-existing lot of record. The lot consists of approximately 0.28 acres (12,400 square feet) with irregular dimensions, which, when combined with a required 15-foot setback from an overhead MEA utility line shown on the original plat, significantly constrains the buildable area. No additional restrictions or notes are identified on the recorded plat. The applicant proposes construction of a modest 30-foot by 50-foot single-family dwelling, consistent with residential development on Long Island. A survey prepared by Scott Holm dated February 24, 2025, confirms existing site conditions. Additionally, Long Island has no road access, and all parcels must be accessed by water, further limiting development flexibility. Staff finds that the request is reasonable, results from unique physical constraints of the lot, and is necessary to allow reasonable residential use of the property consistent with surrounding development, without adversely affecting public health, safety, or welfare.

Staff also recognizes the applicant has proposed a waste-water treatment system on the subject parcel. Any wastewater treatment system must be designed, permitted, installed, and maintained in full compliance with the requirements of the Alaska Department of Environmental Conservation (ADEC) and the Matanuska-Susitna Borough. Approval of this application does not exempt the applicant from obtaining all required permits or meeting applicable state and local wastewater regulations.

Should the Planning Commission deny the variance, the commission shall create findings supporting the denial and amend the resolution.

Application



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

Email: permitcenter@matsugov.us

Matanuska-Susitna Borough
Development Services

APR 01 2025

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APPLICATION FOR A VARIANCE – MSB 17.65

NOTE: Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Borough staff will not process incomplete applications.

Required Attachments:

- \$1,500 application fee
- Certified Site Plan – as defined in MSB 17.125
- Structural elevation drawings of the proposed development
- Narrative with all information required on Pages 1 and 2

Subject Property:

MSB Tax Account ID#(s): 56194000L002-B

Street Address: Long Is RSB L10213 LOT 2-B

Name of Property Owner

Abigail Gilera Hunsick, Dylan Sabrena Stenger Dylan Stenger

Mailing: 705 S. Williwaw Dr
Palmer, AK, 99645

Phone: Hm 907-982-9349 Fax _____

Work _____ Cell _____

E-mail: Sabrena.Stenger@gmail.com

Name of Agent / Contact for application

Dylan Stenger Dylan Stenger

Mailing: 400 W 76th Ave # 201
Anchorage, AK, 99518

Phone: Hm _____ Fax _____

Work _____ Cell 907-982-9941

E-mail: DylanStenger@live.com

RHOTFLASH@HOTMAIL.COM

| | |
|--|-------------------------------------|
| NARRATIVE – In order to grant a variance from MSB Title 17, the Planning Commission must find that each of the following requirements has been met (17.65.020). Explain how the request meets each requirement. | Attached |
| Identify the exact code standard(s) which the request for variance is related to. | <input checked="" type="checkbox"/> |
| Provide a detailed written description as to why the variance is required. | <input checked="" type="checkbox"/> |
| What unusual conditions or circumstances apply to the property for which the variance is sought? | <input checked="" type="checkbox"/> |

APR 01 2025

| | |
|--|--|
| How the strict application of the provisions of this title will deprive you of the rights commonly enjoyed by other properties under the terms of this title. | <input checked="" type="checkbox"/> Received |
| Why the granting of the variance will not be injurious to nearby property, nor harmful to the public welfare. | <input checked="" type="checkbox"/> |
| How will the granting of the variance be in harmony with the objectives of this title and any applicable comprehensive plans? | <input checked="" type="checkbox"/> |
| How the deviation from the requirements of this title as permitted by the variance will be no more than is necessary to permit a reasonable use of the property. | <input checked="" type="checkbox"/> |
| Explain what MSB adopted Voluntary Best Management Practices for Development around Waterbodies will be implemented into the proposed development. | <input checked="" type="checkbox"/> |

| | |
|--|-------------------------------------|
| A variance may <u>not</u> be granted if any of the conditions listed below are true. Explain why each condition is <u>not</u> applicable to this application. | Attached |
| The special conditions that require the variance are caused by the person seeking the variance. | <input checked="" type="checkbox"/> |
| The variance will permit a land use in a district in which that use is prohibited. | <input checked="" type="checkbox"/> |
| The variance is sought solely to relieve pecuniary hardship or inconvenience. | <input checked="" type="checkbox"/> |

| | |
|---|-------------------------------------|
| Drawings | Attached |
| A boundary survey and site plan of the proposed and/or existing development, of the particular parcel or parcels affected. The survey must be submitted under the seal of an Alaska Registered Land Surveyor. | <input checked="" type="checkbox"/> |
| Structural elevation drawing(s) for the purpose of indicating the proposed height and bulk, view and other dimensions of the subject structure. | <input checked="" type="checkbox"/> |

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Staff will provide applicant with a statement of advertising and mailing charges. Payment must be made **prior** to the application presentation before the Borough Planning Commission.

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax parcel ID #(s) 56194000L002-B and, I hereby apply for approval a setback variance on that property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.55 and MSB 17.65 and with all other applicable borough, state or federal laws.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

Application for Big Lake Variance

Planning Commission Packet
January 19, 2025
Matanuska-Susitna Borough
Development Services
35 of 74

APR 01 2025

Received

Subject Property: Long Island RSB L/02 & 3 Lot 2-B

Property Owners: Alan & Gloria Hunsuck and Dylan & Sabrena Stenger

Code standard for which the request of the variance is related: 17.55

Provide a Detailed Written Description as to Why the Variance is Required

We are requesting a variance from the 75ft shore line setback requirements due to the unique constraints of our property. The property's irregular shape and the presence of an overhead power line significantly limits our ability to build within the current setback requirements.

The lot is 155 ft deep on one side and 114.9 ft on the opposite side, creating an angled, non-uniform buildable space.

The distance from the shoreline on front and back of the property would have an overlapping 75ft setback effectively leaving us with zero buildable space without a variance.

A MEA power line runs through the middle of the property, requiring a 15ft easement on both sides, further reducing available building space.

What Unusual Conditions Apply to the Property for Which the Variance is Sought?

Our property has two key physical constraints that make compliance with the 75ft set requirements impossible. The irregular shape and size creates an angled buildable area that limits placement options. The shoreline does not run parallel to the lots interior boundaries, further complicating setback compliance. A MEA power line runs diagonally through the property, requiring a 15ft easement on both sides, effectively reducing the buildable area to zero.

How the strict application of the provisions of this title will deprive you of the rights commonly enjoyed by other properties under the terms of this title.

This property has been in our family since 1970. It has been our sanctuary through three generations. We have close family members that also own a recreational cabin on Big Lake. We have established through the years history with numerous families, that either live at Big Lake or use their cabin for recreational.

The Mat-Su borough defines a "Lot" as a designated parcel, plot, tract or area established by plat, subdivision, or as otherwise permitted by law, to be used, developed, or built upon as a unit. This lot has been legally designated for residential development. Without a variance, we would be unable to build a cabin, depriving us of a reasonable and common use of our property. I should be granted the same rights as other properties to build a cabin.

Other property owners on Long Island have existing structures that either predate current regulations or have sufficient land to build within the required setbacks. Without a variance, we would be the only property owners on Long Island unable to build a reasonable structure.

The inability to construct a cabin would not only deny us the enjoyment of our property but would also limit the value and use of the land, which was intended for residential development. A variance is necessary to allow us the same rights as neighboring property owners.

Why the granting of the variance will not be injurious to nearby property, nor harmful to the public welfare.

Granting this variance will not negatively impact neighboring properties or the public. Our lot is uniquely positioned with water on two sides, meaning we only have two neighboring properties. The placement of our cabin will not obstruct their views of Big Lake or limit their access in any way. Additionally we have no plans to construct a boathouse or any other structure that might interfere with their use and enjoyment of their property.

We are committed to responsible development and will follow the Big Lake Comprehensive Plan that supports a balance of freedom to use property as individuals chose up to the point where one person's use limits the rights of neighbors to enjoy their property. Our cabin will be designed to blend with the natural landscape, maintaining the character of Long Island and the broader Big Lake community.

We have contracted with Pantone Engineering to design a wastewater system for our property that will start in August due to their workload. Steve has extensive experience working with ADEC to ensure compliance with all applicable codes and regulations. If you have any questions you can contact Steve at 907-745-8200.

To minimize disruption to our neighbors during construction, we will adhere to reasonable work hours and noise control measures. Once complete, our cabin will be a well maintained and attractive addition to the island. This will enhance property values and contribute positively to the Big Lake community.

How the granting of the variance will be in harmony with the objectives of this title and any applicable comprehensive plans.

The Big Lake Comprehensive plan prioritizes responsible development that preserves the natural beauty of the area while allowing property owners reasonable use of their land. Our proposed cabin aligns with these objectives by ensuring that construction remains environmentally conscious, does not obstruct neighboring views, and maintains the character of Long Island. Our Development Services

APR 01 2025

shoreline while also adhering to the 15ft easement requirements from the power line. The structure will be modest in size compared to other cabins on Big Lake and will not negatively impact surrounding properties. We have contracted Pannone Engineering to design a wastewater system that will be the most effective for the Big Lake environment. We enjoy fishing and watching the Ducks, that sometimes come right next to our shoreline. We have always and will continue to support local services including stores and entertainment.

Planning Commission Packet
January 19, 2025

How the deviation from the requirements of this title as permitted by the variance will be no more than is necessary to permit a reasonable use of the property.

The variance we are requesting is the minimum necessary to allow for reasonable development while still complying with all other applicable regulations. We are proposing a single story, 30X50 (1,500 sq.ft.) cabin, which covers only 12% of the total lot area. The placement of this cabin is as far back from the shoreline as possible while also adhering to MEA's 15ft required setback from the overhead power lines on the property. By designing a structure that is modest in scale and positioning it to minimize environmental and visual impact, we are ensuring that our request is no greater than what is necessary.

Explain what MSB adopted Voluntary Best Management Practices for development around waterbodies will be implemented into the proposed development.

Shoreline Preservation by maintaining a continuous buffer of undisturbed native vegetation along the shoreline to minimize erosion, filter runoff and protect water quality. Our property has 214 ft of shoreline. We have a 10ft transition from the dock to the property, ensuring the remaining 204 ft remain preserved.

Maintaining a low impact footprint by ensuring the cabin covers only 12% of the lot, well below the 25% threshold recommended by environmental guidelines.

Minimizing land disturbance by carefully chosen site to avoid unnecessary grading or disruption of natural land contours. We will limit clearing to only what is essential for construction while keeping as many existing trees and plants as possible. The cabin will be built on helical piles, which will require no excavation or disturbance of the land.

We will not use fertilizers, pesticides or herbicides that could run off into the lake for Environmentally friendly landscaping. We will plant native vegetation to help stabilize the soil and enhance wildlife habitat.

We are collaborating with Steve from Pannone Engineering Services to design a wastewater system tailored to our unique property while ensuring full compliance with the ADEC regulations.

Matanuska-Susitna Borough
Development Services

APR 01 2025

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Additionally, we have already complied with Alaska Fish and Game as well as the U.S. Corps of Engineers building a new dock. The dock will serve as our primary lake access point, preventing unnecessary shoreline disturbance.

By incorporating these best practices, we are not only complying with local recommendations but also ensuring that our cabin enhances, rather than harms, the natural beauty and ecological health of Big Lake.

A variance may not be granted if any of the conditions listed below are true. Explain why each condition is not applicable to this application.

The special conditions that require the variance are caused by the person seeking the variance.

The irregular shape and narrow depth of the lot were determined by natural geography and past land divisions. Additionally the overhead power line and its required 15ft easement on both sides were placed by MEA. We had no control on the subdividing of the lot, its irregular shape or the placement of the power line.

The variance will permit a land use in a district where it is not permitted.

This variance does not request any land use that is not already permitted. The Mat-Su Borough has designated this lot as a residential lot, intended for development and recreational use. Our proposed cabin aligns with existing neighborhood characters and Borough zoning regulations. The only variance we seek is for the setback distance, not for any change in land use.

The variance is sought solely to relieve pecuniary hardship or inconvenience.

Our request is not based on financial considerations or issues of inconvenience, but rather on the physical constraints of the lot. The property's narrow debt, combined with the mandatory power line easement, makes it impossible to build within the standard setback limits. We are seeking a variance solely for the debt of our prosperity not meeting the 75Ft setback requirements.

Granting of this variance would allow for reasonable development of the property while maintaining compliance with borough objectives. The proposed cabin will protect the lake environment by following ADEC regulations, respect neighboring properties, and enhance to overall character of Big Lake, ensuring long term sustainability for future generations. Building a cabin on this land isn't just about having a place to stay, it's about restoring a piece of our family history. This will allow us to continue enjoying the lake that has brought our family and friends so much joy. By bringing this cabin to life, we honor the past while creating a space for future generations to share in the same laughter, connections and love that makes Big Lake so special.

Matanuska-Susitna Borough
Development Services

APR 01 2025

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We would like to thank the Planning Commission for taking the time to review our application. If you have any questions please do not hesitate to contact Dylan who will be working closely with all aspects of building a cabin along side Scott.

Dylan Stenger email: Dylanstenger@live.com 907-982-9941
Scott Hunsuck email: S.Hunsuck17@gmail.com 907-982-0199

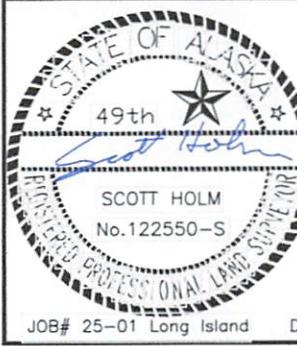
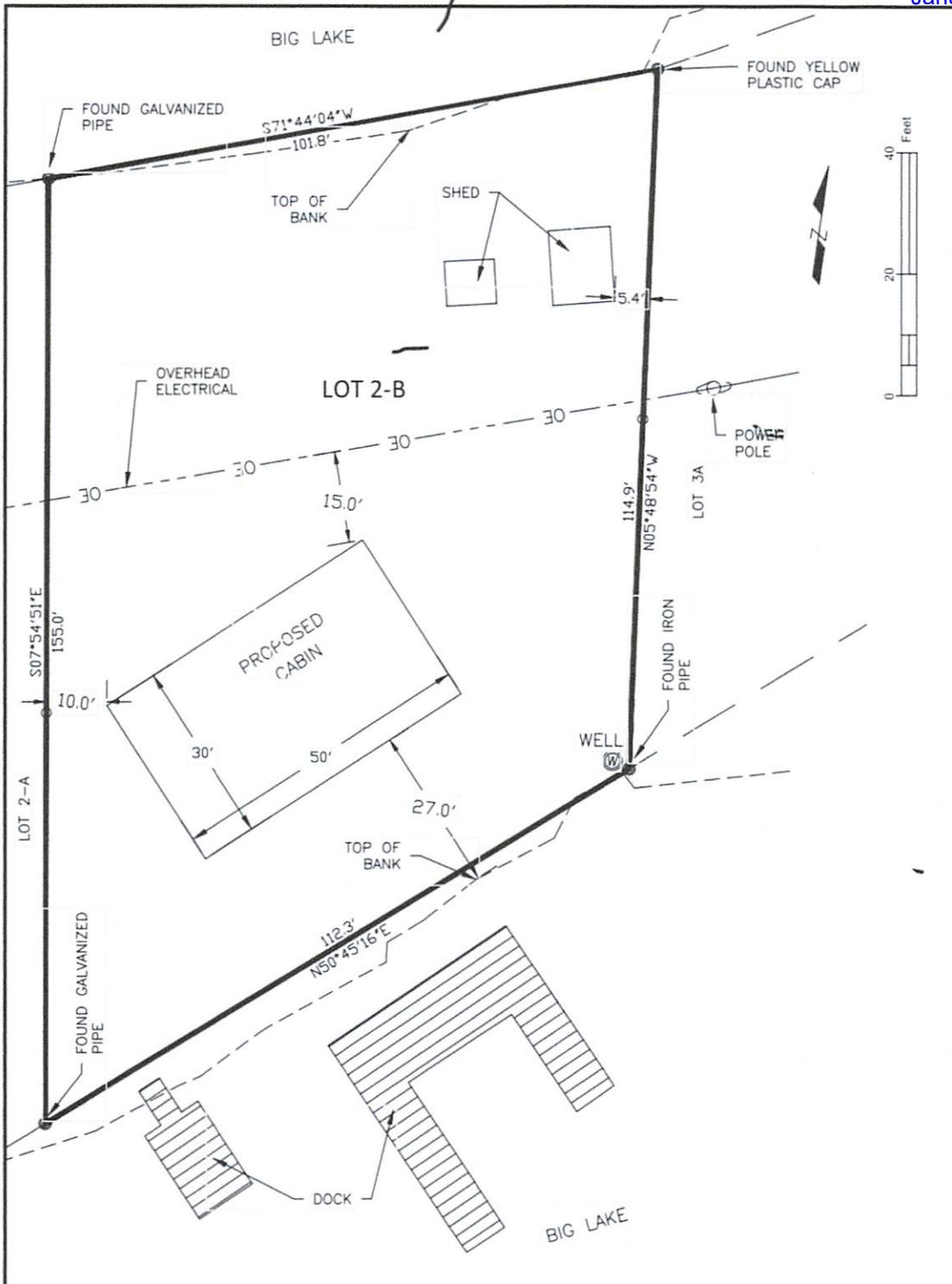
Matanuska-Susitna Borough
Development Services

APR 01 2025

Received

Matanuska-Susitna Borough
Development Services

APR 01 2025

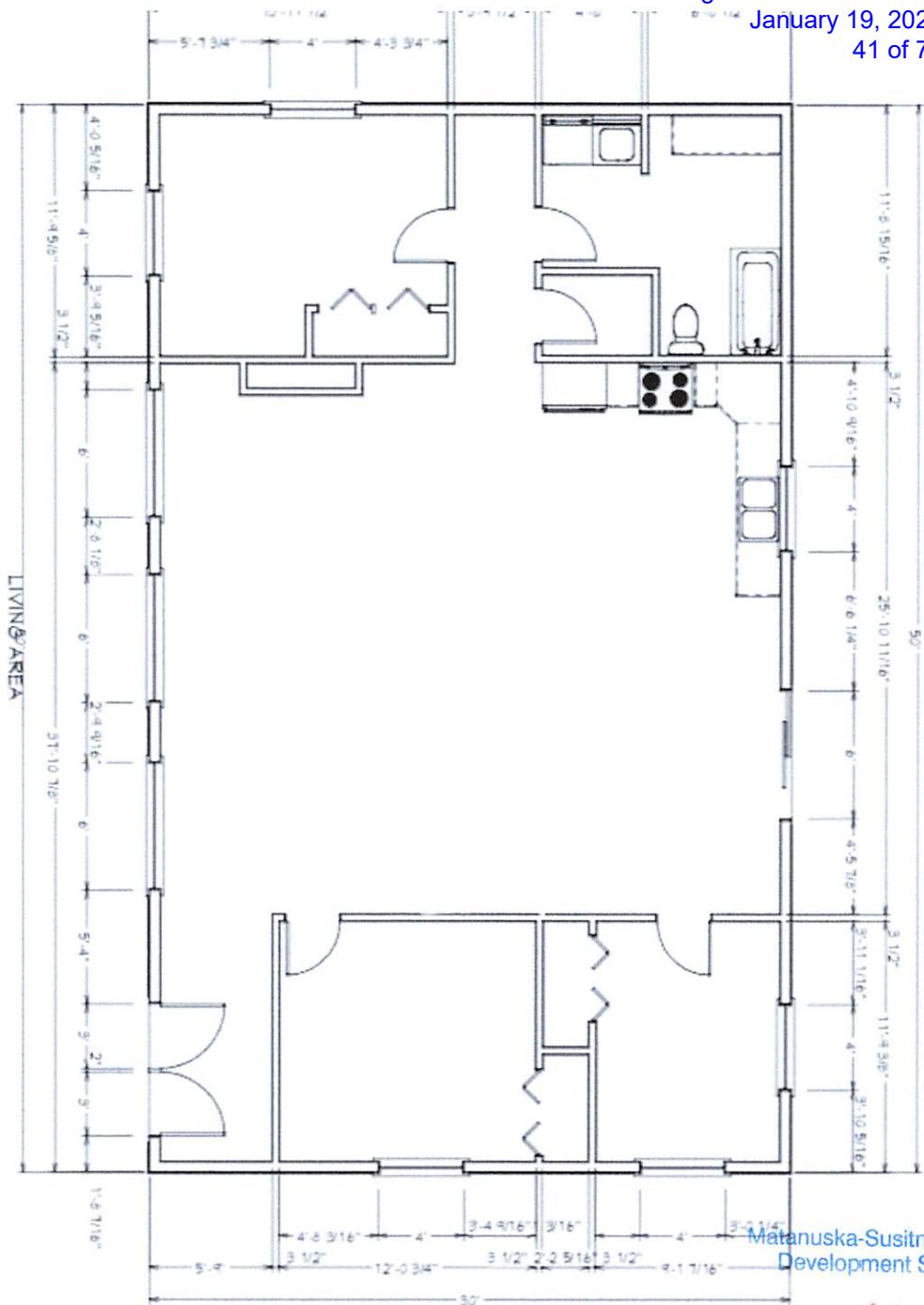
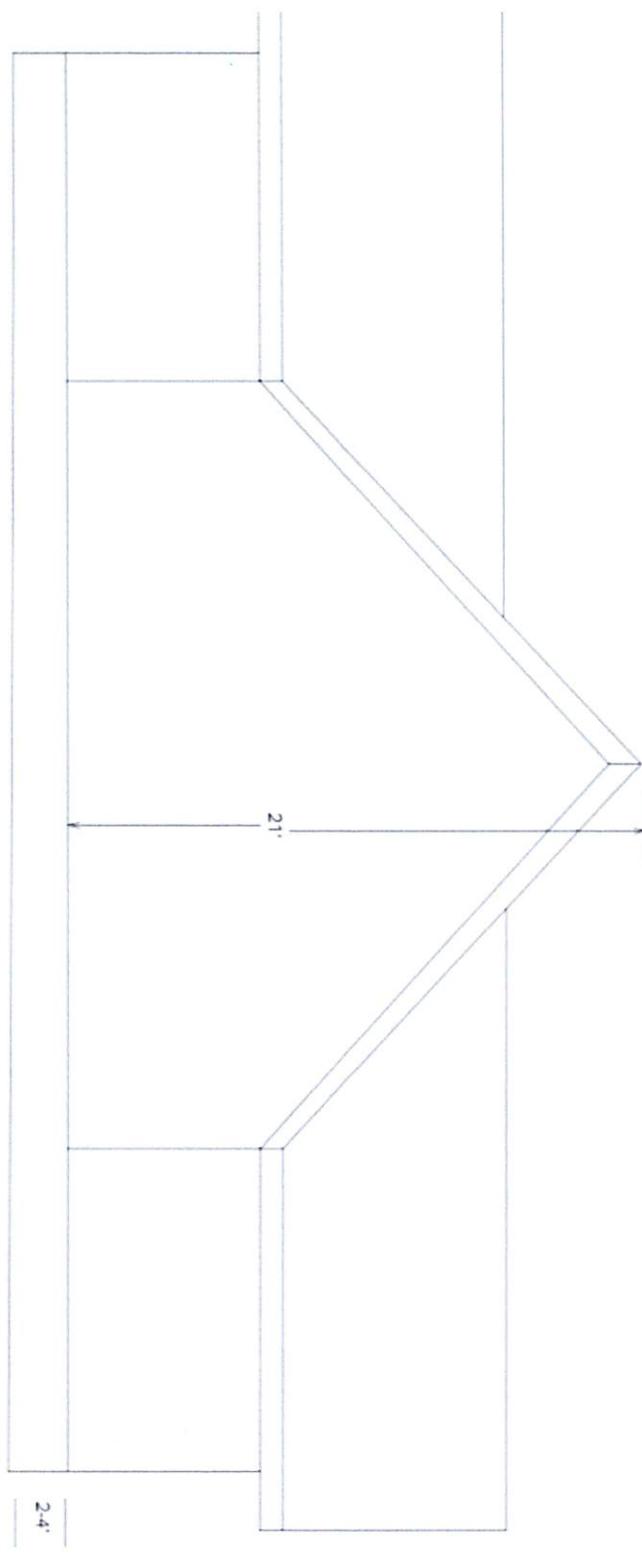


SURVEYOR'S CERTIFICATE
I hereby certify that I am a Registered Professional Land Surveyor in the State of Alaska and that this survey represents a survey made by me or under my direct supervision, and that the monuments shown thereon actually exist as described, and that all dimensional and other details are true and correct to the best of my knowledge.

DRAFTED BY: SH

PLOT PLAN 4
LOT 2-B
REPLAT LOT 2 & 3
LONG ISLAND SUBDIVISION
(PLAT # 71-83)
LOCATED IN
Sec. 19, T. 17 N. R. 3 W
ASKA, PALMER RECORDING DIS

| | |
|--------|--|
| 1 of 1 | BUSH CONSTRUCTION SURVEYS, 3167 COTTELO LOOP, WASILLA, ALASKA P.O. BOX 876390, WASILLA, ALASKA ALASKA BUSINESS LICENSE No. 17 (907) 373-6996 |
| 2025 | |



Matanuska-Susitna Borough
Development Services

APR 01 2025

Received



Matanuska-Susitna Borough
Development Services

APP 01 2025

Received

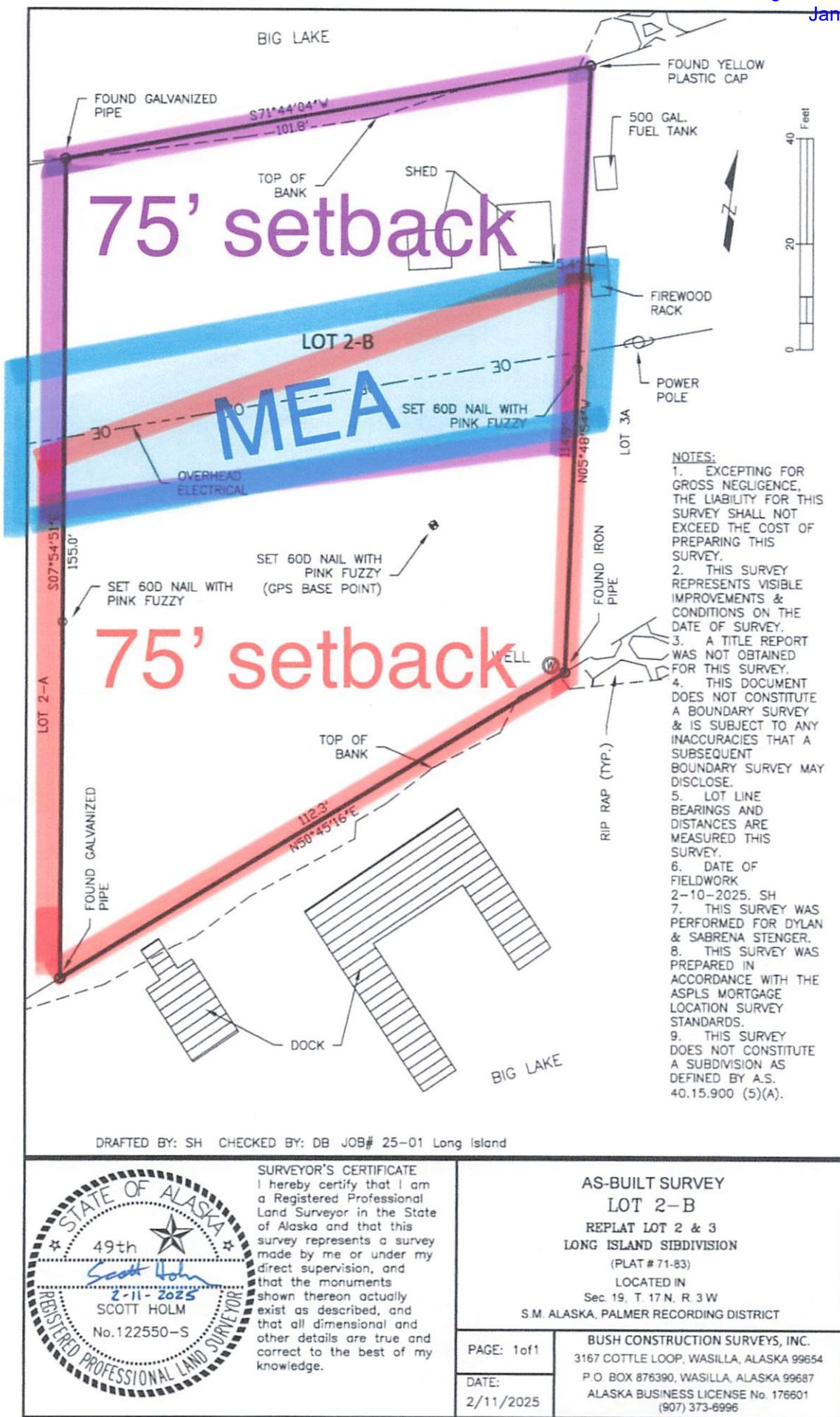


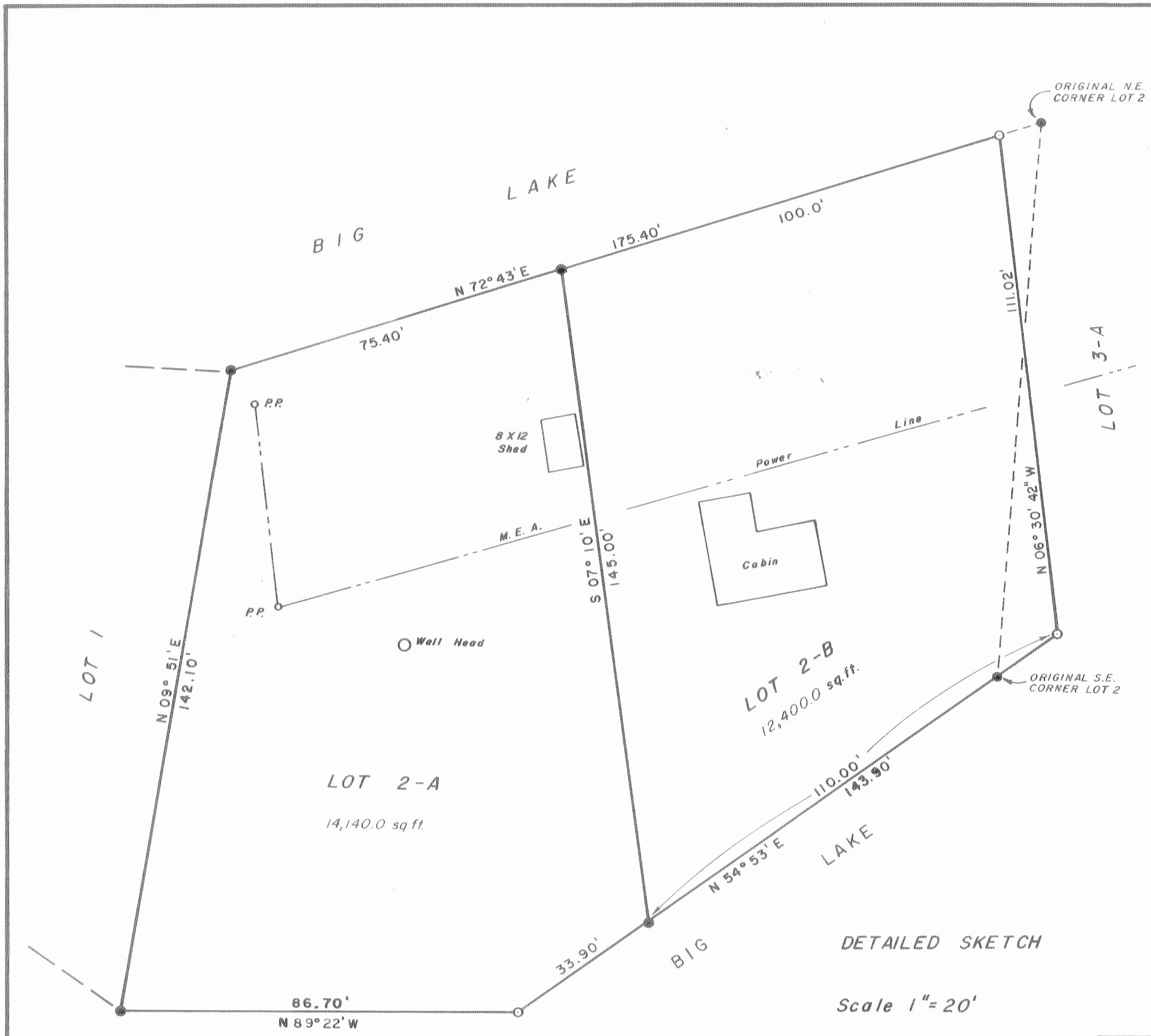
Matanuska-Susitna Borough
Development Services

APR 01 2025

Received







DESIGN PARAMETERS

PRIMARY SEPTIC SYSTEM

NO. BEDROOM: 3 (450 gpd)

TANK SIZE: 1500gal MIN.

SYS. TYPE: ALTERNATIVE WW

TREATMENT W/LAND SURFACE
DISCHARGE

USE:

INFILTRATOR IM-1530 & AEROCCELL
A400-AC POD W/NORWECO
AT-1500 UV DISINFECTION UNIT
TO SURFACE DISCHARGE

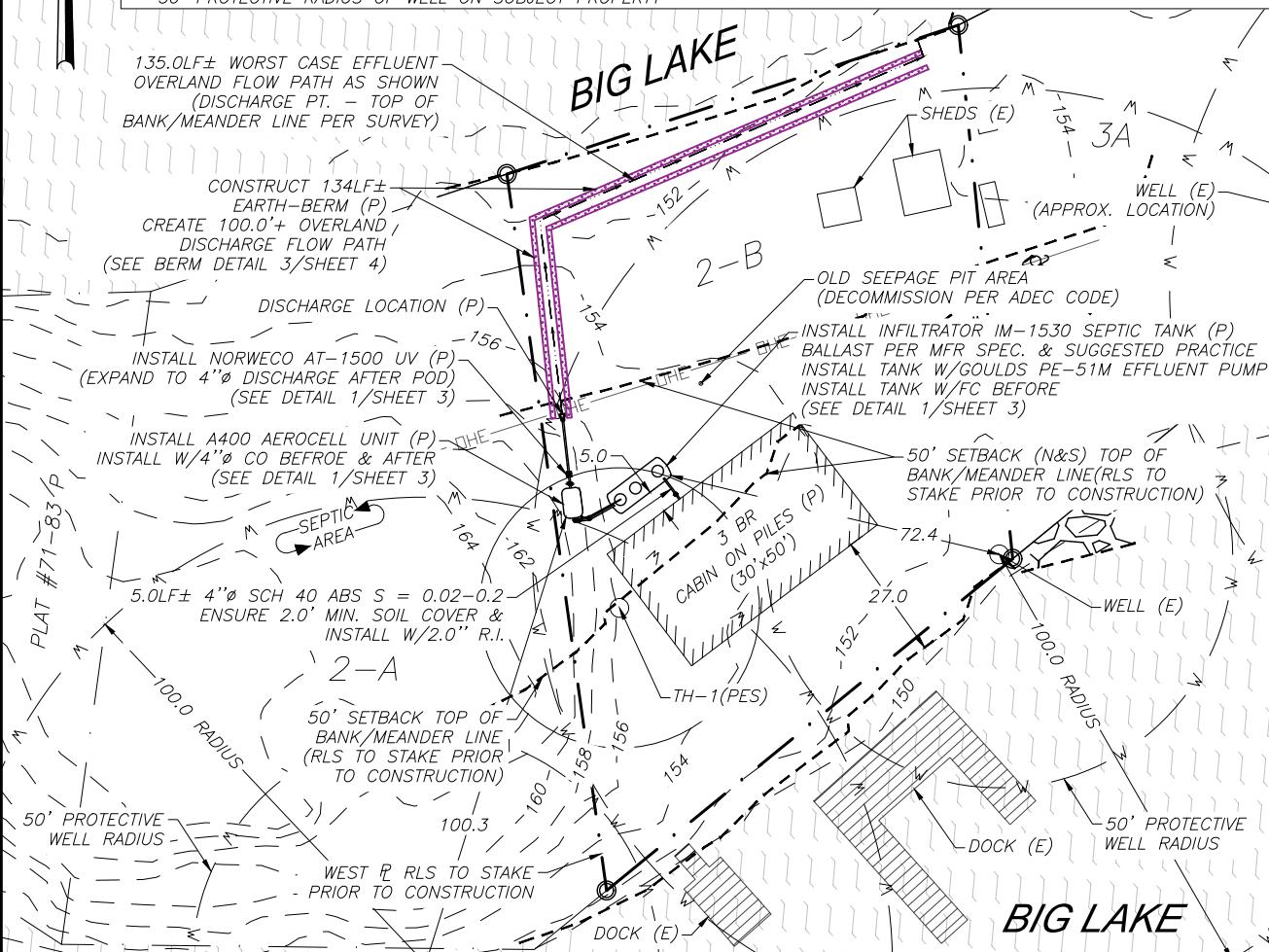
NOTES:

1. CONTRACTOR TO ENSURE AEROCELL POD, UV UNIT, SEPTIC TANK, AND DISCHARGE LOCATION ARE INSTALLED 50.0' OR GREATER TO ORDINARY HIGH SURFACE WATER.
2. CONTRACTOR TO ENSURE AEROCELL POD, TANK, AND UV UNIT ARE INSTALLED OUTSIDE OF 100' NEIGHBORING WELL RADIUS.
3. CONTRACTOR TO ENSURE 100' MIN. OVERLAND FLOW WITH INSTALLATION OF EARTH BERMS. ROUTE BERMS AS NECESSARY TO OBTAIN 100' OVERLAND FLOW & AS DESIRED.
4. CONTRACTOR TO COORDINATE AND ENSURE DEPTH OF PILES FOR FOUNDATION EXTEND BELOW BOTTOM OF TANK ELEVATION.
5. CONTRACTOR/OWNER RESPONSIBLE FOR HAVING ALASKA RLS TO STAKE THE FOLLOWING:
 - WEST PROPERTY LINE
 - 50' FROM ORDINARY HIGH WATER ON NORTH AND SOUTH SIDE OF PROPERTY
 - 100' PROTECTIVE RADIUS OF NEIGHBORING WELL ON LONG ISLAND LOT 2-A
 - 50' PROTECTIVE RADIUS OF WELL ON SUBJECT PROPERTY

— w — w — WATER LINE /
WELL RADIUS
— ss — ss — NEW SEPTIC
----- ESMT/SETBACK

ABBREVIATIONS

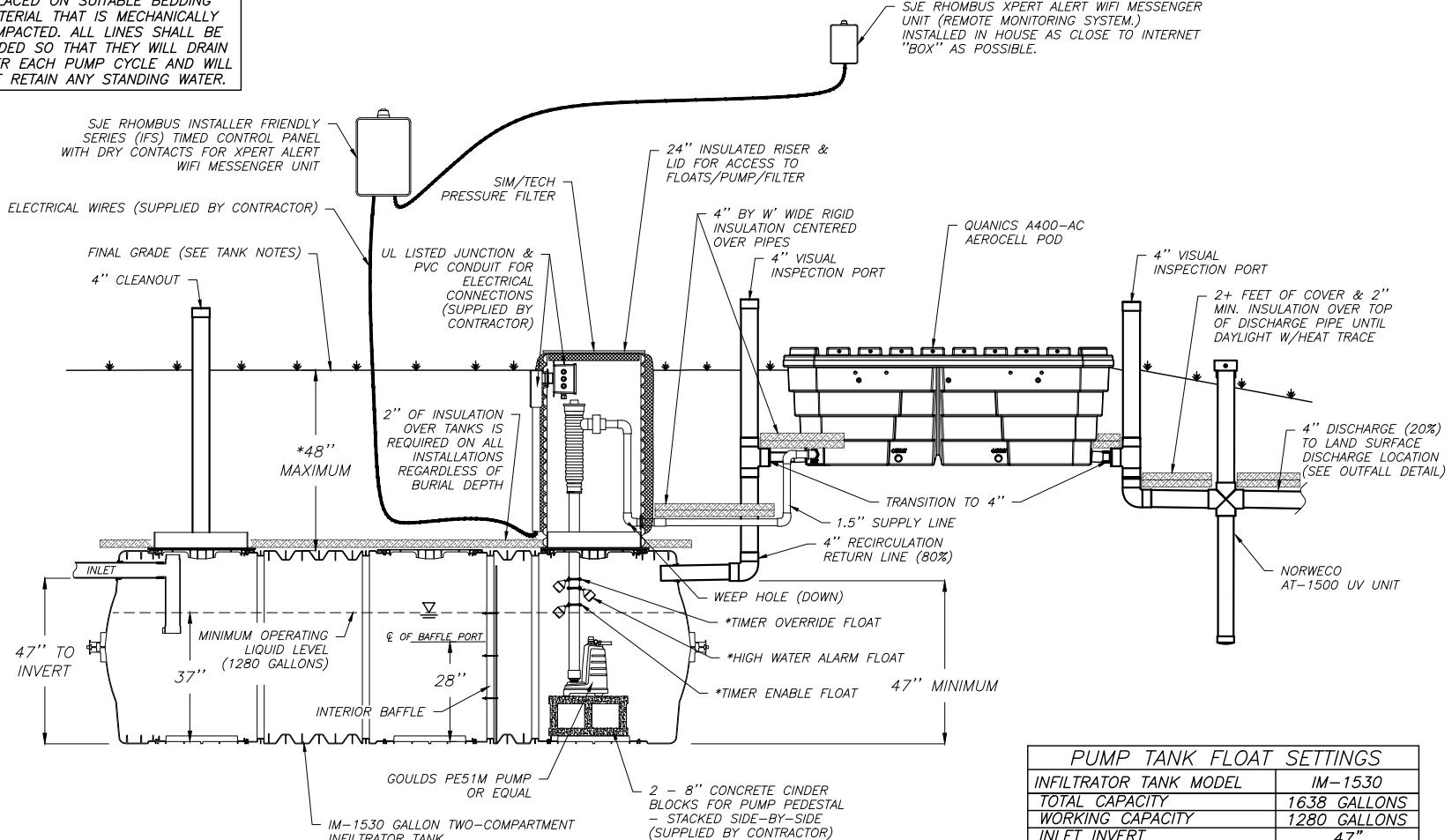
| | |
|------|---------------------|
| TH | TEST HOLE |
| (P) | PROPOSED |
| (E) | EXISTING |
| CO | CLEAN OUT NO. |
| DCO | DOUBLE CLEANOUT |
| FC | FOUNDATION CLEANOUT |
| FS | FLOW SPLITTER |
| DV | DIVERTER VALVE |
| MT | MONITOR TUBE NO. |
| LS | LIFT STATION |
| R.I. | RIGID INSULATION |
| TYP | TYPICAL |



COMPONENTS SUPPLY NOTE:
 1. TANKS, RISER ADAPTER RINGS, AND INSULATED RISERS ARE INFILTRATOR™ PRODUCTS AVAILABLE THROUGH FERGUSON SUPPLY
 2. THE PUMP, FLOATS, INTERNAL PIPING, GROMMETS, CONTROL PANEL, XPERT ALERT UNIT, AND AEROCELL UNIT ARE SUPPLIED BY GARNESS ENGINEERING, THE ALASKA STATEWIDE DISTRIBUTOR FOR QUANICS™ PRODUCTS.
 3. ALL OTHER EXTERNAL COMPONENTS SUCH AS PIPING, FITTINGS, WIRING, INSULATION, ETC., SHALL BE SUPPLIED BY THE CONTRACTOR.

INFILTRATOR TANK NOTES:
 • PER INFILTRATOR SYSTEMS, INC., THESE TANKS HAVE A MAXIMUM BURIAL DEPTH OF 48 INCHES OVER TOP OF TANK.
 • PER INFILTRATOR SYSTEMS, INC., THE TANKS ARE TO BE BURIED SO THAT THE INVERT OF THE INFILTRATOR TANKS ARE NOT SUBMERGED DURING HIGH GROUNDWATER LEVEL CONDITIONS.
 • GEG RECOMMENDS ALL PIPE PENETRATIONS/JOINTS ASSOCIATED WITH THE INFILTRATOR TANKS THAT MAY BE SUSCEPTIBLE TO INFILTRATION BE ENCASED IN BENTONITE CHIPS.
 • IF GROUNDWATER IS ENCOUNTERED, THE CONTRACTOR SHALL ENSURE THAT SOIL COVER AND/OR BALLASTING IS PROVIDED AS OUTLINED IN THE INFILTRATOR "SEPTIC TANK BUOYANCY CONTROL GUIDANCE" BROCHURE.

NOTE: ALL PIPING FROM PUMP TANK TO AEROCELL MODULE SHALL BE PLACED ON SUITABLE BEDDING MATERIAL THAT IS MECHANICALLY COMPAKTED. ALL LINES SHALL BE GRADED SO THAT THEY WILL DRAIN AFTER EACH PUMP CYCLE AND WILL NOT RETAIN ANY STANDING WATER.



| TANK VOLUMES FOR FLOAT LEVELS | | |
|-------------------------------|---------------------|------------------|
| FLOAT LABELS | FROM BOTTOM OF TANK | VOLUME (GALLONS) |
| TIMER OVERRIDE FLOAT ON | 47" | 1638 |
| TIMER OVERRIDE FLOAT OFF | 44" | 1537 |
| HIGH WATER ALARM FLOAT ON | 45" | 1572 |
| HIGH WATER ALARM FLOAT OFF | 42" | 1466 |
| TIMER ENABLE FLOAT ON | 40" | 1393 |
| TIMER ENABLE FLOAT OFF | 37" | 1280 |

NOTE: ALL PRESSURIZED PIPES ARE TO BE SCHEDULE 40 PVC UNLESS NOTED OTHERWISE.

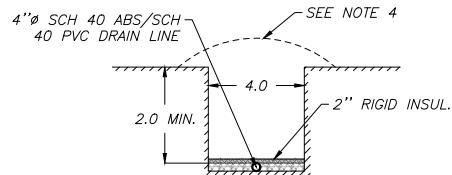
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SCALE: NTS

QUANICS AEROCELL SYSTEM DETAILS

| PUMP TANK FLOAT SETTINGS | |
|---|----------------|
| INFILTRATOR TANK MODEL | IM-1530 |
| TOTAL CAPACITY | 1638 GALLONS |
| WORKING CAPACITY | 1280 GALLONS |
| INLET INVERT | 47" |
| TIMER OVERRIDE FLOAT | 37.5" (*45.5") |
| HIGH WATER ALARM FLOAT | 35.5" (*43.5") |
| TIMER ENABLE FLOAT | 30.5" (*38.5") |
| FLOAT LEVELS ARE FROM BOTTOM OF PUMP (*MEASUREMENT FROM BOTTOM OF TANK). | |
| NOTE: MEASUREMENTS ARE WHERE THE FLOAT WIRE ATTACHES TO PIPING WITH A 3.5 INCH TETHER FROM PIPING TO FLOAT. MAXIMUM LIQUID DEPTH VARIATION BETWEEN ON/OFF FOR EACH FLOAT SHALL BE 3 INCHES. ALL FLOATS MUST BE NARROW ANGLE FLOATS. | |

PANNONE ENG SVC, LLC (C.I. 1088)
 P.O. BOX 1807 PALMER, AK 99645
 PHONE (907) 745-8200 FAX (907) 745-8201
LONG ISLAND RSB L/02 & 3 LOT 2-B
CLIENT: DYLAN B. & SABRENA P. STENGER
SITE: NHH LONG ISLAND
BIG LAKE, AK 99654

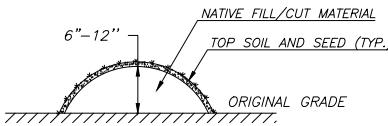
| NOTES: | LJC | ACP | DETAILS |
|----------------------|-----|-----|---------|
| FOR ADEC REVIEW ONLY | | | |



NOTES:
 1. BOTTOM OF TRENCH TO BE NATURAL UNDISTURBED SOIL.
 2. BED LINE ON SURFACE COMPACTED TO MIN. 95% DENSITY.
 3. ALL INSULATION TO BE ADEC APPROVED 60PSI MINIMUM.
 4. MOUND FINISH GRADE AS NEEDED TO OBTAIN 2.0' MIN. COVER

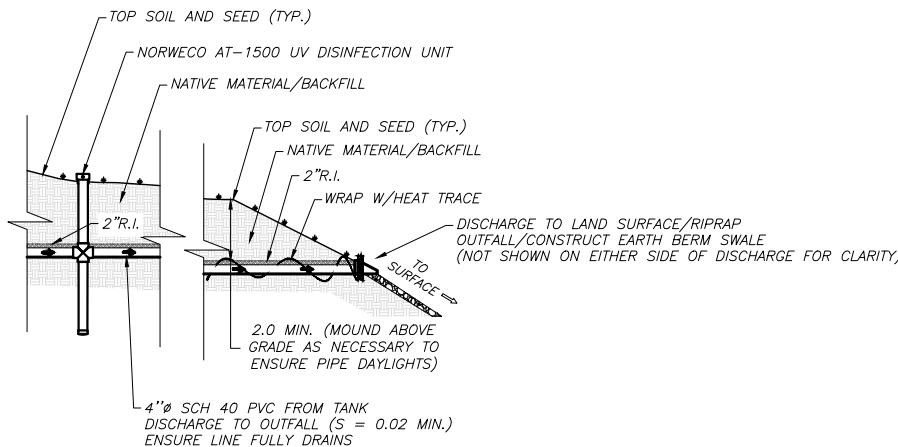
2 DRAIN LINE BEDDING DETAIL

SCALE: NTS



3 EARTH BERM DETAIL

SCALE: NTS



NOTES:
 1. BOTTOM OF TRENCH TO BE NATURAL UNDISTURBED SOIL.
 2. BED LINE ON SURFACE COMPACTED TO MIN. 95% DENSITY.
 3. ALL INSULATION TO BE ADEC APPROVED 60PSI MINIMUM.
 4. MOUND FINISH GRADE AS NEEDED TO OBTAIN 2.0' MINIMUM SOIL COVER.
 5. ENSURE END OF DISCHARGE IS WRAPPED WITH HEAT TRACE TO PREVENT ICE DAMMING.
 6. RAISE MOUND AS NEEDED TO GET PIPE TO DAYLIGHT.

4 OUTFALL DETAIL

SCALE: NTS

| | | |
|----------------------|---|---|
| NOTES: | PANNONE ENG SVC, LLC (C.I. 1088) | |
| FOR ADEC REVIEW ONLY | P.O. BOX 1807 PALMER, AK 99645 PHONE (907) 745-8200 FAX (907) 745-8201 | |
| DRAWN | LJC | LONG ISLAND RSB L/02 & 3 LOT 2-B |
| CHECKED | ACP | CLIENT: DYLAN B. & SABRENA P. STENGER |
| DETAILS | | SITE: NHH LONG ISLAND BIG LAKE, AK 99654 |

SOILS LOG & PERCOLATION TEST

| TEST HOLE 1 | |
|-------------|------------------|
| 1 | OR/SM TOPSOIL |
| 2 | GP-GM COBBLES |
| 3 | GM COBBLES |
| 4 | |
| 5 | |
| 6 | BOH |

WAS GROUND WATER
ENCOUNTERED? YES

IF YES, AT WHAT
DEPTH? 6.0'

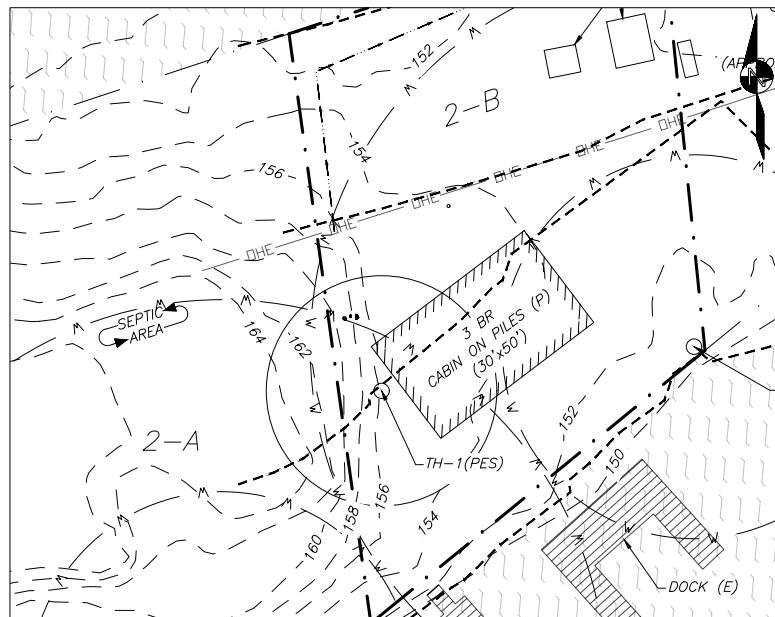
DEPTH TO WATER AFTER
MONITORING? - 6.0' -
DATE: 07/20/25

DATE PERFORMED: 07/11/2025

| READING | DATE | NET TIME | WATER LEVEL READING | NET DROP | RATE (MPH) |
|---------|----------|----------|---|----------|---------------|
| 1 | 07/11/25 | - | | - | - |
| 2 | | | | | |
| 3 | | - | | - | - |
| 4 | | | | | |
| 5 | | | | - | - |
| 6 | | | | | |
| 6 | | | PERCOLATION RATE TOO FAST TO ACCURATELY READ | | |
| 7 | | | | - | - |
| 8 | | | | | |
| 9 | | - | | - | - |
| 10 | | | | | |
| 11 | | - | | - | - |
| 12 | | | | | |
| 13 | | - | | - | |
| 14 | | | | | |

COMMENTS: Test hole excavated by OWNER.

PERFORMED BY: PANNONE ENGINEERING SERVICES, LLC. I CERTIFY THAT THIS TEST
WAS PERFORMED IN ACCORDANCE WITH ALL STATE AND MUNICIPAL GUIDELINES IN EFFECT ON THE DATE OF THIS TEST.



SLOPE

SOIL TEST RESULTS/ANALYSIS

- PERCOLATION RATE <1.0 (min/inch)
(Hydrologic Soils Group: HSG A)
- PERC HOLE DIAMETER 6"
- TEST RUN BETWEEN 2 FT AND 3 FT.

| | | |
|----------------------|---|---|
| NOTES: | PANNONE ENG SVC, LLC (C.I. 1088) | |
| FOR ADEC REVIEW ONLY | P.O. BOX 1807 PALMER, AK 99645 PHONE (907) 745-8200 FAX (907) 745-8201 | |
| DRAWN | LJC | CLIENT: DYLAN B. & SABRENA P. STENGER |
| CHECKED | ACP | SITE: NHH LONG ISLAND BIG LAKE, AK 99654 |
| SOIL LOG | | |

NOTES & SPECIAL PROVISIONS:

1. GENERAL NOTES:

- 1.1. ANY MODIFICATIONS TO THE ATTACHED PLANS NEED TO BE APPROVED BY PES AND THE OWNER OF THE PROPERTY.
- 1.2. PES SHALL BE NOTIFIED A MINIMUM OF 48 HOURS IN ADVANCE BEFORE CONSTRUCTION OF THE PROPOSED WASTEWATER TREATMENT SYSTEM.
- 1.3. PES SHALL BE NOTIFIED A MINIMUM OF 24 HOURS IN ADVANCE TO PERFORM A MINIMUM OF FOLLOWING INSPECTIONS:
 - 1.3.1. A PRE CONSTRUCTION MEETING IS REQUIRED BY STATE AND MUNICIPAL REGULATIONS BEFORE A ON SITE WASTEWATER TREATMENT SYSTEM MAY BE INSTALLED.
 - 1.3.2. TOP OF SEPTIC OR HOLDING TANK (TANK IS SET IN PLACE LEVEL WITH ALL PIPING ATTACHED (CLEANOUTS, MANHOLES, INLET AND OUTLET PIPING).
 - 1.3.3. BOTTOM OF EXCAVATION OF THE DRAIN FIELD/S.
 - 1.3.4. AFTER PLACEMENT OF FILTER SAND (IF NEEDED).
 - 1.3.5. AFTER INSTALLATION OF THE DRAIN ROCK WITH ALL ASSOCIATED PIPING IN PLACE INCLUDING DISTRIBUTION LINES CLEANOUTS AND MONITOR TUBES PRIOR TO INSTALLATION OF FILTER FABRIC AND INSULATION (IF NEEDED).
 - 1.3.6. FINAL GRADE INSPECTION. ENTIRE SYSTEM IS INSTALLED AND BACKFILLED.
- 1.4. THE ENGINEER (PES) HAS NO CONTRACTUAL RELATIONSHIP WITH THE CONTRACTOR (THE INSTALLER OF THE SYSTEM) AND, THEREFORE, HAS NO AUTHORITY, CONTROL OR RESPONSIBILITY FOR THE CONTRACTOR'S EMPLOYEES, THE QUALITY OF WORK, THEIR COMPLIANCE WITH THE DESIGN DRAWINGS/SPECIFICATIONS OR THEIR MEANS/METHODS OF CONSTRUCTION. AT APPROPRIATE INTERVALS, THE ENGINEER WILL VISIT THE WORKSITE TO OBSERVE THE QUALITY OF THE CONSTRUCTION AND TO DETERMINE IN GENERAL IF THE CONSTRUCTION IS PROCEEDING IN ACCORDANCE WITH THE DESIGN DRAWINGS/SPECIFICATIONS. THE ENGINEER WILL NOTIFY THE OWNER IF DEFICIENCIES ARE OBSERVED; HOWEVER, THE FAILURE OF THE ENGINEER TO OBSERVE A DEFICIENCY WILL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY FOR CORRECTING ANY SUCH DEFICIENCY. THE ENGINEER WILL PREPARE RECORD DRAWINGS AND SUBMIT THEM TO THE REGULATORY AGENCY HAVING JURISDICTION OVER THE WASTEWATER TREATMENT SYSTEM (ADEC OR MOA). FINAL APPROVAL OF THE WORK AND CORRECTION OF ANY DEFICIENCIES IS BETWEEN THE OWNER, THE CONTRACTOR, AND THE REGULATORY AGENCY HAVING JURISDICTION OVER THE WASTEWATER TREATMENT SYSTEM (ADEC OR MOA).

2. SCOPE AND SPECIFICATIONS:

- 2.1. ALL CONSTRUCTION SHALL BE AS SPECIFIED IN THE ATTACHED PLANS. CONSTRUCTION ACTIVITIES SHALL ALSO BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE FOLLOWING CODES AND POLICIES AS APPLICABLE.
 - 2.1.1. 18 AAC 72
 - 2.1.2. AMC 15.65
 - 2.1.3. MOA STANDARD SPECIFICATION FOR COMPONENTS PARTS AND MATERIALS.
 - 2.1.4. ADEC ON SITE WASTEWATER SYSTEMS INSTALLATION MANUAL (OWSIM).
 - 2.1.5. MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MASS).
- 2.2. **SCOPE OF WORK: INSTALL SYSTEM IN ACCORDANCE WITH THE ATTACHED DESIGN AND SPECIFICATIONS.**
- 2.3. GROUNDWATER WAS NOT ENCOUNTERED TO A DEPTH OF **6.0 FEET** BELOW EXISTING GRADE. IF AN APPARENT WATER TABLE IS OBSERVED IN ANY OF THE EXCAVATIONS LESS THAN **6.0 FEET** BELOW EXISTING GRADE NOTIFY THE ENGINEER IMMEDIATELY.
- 2.4. STRUCTURES DEPICTED ON THE SITE PLAN ARE BASED UPON ONE OF THE FOLLOWING: CONCEPTUAL PLOT PLAN DEVELOPED BY OWNER; A PLOT PLAN DEVELOPED BY RLS; OR A SURVEY AS-BUILT.

3. CONSTRUCTION SPECIFICATIONS:

- 3.1. ALL EXCAVATION DEPTHS ARE ADVISORY. THEY ARE TO BE VERIFIED AND MAY BE MODIFIED BY THE ENGINEER IF ACTUAL FIELD CONDITIONS VARY FROM THOSE USED TO PREPARE THE DESIGN
- 3.2. EXCAVATE THE DRAIN FIELD. BOTTOM OF EXCAVATION SHALL BE LEVEL AND SCARIFIED. RECORD ELEVATIONS AT BEGINNING, MIDDLE AND END OF TRENCH BOTTOM. CONSTRUCTION EQUIPMENT SHALL NOT OPERATE ON THE FLOOR OF THE EXCAVATION. ANY MATERIAL COMPACTED BY THE OPERATION OF THE CONSTRUCTION EQUIPMENT SHALL BE REMOVED AND REPLACED WITH NON-COMPACTED MATERIAL.
- 3.3. PLACE THE SEWER ROCK TO THE SPECIFIED DEPTHS. DO NOT CONTAMINATE SEWER ROCK WITH NATIVE MATERIAL OR SPOILS FROM EXCAVATION. LEVEL ROCK SURFACE TO $\pm 1"$ PRIOR TO INSTALLING THE PERFORATED PIPE.
- 3.4. ALL PIPE SHALL BE SCHEDULE 40 ABS AND OR PVC CONFORMING TO ASTM F628 AND ASTM D3034 AS APPLICABLE OR ENGINEER APPROVED EQUAL.
- 3.4.1. ALL PRESSURIZED SEWER LINES SHALL BE CONSTRUCTED OF SCHEDULE 40 PVC CONFORMING TO ASTM D1785 OR ENGINEER APPROVED EQUAL.
- 3.5. FOR MOA PROJECTS THE MINIMUM SOIL COVER SHALL BE 3 FEET OVER SEWER LINES AND DRAIN FIELDS AND 4 FEET OVER THE SEPTIC TANK. ONE INCH OF INSULATION MAY BE SUBSTITUTED FOR 1 FOOT OF SOIL COVER.
- 3.6. FOR STATE OF ALASKA (ADEC) PROJECTS THE REQUIRED SOIL COVER IF 4 FEET FOR ALL WASTEWATER SYSTEM COMPONENTS.
- 3.7. THE MINIMUM ALLOWABLE SOIL COVER SHALL OVER ANY WASTEWATER SYSTEM COMPONENT SHALL BE 2 FEET WITH 2 INCHES OF APPROVED INSULATION.
- 3.8. ALL INSULATION SHALL BE 2" THICK DOW HI-40 INSULBOARD OR ENGINEER APPROVED EQUAL. CENTER INSULBOARD WIDTH OVER SEPTIC TANK, DRAIN FIELD, OR SEWER LINES.
- 3.9. GEOTECHNICAL FABRIC SHALL BE TYPAR 3401 OR ENGINEER APPROVED EQUAL. LAP ALL JOINTS 2 FEET MINIMUM. GEOTECHNICAL FABRIC SHALL CONFORM TO AASHTO M288 CLASS 3 AND HAVE THE FOLLOWING CHARACTERISTICS:
 - 3.9.1. MINIMUM PERMITTIVITY (ASTM D4491) -0.5/sec
 - 3.9.2. MAXIMUM APPARENT OPENING SIZE (ASTM D4751) - 0.20 TO 0.21mm (US SIEVE #70)
- 3.10. COVER THE DISTRIBUTION PIPE WITH A MINIMUM OF 2" OF SEWER ROCK AND COVER WITH GEOTEXTILE BEFORE PLACING INSULATION AND BACKFILL.
- 3.11. MATERIAL USED AS FILL SHALL BE CLEAN AND FREE OF ORGANICS, TRASH AND CONSTRUCTION DEBRIS.
- 3.12. SLOPE ALL FILL MATERIAL TO DRAIN AT 2% MINIMUM SLOPE AND 3:1 MAXIMUM SLOPE AND IN SUCH A MANNER THAT PONDING AT OR NEAR THE DRAIN FIELD DOES NOT OCCUR. THE FILL SHALL BE LEFT AT 6" HIGHER THAN SHOWN TO ALLOW FOR SETTLEMENT. SEED SURFACE AFTER COMPLETING INSTALLATION AS PER MOA CODE.
- 3.13. RECORD THE FINISH GROUND ELEVATION OVER THE BEGINNING, MIDDLE AND END OF SYSTEM.
- 3.14. MAINTAIN 5' SEPARATION BETWEEN PERCOLATION HOLE AND THE DRAIN FIELD TRENCH.
- 3.15. EXPOSE, PUMP AND FILL LOG DISPOSAL CRIB OR CONCRETE TANK WITH SOIL TO ABANDON LAW WITH MOA CODE IF NEEDED.

Planning Commission Packet
January 19, 2025

513974
PERMIT NO.

84722
P.I.D.

NO SCALE
SCALE

08/13/2025
DATE

4 OF 4
SHEET

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THE STATE
of **ALASKA**
GOVERNOR MIKE DUNLEAVY

Planning Commission Packet

January 19, 2025

52 of 74

Department of Fish and Game

HABITAT SECTION
Matanuska-Susitna Area Office
1801 South Margaret Drive, Suite 6
Palmer, Alaska 99645-6736
Main: 907.861.3200
Fax: 907.861.3232

FISH HABITAT PERMIT FH24-IV-0245 (Amendment #1)

ISSUED: February 24, 2025
EXPIRES: Life of Structure

Dylan Stenger
400 West 76th Avenue, Apt 201
Anchorage, AK 99518

RE: Dock Removal and Replacement

Big Lake (Water Body No. 247-50-10330-0010)
Section 19, T 17 N, R 3 W, SM
Location: 61.5439 N, 149.8873 W

Dear Dylan Stenger:

This amendment is written to correct the location of the project. All previous versions of this permit are hereby null and void.

Pursuant to the Anadromous Fish Act at AS 16.05.871(b), the Alaska Department of Fish and Game (ADF&G) Habitat Section has reviewed your proposal for removal and reconstruction of a dock at your private property.

Project Description

According to your application materials, you propose the removal of a 20-foot long by 15-foot wide floating wooden dock on plastic barrels that is connected to the bank by chains. Once removed you plan to construct a J-shaped stationary wooden dock with a 40-foot long by 7-foot wide walkway, 36 foot long by 9-foot wide arm, and 30-foot long by 7-foot wide platform. The new dock will be secured to the lakebed via 22 helical piles. You plan to construct a 6-foot long by 10-foot wide wooden gangway that can be moved independently to account for land heave. The pile driving will be done between January 1 and February 28, 2025, using a driver mounted on a tracked or wheeled off-road capable machine.

Equipment will be brought on site by a work truck and trailer driven on the ice. The dock will be constructed and affixed to the new piles. This action is authorized by the general permit for vehicle movement on frozen water bodies within the Matanuska-Susitna Borough, FH23-IV-0008-GP (attached). Your permit application and all materials, maps, and drawings are hereby adopted by reference into this permit.

Anadromous Fish Act

Big Lake (Water Body No. 247-50-10330-0010) has been specified as being important for the spawning, rearing, or migration of anadromous fishes pursuant to AS 16.05.871(a). The water body provides habitat for Chinook, chum, coho, pink, and sockeye salmon as well as resident fish species.

In accordance with AS 16.05.871(d), your project is approved subject to the project description and permit terms, and the following stipulations:

1. No wheeled or tracked equipment will be operated below the ordinary high water mark of Big Lake. The placement of support piling and dock sections shall be done by hand or by equipment operating from shore, from a floating barge or boat, or from the frozen water surface during winter months.
2. The wooden portions of the dock and dock components may be constructed of untreated lumber or lumber treated with preservatives free of arsenic and pentachlorophenol (PCP). Pressure treated lumber is preferred, however, after market, tropical wood preservatives may be used provided they adhere to the above guidelines and are applied in an upland location and allowed to fully cure prior to placement in or over a water body. Acceptable common pressure treatments include: ACQ (Ammoniacal Copper Quat), ACZ (Ammoniacal Copper Zinc Arsenate), and MCA (Micronized Copper Azole).
3. Wooden dock components may not be painted or treated with any preservative other than as described above. Corrosion treatments for metal dock components shall be applied in an upland location prior to construction over the water.
4. All construction waste must be properly contained to prevent pollution or contamination of state waters. All waste, including sawdust from treated lumber, must be contained and disposed of in a suitable upland location.
5. No fuel shall be stored, nor vehicles fueled or serviced while located below the ordinary high water mark (vegetation line) of any specified water body.
6. No vehicles leaking fuels, oils, hydraulic or cooling fluids shall be operated below the ordinary high water mark (vegetation line) of any specified water body.

Permit Terms

This letter constitutes a permit issued under the authority of AS 16.05.871 and must be retained on site during project activities. Please be advised that this determination applies only to Habitat Section regulated activities; other agencies also may have jurisdiction under their respective authorities. This determination does not relieve you of your responsibility to secure other permits; state, federal, or local. You are still required to comply with all other applicable laws.

You are responsible for the actions of contractors, agents, or other persons who perform work to accomplish the approved project. For any activity that significantly deviates from the approved plan, you shall notify the Habitat Section and obtain written approval in the form of a permit amendment before beginning the activity. Any action that increases the project's overall scope or that negates, alters, or minimizes the intent or effectiveness of any provision contained in this permit will be deemed a significant deviation from the approved plan. The final determination as to the significance of any deviation and the need for a permit amendment is a Habitat Section

responsibility. Therefore, we recommend you consult the Habitat Section before considering any deviation from the approved plan.

You shall give an authorized representative of the state free and unobstructed access to the permit site, at safe and reasonable times, for the purpose of inspecting or monitoring compliance with any provision of this permit. You shall furnish whatever assistance and information the authorized representative reasonably requires for monitoring and inspection purposes.

In addition to the penalties provided by law, this permit may be terminated or revoked for failure to comply with its provisions or failure to comply with applicable statutes and regulations. You shall mitigate any adverse effect upon fish or wildlife, their habitats, or any restriction or interference with public use that the commissioner determines was a direct result of your failure to comply with this permit or any applicable law.

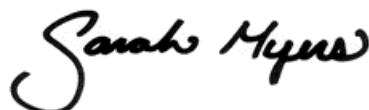
You shall indemnify, save harmless, and defend the department, its agents, and its employees from any and all claims, actions, or liabilities for injuries or damages sustained by any person or property arising directly or indirectly from permitted activities or your performance under this permit. However, this provision has no effect if, and only if, the sole proximate cause of the injury is the department's negligence.

You may appeal this permit decision relating to AS 16.05.871 in accordance with the provisions of AS 44.62.330-630.

Please direct questions about this permit to Habitat Biologist Sarah Myers at (907) 861-3206 or sarah.myers@alaska.gov.

Sincerely,

Doug Vincent-Lang
Commissioner



By: Sarah Myers
Matanuska-Susitna Area Manager
Habitat Section
(907) 861-3200

-seem

Enclosures: FH23-IV-0008-GP – Vehicle Movement on Frozen Water Surfaces within the Matanuska-Susitna Borough

| | | | | |
|-----|-----------------|---------------|-------------------|-------------------|
| cc: | A. Ott, Habitat | S. Oslund, SF | Pagemaster, COE | Permits, SF |
| | D. Ledford, AWT | L. Hegg, AWT | S. Myers, Habitat | Permits, DNR SCRO |



MATANUSKA-SUSITNA BOROUGH

Planning Commission Packet

January 19, 2025

55 of 74

Real Property Detail for Account: 56194000L002-B

Site Information

| | | | |
|---|------------------------------|-------------|-----------------------|
| Account Number | 56194000L002-B | Subdivision | LONG IS RSB L/02 & 03 |
| Parcel ID | 84792 | City | None |
| TRS | S17N03W19 | Map HO13 | |
| Abbreviated Description (Not for Conveyance) | LONG IS RSB L/02 & 3 LOT 2-B | | Tax Map |

Ownership

| | | |
|--------|-----------------------------------|--------|
| Owners | HUNSUCK ALAN S & GLORIA R STENGER | Buyers |
| | DYLAN B & SABRENA P | |

| | | |
|-------------------------|-----------------------------------|-------------------------|
| Primary Owner's Address | 705 S WILLIWAH DR PALMER AK 99645 | Primary Buyer's Address |
|-------------------------|-----------------------------------|-------------------------|

Appraisal Information

| Year | Land Appraised | | | Bldg. Appraised | | | Total Appraised | | | Assessment | | |
|------|----------------|-------------|--|-----------------|--|-------------|-----------------|-------------|--|------------|--|-------------|
| | 2024 | \$67,600.00 | | \$1,000.00 | | \$68,600.00 | 2024 | \$67,600.00 | | \$1,000.00 | | \$68,600.00 |
| 2023 | \$67,600.00 | | | \$1,000.00 | | \$68,600.00 | 2023 | \$67,600.00 | | \$1,000.00 | | \$68,600.00 |
| 2022 | \$67,600.00 | | | \$1,000.00 | | \$68,600.00 | 2022 | \$67,600.00 | | \$1,000.00 | | \$68,600.00 |

Building Information

Building Item Details

| Building Number | Description | Area | Percent Complete |
|-----------------|-------------|------|------------------|
|-----------------|-------------|------|------------------|

Tax/Billing Information

| Year | Certified | Zone | Mill | Tax Billed | Date | Type | Recording Info (offsite link to DNR) |
|----------|-----------|------|--------|------------|-----------|---------------------------|--------------------------------------|
| 2024 Yes | | 0034 | 11.928 | \$818.26 | 8/1/2024 | QUITCLAIM DEED (ALL TYPE) | Palmer 2024-013279-0 |
| 2023 Yes | | 0034 | 11.249 | \$771.69 | 5/22/2019 | QUITCLAIM DEED (ALL TYPE) | Palmer 2019-010186-0 |
| 2022 Yes | | 0034 | 11.784 | \$808.38 | | | |

Tax Account Status ²

| Status | Tax Balance | Farm | Disabled Veteran | Senior | Total ³ | LID Exists |
|---------|-------------|------|------------------|--------|--------------------|------------|
| Current | \$408.26 | | \$0.00 | \$0.00 | \$0.00 | \$0.00 No |

Land and Miscellaneous

| Gross Acreage | Taxable Acreage | Assembly District | Precinct | Fire Service Area | Road Service Area |
|---------------|-----------------|-----------------------|------------------------|---------------------|-------------------|
| 0.28 | 0.28 | Assembly District 005 | 30-555 | 900 No Fire Service | 021 Big Lake RSA |

¹ Total Assessed is net of exemptions and deferments, rest, penalties, and other charges posted after Last Update Date are not reflected in balances.

Last Updated: 10/14/2024 3:00:01 PM

² If account is in foreclosure, payment must be in certified funds.

³ If you reside within the city limits of Palmer or Houston, your exemption amount may be different.

Public Notice



Certificate of Bulk Mailing — Domestic

Fee for Certificate

Up to 1,000 pieces (1 certificate for total number)

For each additional 1,000 pieces, or fraction thereof

Duplicate Copy

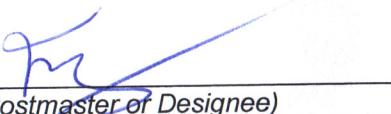
| | | | |
|---|--------------------------|--|---|
| Number of Identical Weight Pieces 11 | Class of Mail 1st | Postage for Each Mailpiece Paid <input type="checkbox"/> Verified | Number of Pieces to the Pound 45 |
|---|--------------------------|--|---|

| | | |
|--|--|-------------------------|
| Total Number of Pounds 3.7oz | Total Postage Paid for Mailpieces \$8.14 | Fee Paid \$13.50 |
|--|--|-------------------------|

| | |
|---------------------------------|----------------------------------|
| Mailed For Permit Center | Mailed By Betty Kam Black |
|---------------------------------|----------------------------------|

Postmaster's Certification

It is hereby certified that the number of mailpieces presented and the associated postage and fee were verified. This certificate does not provide evidence that a piece was mailed to a particular address.


(Postmaster or Designee)

Postage: Mailers must affix meter, PC Pos or (uncanceled) postage stamps here in part of total fee due.



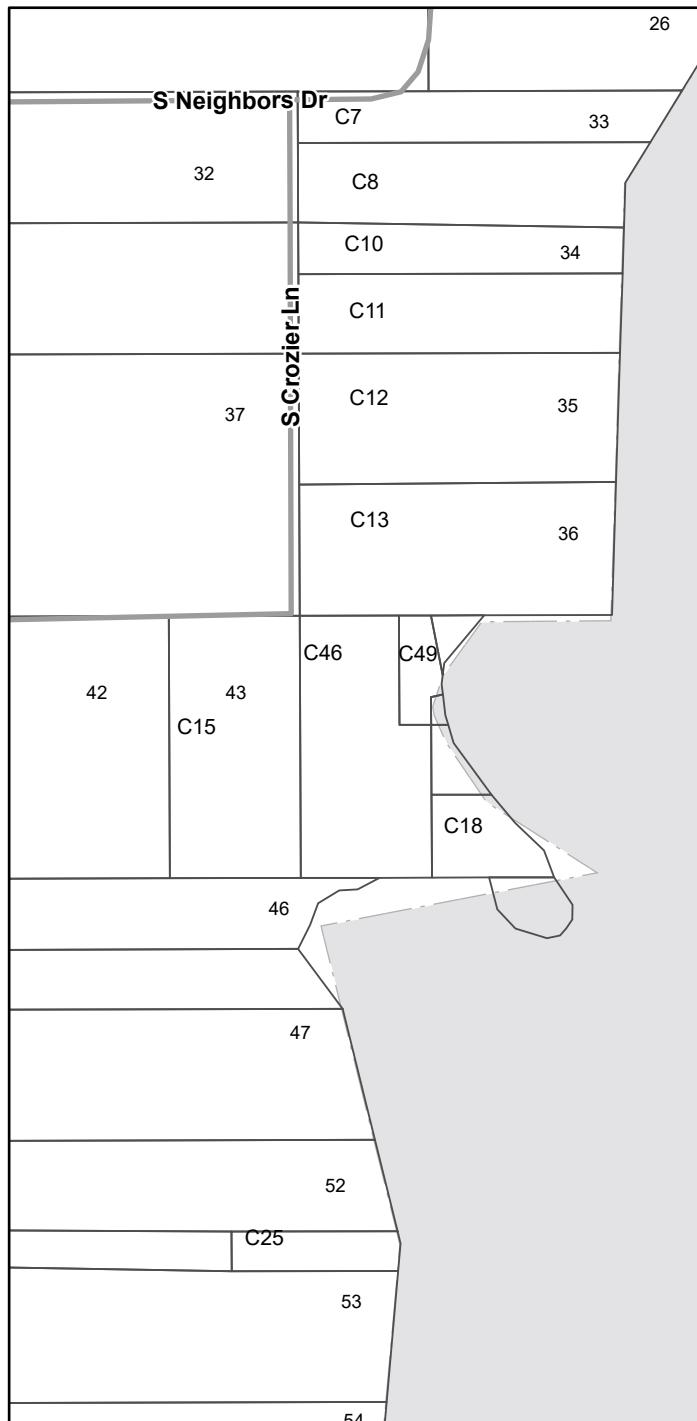
US POSTAGE™ PITNEY BOWES
ZIP 99645 \$ 013.50⁰
02 7W
0008035337 DEC 10 2025

Acceptance employee must cancel postage affixed (by round-date) at the time of mailing.

If payment of total fee due is being paid by Permit Imprint, include the *PostalOne!*® Transaction Number here: _____



| # | Owner 1 | Owner 2 | Mailing Address Line 2 | Mailing Address Line 1 | Mailing Address City | Mailing Address State | Mailing Address Zipcode |
|----|----------------------------------|---|------------------------|-------------------------|----------------------|-----------------------|-------------------------|
| 1 | ASPENGREN FAMILY TR | | | PO BOX 520342 | BIG LAKE | AK | 99652-0342 |
| 2 | BENTZ STEFAN THANE | BENTZ LAUREN AUBREY | | PO BOX 671148 | CHUGIAK | AK | 99567-1148 |
| 3 | CORBIN YVAN & KRISTIN RENE | | | 14108 GOLDENVIEW DR | ANCHORAGE | AK | 99516 |
| 4 | DUCLOS JACK & JENNIFER FAMILY TR | DUCLOS JACK B & JENNIFER F TRES | | 16962 BEDFORD CHASE CIR | ANCHORAGE | AK | 99516 |
| 5 | DUNN CHARLES A III | | PMB 514 | 205 E DIMOND BLVD | ANCHORAGE | AK | 99515 |
| 6 | ENGBRETH ROALD & MARY FAM LLC | | | 920 AMY PL | CAMANO ISLAND | WA | 98282 |
| 7 | HUNSUCK ALAN S & GLORIA R | STENGER DYLAN B & SABRENA P | % SABRENA STENGER | 400 W 76TH AVE # 201 | ANCHORAGE | AK | 99518 |
| 8 | PETERSON L&L JOINT REV TR | PETERSON LELAND C TRE PETERSON LINDA LT | | 850 BREAKWATER | ANCHORAGE | AK | 99515 |
| 9 | RUFF CHRISTOPERA | VAN DYNE PETER H | | 10841 STROGANOFF DR | ANCHORAGE | AK | 99507 |
| 10 | WOOD JEFFREY & LYNNETTE LVG TR | | STE 16 | 4730 BUSINESS PARK BLVD | ANCHORAGE | AK | 99503-7137 |
| 11 | BIG LAKE COMMUNITY COUNCIL | | | PO BOX 520931 | BIG LAKE | AK | 99652 |



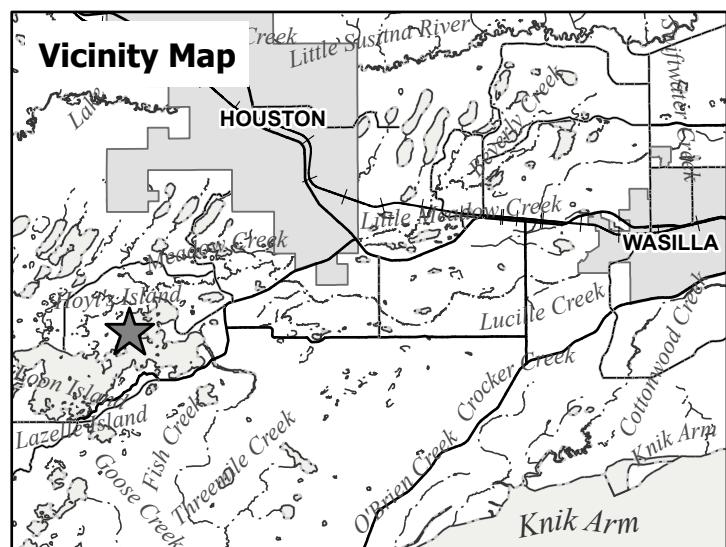
**SUBJECT
PARCEL**

6194000L002-B



0 1.5 3 6 9 12 Miles

This map is solely for informational purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7858.





Matanuska-Susitna Borough

Attachments: RS 25-114
IM 25-250
[12/16/25 - Bowles Possible Amendment](#)

OR 25-103 An Ordinance Repealing MSB 17.02, Mandatory Land Use Permit In Its Entirety; And Adopting MSB 17.07, Land Use Review.

Sponsors: Sumner

Attachments: OR 25-103
IM 25-195

OR 25-102 An Ordinance Amending MSB 43.20, Subdivision Development Standards To Allow Lots To Be Reduced To 30,000 Square Feet Within Single Family Residential Land Use Districts.

Sponsors: Sumner

Attachments: OR 25-102
IM 25-194
[12/16/25 - Sumner Proposed Amendment](#)

OR 25-111 An Ordinance Amending MSB 17.55, Setbacks And Screening Easements, To Reduce The Minimum Building Setback Requirement From Pedestrian Easements.

Sponsors: Nowers

Attachments: OR 25-111
IM 25-210

OR 25-133 An Ordinance Allowing Renters Of The Big Lake Lions Recreation Center To Consume And Serve Alcoholic Beverages Per The Terms Of The Rental Agreement At The Big Lake Lions Recreation Center.

Attachments: OR 25-133
IM 25-254

C. AUDIENCE PARTICIPATION (You can speak under one of the audience participations on the agenda, but not both; Three Minutes Per Person.)

D. CONSENT AGENDA

1. RESOLUTIONS

RS 25-119 A Resolution Amending The Scope Of Work For The Oilwell Road Amber Lake Parking Area Design Project To The Homebuilt Circle Neklason Lake Parking Area.

Attachments: RS 25-119
IM 25-263

RS 25-120 A Resolution To Initiate Discussions And Considerations Regarding The Proposal To Annex The Chugiak-Eagle River Area Into The Matanuska-Susitna Borough.

Attachments: RS 25-120
IM 25-264

2. ACTION MEMORANDUMS

AM 25-144 Authorization For Destruction Of Ballots From The November 4, 2025, Regular Borough Election.

Attachments: AM 25-144

AM 25-145 Award Of Bid No. 26-079B To AK Clearwater Mechanical In The Contract Amount Of \$138,840 For Boiler Replacement At Snowshoe Elementary School.

Attachments: AM 25-145

AM 25-146 Award Of Bid No. 26-073B To Tutka, LLC In The Contract Amount Of \$919,100 To Construct Circle View Dike Repairs.

Attachments: AM 25-146

AM 25-147 Approval Of Change Order No. 6 For Contract No. 23-002P(C) With DOWL, LLC. For The Edgerton Parks Road And Mountain Trails Drive Upgrade And Pathway Project; And To Extend The Completion Date To July 31, 2026.

Attachments: AM 25-147

AM 25-148 Award Of Bid No. 26-086B To Recon, LLC. In The Contract Amount Of \$191,200 To Provide Geotechnical Evaluation Of land identified As Likely Having High Quality Deposits Of Civil Construction Materials.

Attachments: AM 25-148

AM 25-149 Approval Of Amendment No. 6 For HDL Engineering Consultants, LLC. For The Jolly Creek Drainage Improvement Task Order Under Contract 20-117P(A); And Extending The Completion Date To December 31, 2027, To Develop Bid Packages And Provide Support During Construction.

Attachments: AM 25-149

AM 25-150 Award Of Bid No. 26-078B To Mechanical Specialists, Inc. For The Contract Amount Of \$199,863 For The Finger Lake Elementary School Boiler Replacement.

Attachments: AM 25-150

VIII. UNFINISHED BUSINESS

IX. VETO

X. NEW BUSINESS

A. INTRODUCTIONS (No Public Hearings For 01/06/25)

B. MAYORAL NOMINATIONS AND APPOINTMENTS

1. VACANCY REPORT

25-185 Mayoral Requests for Confirmation

Attachments: [12/16/25 - Vacancy Report](#)

C. OTHER NEW BUSINESS

D. REFERRALS (For Referral To The Planning Commission For 90 Days Or Other Date Specified By The Assembly)

XI. RECONSIDERATION

XII. MAYOR, ASSEMBLY, AND STAFF COMMENTS

XIII. EXECUTIVE SESSION (For Matters, Which The Immediate Public Knowledge Of Would Clearly Have An Adverse Effect Upon The Finances Of The Borough; And Matters Which By Law, Municipal Charter, Or Ordinance Are Required To Be Kept Confidential; And To Discuss Matters Involving Consideration Of Borough Records That By Law Are Not Subject To Public Disclosure; And Discussion Of Matters Subject To Attorney/Client Privilege.)

A. Federal Transit Administration Ferry Obligations

B. Other Pending Claims And Potential Liabilities Asserted Against The Borough

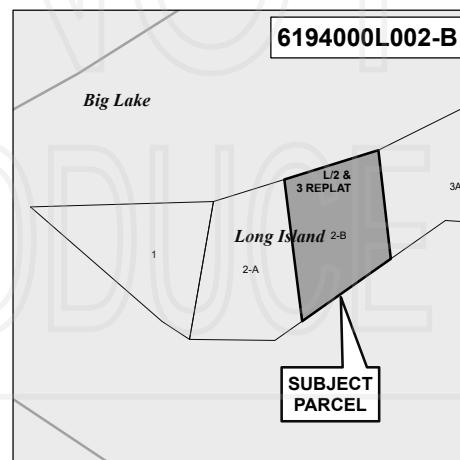
XIV. ADJOURNMENT

Disabled Persons Needing Reasonable Accommodation In Order To Participate At An Assembly Meeting Should Contact The Borough ADA Coordinator At (907) 861 8432 At Least One Week In Advance Of The Meeting.

Publish Date: December 12, 2025

1225-18

PUBLIC NOTICE



Alan & Gloria Hunsuck, and Dylan & Sabrena Stenger, property owners, have applied for a variance under MSB 17.65 for a parcel located on Long Island, Big Lake, Alaska (Tax ID#6194000L002-B). The property is 0.28 (12,400 square feet) taxable acres. The proposed 1,500 square foot structure will be situated as close as 27 feet from Big Lake. Per borough code, structures are required to maintain a minimum setback of 75 feet from a waterbody. Approval of this variance would allow the owners to construct the proposed residence within the required setback distance.

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the application on **Monday, January 20, 2026, at 6:00 p.m.** in the Borough Assembly Chambers located at 350 E. Dahlia Avenue in Palmer. Planning Commission members may not receive or engage in ex parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application materials may be viewed online at www.matsugov.us by clicking on "All Public Notices & Announcements." For additional information, you may contact Rebecca Skjothaug, Current Planner, by phone: 907-861-7862. Provide written comments by e-mail to rebecca.skjothaug@matsugov.us, or by mail to MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645.

The public may provide verbal testimony at the meeting or telephonically by calling 1-855-290-3803. To be eligible to file an appeal from a decision of the Planning Commission, a person must be designated an interested party. See MSB 15.39.010 for the definition of interested party. The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page: www.matsugov.us, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before **December 26, 2025**, and will be included in the Planning Commission packet. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

Publish Date: December 12, 2025

1225-19



Edna DeVries, Mayor
(907) 861-8682 - Work
(907) 795-8133 - Cell
Edna.DeVries@matsugov.us

Michael Bowles, #1
(907) 355-1355
Michael.Bowles@matsugov.us

Stephanie Nowers, #2
(907) 831-6299
StephanieNowersDistrict2@gmail.com

Dee McKee, #3
(907) 315-2802
Dee.McKee@matsugov.us

Maxwell Sumner, #4
(907) 232-6797
Maxwell.Sumner@matsugov.us

Bill Gamble, #5
(907) 232-0103
Bill.Gamble@matsugov.us

Dmitri Fonov, #6
(907) 861-8546
fonov@matsugov.us

Ron Bernier, #7
(907) 354-7877
Ron.Bernier@matsugov.us

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645

8

PETERSON L&L JOINT REV TR
PETERSON LELAND C TRE PETERSON LINDA L T
850 BREAKWATER
ANCHORAGE AK 99515

The Matanuska-Susitna Borough Planning Commission will consider the following:

Alan & Gloria Hunsuck, and Dylan & Sabrena Stenger, property owners, have applied for a variance under MSB 17.65 for a parcel located on Long Island, Big Lake, Alaska (Tax ID#6194000L002-B). The property is 0.28 (12,400 square feet) taxable acres. The proposed 1,500 square foot structure will be situated as close as 27 feet from Big Lake. Per borough code, structures are required to maintain a minimum setback of 75 feet from a waterbody. Approval of this variance would allow the owners to construct the proposed residence within the required setback distance.

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Comments are due on or before December 26, 2025, and will be included in the Planning Commission packet. Please be advised that comments received from the public after that date will not be included in the staff report, but will be provided to the Commission at the meeting.

Name: Pete Peterson Mailing Address: 850 Breakwater Cir Anchorage
Location/Legal Description of your property: Lot 4, Long Island Big Lake 99515
Comments: we have no issue with this request.

Communication and Deficient Application Material

Dylan Stenger Variance Analysis

Long Island Subdivision - Plat recorded July 3, 1971
 Total number of properties on the Island - 49 (including applicant)

| Tax ID | Lot Size | Structure size | Secondary Structure | Distance from waterbody | Legal | Year Built | |
|---------------|----------|------------------------|---------------------|-------------------------|---------|--------------------------|---|
| 6193000L001 | 0.31 | 900 | | | 18 Yes | GFR | 1968 |
| 6194000L002-A | 0.32 | 2406 | | | 51 Yes | SLSE | 1980 |
| 6194000L003A | 0.4 | 1548 | 380 - Boat House | | 29 Yes | GFR | 1970 |
| 6193000L004 | 0.32 | 1056 | | | 18 Yes | GFR | 1965 |
| 6193000L005-2 | 0.35 | 520 | | | 57 Yes | GFR | 1966 |
| 6193000L005-1 | 0.24 | 1080 | | | 44 Yes | GFR | 1965 |
| 6472000L007A | 0.76 | 2483 | | | 100 Yes | WBSB | 1984 |
| 6193000L006 | 0.61 | 1000 | | | 85 Yes | GFR | 1967 |
| 6193000T00A-3 | 0.69 | 192 | | | 49 No | | 2021 |
| 6472000L008B | 0.41 | 1920 | | | 145 Yes | GFR | 1970 |
| 6472000L008A | 0.38 | 1225 | | | 95 Yes | WBSB | 2015 |
| 6440000T00A1 | 0.99 | 1248 | | | 77 Yes | GFR | 1974 |
| 6193000L013 | 0.76 | 480 448 - Boat house | | | 75 Yes | GFR | 1966 |
| 6193000L015 | 0.46 | 624 | | | 40 Yes | Variance | 1997 |
| 6193000L017 | 0.87 | 1586 384 - Guest House | | | 12 Yes | GFR - Rebuilt after fire | 1996 |
| 6440000T00A2 | 2.24 | | | | 15 | COMMERCIAL | 1984 |
| 6440000T00A3 | 0.59 | 1248 | | | 86 Yes | WBSB | 2000 |
| 6193000T00A-2 | 0.52 | 1800 | | | 78 Yes | WBSB | 2008 |
| 6193000L014 | 0.84 | 1144 | 927 | | 43 No | | 1985/1992 |
| 6193000L016 | 0.55 | 1184 | | | 27 Yes | GFR | 1965 |
| 6193000L018 | 0.9 | 1596 | | | 30 Yes | GFR | 1970 |
| 6193000L020 | 1.02 | 1274 | | | 59 Yes | GFR | 1965 |
| 6193000L022 | 1.04 | 1664 | | | 75 YES | WBSB | 2001 |
| 6193000L024 | 1.1 | 1698 | | | 26 Yes | GFR | 1970 |
| 6193000L026 | 1.24 | 1432 | | | 49 Yes | GFR | 1960 |
| 6193000L028 | 1.01 | 448 | | | 76 Yes | WBSB | 2017 |
| 7669000L030A | | | | | | | Need to check assessment records. Property might be owned by the state or feds. |
| 3503000L033A | 0.75 | 2448 | | | 10 Yes | GFR | 1967 |
| 6193000L038 | 0.73 | 0 | | | | | |
| 6193000L040 | 0.56 | 0 | | | | | |
| 6193000L042 | 0.64 | 560 | | | 26 Yes | GFR | 1971 |
| 6193000L044 | 0.51 | 888 | | | 42 Yes | GFR | 1962 |
| 6193000L045 | 0.41 | 762 | | | 25 Yes | GFR | 1959 |
| 6193000L043 | 0.65 | 1088 | | | 44 Yes | GFR | 1967 |
| 6193000L041 | 0.86 | 576 | | | 136 Yes | WBSB | 1984 |
| 6193000L039 | 0.59 | 2500 | | | 48 Yes | GFR | 1970 |
| 6193000L048 | 0.52 | 720 | | | 49 Yes | GFR | 1965 |
| 6193000L019 | 0.35 | 2199 | | | 27 No | | 2012 |
| 6193000L029 | 0.48 | 3424 | | | 48 Yes | SLSB | 1977 |
| 6193000L027 | 0.83 | 1376 | | | 29 Yes | GFR | 1967 |
| 6193000L025 | 0.94 | 1624 | | | 25 Yes | GFR | 1966 |
| 6193000L023 | 0.57 | 2220 | | | 20 Yes | GFR | 1965 |
| 6193000L021 | 0.43 | 744 | | | 38 Yes | GFR | 1962 |
| 6193000L012 | 0.5 | 2624 | | | 75 Yes | WBSB | 1998 |
| 4669000L011A | 0.62 | 620 | | | 80 Yes | WBSB | ? |
| 4669000L010A | 0.59 | 1215 | | | 50 No | | 1974 |
| 6193000L009 | 0.42 | 1180 | | | 83 Yes | WBSB | 1999 |
| 6193000L047 | 0.52 | 1120 | | | 77 Yes | WBSB | 2021 |
| 6193000L046 | 0.47 | 0 | | | | | |

9 - Properties not used for analysis
 1 - Commercial
 3 - No Structures
 1 - No Data
 4 - Illegal / Violation

From: [Dylan Stenger](#)
To: [Becca Skjothaug](#)
Subject: Re: Variance Application 10063
Date: Thursday, December 18, 2025 12:35:41 PM
Attachments: [image001.png](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.] Good I'm not crazy, thanks!

On Dec 18, 2025, at 12:32 PM, Becca Skjothaug <Rebecca.Skjothaug@matsugov.us> wrote:

Oh good catch. You are correct. The date is wrong; it should say the 19th. I will update the packet on our website for corrections. Thank you so much.

Becca Skjothaug
Current Planner
Desk Phone (907) 861-7862
<image001.png>

From: Dylan Stenger <dylanstenger@live.com>
Sent: Thursday, December 18, 2025 12:30 PM
To: Becca Skjothaug <Rebecca.Skjothaug@matsugov.us>
Subject: Re: Variance Application 10063

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

I just noticed the date says Monday, January 20 at 6 PM, but January 20 is a Tuesday. Monday is the 19th. Or am I going crazy?

Dylan Stenger

On Dec 15, 2025, at 8:02 AM, Becca Skjothaug <Rebecca.Skjothaug@matsugov.us> wrote:

Hi Dylan,

All public notice and mailing were sent last week. I will be wrapping up the staff report this week.

Merry Christmas

Becca Skjothaug
Current Planner

Desk Phone (907) 861-7862

<image001.png>

From: Dylan Stenger <dylanstenger@live.com>

Sent: Saturday, December 13, 2025 11:02 AM

To: Becca Skjothaug
<Rebecca.Skjothaug@matsugov.us>

Subject: Re: Variance Application 10063

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.] When is the notice going in on the frontiersman? I keep checking every day

Merry Christmas Dylan

On Dec 4, 2025, at 2:13 PM, Dylan Stenger
<dylanstenger@live.com> wrote: Yeah give me a call when your free

On Dec 4, 2025, at 1:23 PM, Becca Skjothaug
<Rebecca.Skjothaug@matsugov.us> wrote:

Hi Dylan,

I am in a meeting now, or else I would have loved to talk to you. I have not sent out the notice yet because I didn't have an admin here for a couple of weeks. Everything is still set to go as planned we still have plenty of time for adequate public notice. Code only calls for two weeks prior to introduction to the Planning Commission.

We are on track

Happy to call you back once my meeting has concluded.

Becca Skjothaug
Current Planner
Desk Phone (907) 861-7862
<image001.png>

From: Dylan Stenger <dylanstenger@live.com>

Sent: Thursday, December 4, 2025 8:54 AM
To: Becca Skjothaug
<Rebecca.Skjothaug@matsugov.us>
Subject: Re: Variance Application 10063

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello again, Rebecca,

Just checking in again and happy holidays. Hope you're doing well. Was the public notice ever able to get into the frontiersmen? I'm sitting on pins and needles waiting to see this thing through ha ha. Sorry to bother Dylan Stenger

On Nov 20, 2025, at 9:06 AM, Rebecca Skjothaug <Rebecca.Skjothaug@matsugov.us> wrote:

Yes. They are always on a Monday! Thank you for your patience. Variance applications have no deadline, but code has deadlines for other applications which often means the variance application can get bumped to the bottom of the list. Thankfully I am catching up and we can wrap your application up soon

Rebecca Skjothaug
Current Planner
Desk Phone (907) 861-7862
<image001.png>

From: Dylan Stenger <dylanstenger@live.com>
Sent: Thursday, November 20, 2025 9:04 AM
To: Rebecca Skjothaug
<Rebecca.Skjothaug@matsugov.us>
Subject: Re: Variance Application 10063

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

As long as it's on a Monday I'll be there :)

On Nov 20, 2025, at 9:02 AM, Rebecca Skjothaug <Rebecca.Skjothaug@matsugov.us> wrote:

Good morning,

The public notice is scheduled to be administered next Friday. Due to the holiday season, I cannot schedule the Planning Commission meeting until January 2026. The first meeting is an introduction, and the second meeting is the opportunity for the applicant to speak. It is always recommended for the andd applicant to be in person at the 2 Planning Commission meeting, but if you are unable to attend in person, a call in option is available. Does that schedule work for you?

Rebecca Skjothaug
Current Planner
Desk Phone (907) 861-7862
<image001.png>

From: Dylan Stenger <dylanstenger@live.com> Sent: Wednesday, November 19, 2025 9:09 PM To: Rebecca Skjothaug <Rebecca.Skjothaug@matsugov.us> Subject: Re: Variance Application 10063

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.] Any updates? :)
Dylan Stenger

On Oct 7, 2025, at 2:35 PM,
Rebecca Skjothaug
<Rebecca.Skjothaug@matsugov.us> wrote:

Darn I was hoping for some good news. MSB title 8.25.040 does have a setback of 100' from the waterbody for a septic. This is where I have hit a roadblock in processing the application as it stands now. The Planning Commission only has authority to grant a variance for Title 17 which incorporates the structure. However, this does not mean that your application is at a halt. If you have the opportunity to call me directly, I can provide you with a little more information. I will be here until 4 pm today and I get in at 8 am tomorrow.

Rebecca Skjothaug
Current Planner
Desk Phone (907) 861-7862
<image001.png>

From: Dylan Stenger
<dylanstenger@live.com>
Sent: Tuesday, October 7, 2025 12:54 PM
To: Rebecca Skjothaug
<Rebecca.Skjothaug@matsugov.us> Subject: Re:
Variance Application 10063

[EXTERNAL EMAIL -

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links.]

Just reached out to our engineer, here's the
response I got:

" Everything was sent in 09/24/25 and no word yet.
Status as listed in the states electronic database
is "in progress". It hasn't been assigned a
reviewer yet, which usually means someone won't
look at it until it does. Once it has a reviewer
assigned to it, I can forward you their contact
info so that it can help speed the process up.
Usually that is the only way they will get it done
quickly. The rule of thumb lately has been
anywhere from 30-60 days."

So it sounds like we still have a while before we
hear back from the DEC.

From my understanding the septic situation is all
up to the DEC, they are the ones issuing the
variance. So I think we only need the cabin
variance from you guys? Is that correct?

Thanks for keeping in touch! Dylan Stenger
On Oct 7, 2025, at
8:46 AM, Rebecca Skjothaug
<Rebecca.Skjothaug@matsugov.us> wrote:

Good morning,

Just wanted to touch base with you about your application. As of right now I can proceed with processing the application as a dry cabin. What is next for me is a public notice which will include a mailing of the proposed application to the nearby residents and a publication of the proposed plan in the Frontiersman.

Have you heard anything from DEC about the proposed wastewater treatment design?

Let me know how you would like to proceed forward
Have a great day.

Rebecca Skjothaug
Current Planner
Desk Phone (907) 861-7862
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From: Dylan Stenger
<dylanstenger@live.com> Sent: Tuesday, September 2, 2025 10:30 AM
To: Rebecca Skjothaug
<Rebecca.Skjothaug@matsugov.us>
Subject: Re: Variance Application 10063

[EXTERNAL EMAIL -

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As soon as I hear anything I will pass it to you!
Also a couple points, the septic design is based on the cabin plans/rooms. So if this cabin plan isn't approved or has to change, then the septic system will likely need changing. So I don't want to put the cart in front of the horse haha it's all based off the cabin.

Secondly, if it's determined we cannot have a septic we would want to move forward with the same plan but as a "dry cabin".

So I'm not sure if that affects how you handle things. If you can keep the process going as a Cabin that will only have a Septic if approved? I hope that makes sense

-Dyaln

On Sep 2,
2025, at 10:12 AM, Rebecca Skjothaug
<Rebecca.Skjothaug@matsugov.us> wrote:

Oh that is great news. Any updates from ADEC
I will happily take. If they approve the system,
could you forward me that email? Then I can keep
moving forward without waiting on a response from
them.

Rebecca Skjothaug
Current Planner Desk Phone (907) 861-
7862
<image001.png>

From:
Dylan Stenger
<dylanstenger@live.com>
Sent: Tuesday, September 2, 2025 10:11 AM
To: Rebecca Skjothaug
<Rebecca.Skjothaug@matsugov.us>
Subject: Re: Variance Application 10063

[EXTERNAL EMAIL
- CAUTION: Do not open unexpected attachments or
links.] Oh and one lastthing I
reached out to the engineering company just now
and they said they will have my
wastewater system "packet" sent to the ADEC in the
next couple days for their approval. They will
make any adjustments as needed per the ADEC's
request. I hope that helps, this is my first time
going through
this process haha

Thanks a million Dylan Stenger

On Sep 2, 2025, at 9:46 AM,
Dylan Stenger <dylanstenger@live.com> wrote:

Thanks for the quick reply Rebecca!
As far as the septic I am certainly no expert, but
we did

hire an engineering company for the plans. They told me they have done many others out there on the lake for people in my situation. It's an "advanced treatment" system and apparently you can drink the water that comes out of it

(though I wouldn't haha) Their info: Logan J. Curtiss, EIT Pannone Engineering Services, LLC
Office: (907) 745 8200
Mobile: (907) 371 6001 Fax: (907) 745 8201

Please let me know if I can help

-

Dylan Stenger

On Sep 2, 2025, at 9:04 AM,
Rebecca Skjothaug
<Rebecca.Skjothaug@matsugov.us> wrote:
Hi Dylan,

Thank you for your patience I was out of the office last week. I spoke with my Director about the plans for the septic and well, because the septic does not meet MSB requirements of 100' setback from the water we are negotiating if this proper would require two variances. That would be one for the house and one for the waste treatment. This would not be an additional fee for you, but something I would have to process on the back end a little differently. With that, I also am reaching out to ADEC to ensure that this wastewater treatment plan is allowable.

I will be in touch with you when I receive any new information. Have a great week.

Rebecca Skjothaug
Current Planner Desk Phone (907) 861-7862
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From: Dylan Stenger
<dylanstenger@live.com>
Sent: Monday, September 1, 2025 3:48 PM

To: Rebecca Skjothaug
<Rebecca.Skjothaug@matsugov.us>
Subject: Re: Variance Application 10063

[EXTERNAL EMAIL

- CAUTION:

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links.]

Hello Rebecca, Justin checking in to see what the
next steps are? Thank you very much!! Appreciate
your help

Dylan Stenger

On Aug 21, 2025, at 2:22 PM,

Dylan Stenger

<dylanstenger@live.com> wrote:

Here is the dock application, it has already been
built. Also I've attached the engineered design
for the waste water system from Pannone
Engineering Services LLC.

Thanks Dylan Stenger

On Aug 21, 2025, at 12:43 PM,

Rebecca Skjothaug

<Rebecca.Skjothaug@matsugov.us> wrote:

Good afternoon, Dylan,

My name is Becca, and I, am a Current Planner with
the Mat-Su Borough who is processing your
variance application. A couple pieces of
information that would be helpful is the
wastewater plan, and certification from
ADEC.

The second piece of information would be the ADF&G
permit allowing the new dock to be built.

These last few pieces of information will be
helpful in creating a report. The next steps would
be a public notice through a mailing of
surrounding property owners,
as well as an advertisement in the Frontiersman.

These will indicate when the date the Planning Commission hearings will be held. I will be reaching out to you soon to confirm that the Planning Commission dates work for your schedule, as I know it

is moose hunting season and many people will be unreachable.

Please let me know if you have any questions.

Rebecca Skjothaug
Current Planner Desk Phone (907) 861-
7862
<image001.png>

.pdf> <Dock_Big_Lake.pdf>
<Long
Island
waste
water.p
df>
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COMMISSION BUSINESS

(Page 74)



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

Matsu.gov

MEMORANDUM

DATE: January 19, 2025

TO: Planning Commission

FROM: Alex Strawn, Planning and Land Use Director

SUBJECT: Tentative Future PC Items

Upcoming PC Actions

Quasi-Judicial

- Houdini's Herbs – Marijuana Retail Facility; 8164B01L001A (Staff: Rick Benedict)
- Ficklin Gravel Products LLC – Earth Materials Extraction; 16N04W03A009 (Staff: Rick Benedict)
- Butte Land Co. – Earth Materials Extraction; 17N02E35A024 (Staff: Natasha Heindel)
- Harman Northeast – Earth Materials Extraction; 18N01W15B015 (Staff: Rick Benedict)
- Stenger – Variance; 6194000L002-B (Staff: Rebecca Skjothaug)
- Three Bears Alaska Inc. – Core Area Conditional Use Permit; 8211000L001 (Staff: Rick Benedict)
- Alaska Gravel Company – Earth Materials Extraction; 21N04W18C004 (Staff: Rebecca Skjothaug)
- Paul and Elizabeth Knetch – Variance; 6070000L1051 (Staff: Rebecca Skjothaug)
- Hart Variance - Tax ID# 8578B05L015A (Staff: Rebecca Skjothaug)
- Kouadia Variance - Tax ID# 1598000L002 (Staff: Rebecca Skjothaug)
- Bad Gramm3r LLC – Marijuana Retail Facility; 1068000L020 (Staff: Rick Benedict)
- McIntyre Farms LLC – Marijuana Cultivation Facility; 6025B02L007 (Staff: Rick Benedict)

Legislative

- Historic Preservation Plan (HPP) (Staff: Paul Clark)
- MSB Borough-Wide Comprehensive Plan (Staff: Jason Ortiz/Alex Strawn)
- Transit Development Plan (Staff: Jason Ortiz)