

Matanuska-Susitna Borough Planning Commission Meeting Agenda



Meeting Date: May 18, 2026

Meeting Time: 6:00 PM

Meeting Location

Assembly Chambers – Dorothy Swanda Jones Building

350 E. Dahlia Avenue

Palmer, Alaska 99645

Planning Commission Members

Chairperson: Richard Allen

Vice-Chair: Doug Glenn

Commissioners:

- Brendan Carpenter
 - Michael Collins
 - Linn McCabe
 - Ivan Fonov
 - Curt Scoggin
-

Ways to Participate in the Meeting

1. Participate In Person

Members of the public may attend the meeting in person. You will have **three (3) minutes** to provide oral comments unless otherwise directed by the Chair.

2. Submit Written Comments

Send written comments to the Planning Commission Clerk:

Email: msb.planning.commission@matsugov.us

Deadline: Written comments must be received **by 12:00 PM (noon) on the Friday before the meeting.**

3. Provide Testimony by Telephone

1. Dial **1-855-290-3803**.
2. You will hear “joining conference” when connected.

3. You will be automatically muted and able to listen to the meeting.
4. When the Chair opens public testimony, press *3 to raise your hand.
5. You will hear “Your hand has been raised.”
6. When it is your turn to speak, you will hear “Your line has been unmuted.”
7. State your name for the record, spell your last name, and provide your testimony.

4. Observe the Meeting Online

You may watch the meeting live using one of the following platforms:

- [Matanuska-Susitna Borough Facebook page](#)
- [Matanuska-Susitna Borough YouTube channel](#)

Meeting Agenda

1. Call to Order, Roll Call, and Determination of Quorum
2. Approval of Agenda
3. Pledge of Allegiance
4. Consent Agenda
 - A. Meeting Minutes – May 4, 2026
 - B. Introduction for Public Hearing: Quasi-Judicial Matters
 - C. Introduction for Public Hearing: Legislative Matters
5. Committee Reports
6. Agency/Staff Reports
7. Land Use Classifications
 - A. Resolution 26-08 A Resolution Of The Matanuska-Susitna Borough Planning Commission Recommending Approval Of An Ordinance Classifying Key Borough-Owned Parcels On The Shore Of The Deshka River As Watershed Lands To Protect Salmon Populations. (MSB008272)
Staff: Emerson Krueger, Resource Manager
8. Audience Participation
9. Public Hearing: Quasi-Judicial Matters

- A. Resolution 26-05 A Conditional Use Permit In Accordance With MSB 17.30
– Conditional Use Permit For Earth Materials Extraction
Activities To Extract Approximately 360,000 Cubic Yards
Of Gravel Over 10 Years Located at 20254 West Susitna
Parkway (Tax ID# 16N04W03A009), Within Township 16
North, Range 4 West, Section 3, Seward Meridian.
Staff: Wade Long, Development Services Manager
- B. Resolution 26-07 A Variance in Accordance With MSB 17.65 – Variances To
Construct A Residential Structure Approximately 32 Feet
From Middle Caswell Lake Located At 49562 South Lure
Circle (Tax ID# 6070000L1051), Within Township 22
North, Range 4 West, Section 14, Seward Meridian.
Staff: Natasha Grover, Current Planner

10. Public Hearing: Legislative Matters

11. Correspondence and Information

12. Unfinished Business

13. New Business

14. Commission Business

A. Upcoming Planning Commission Agenda Items

15. Director and Commissioner Comments

16. Adjournment

Accessibility and Accommodation Information

Individuals with disabilities who need reasonable accommodation to participate in this meeting should contact the Borough ADA Coordinator:

Phone: 907-861-8432

Request Deadline: At least **one week before the meeting.**

MINUTES

Edna DeVries, Mayor

PLANNING COMMISSION
Doug Glenn, District 1 – Vice Chair
Richard Allen, District 2 - Chair
Brendan Carpenter, District 3
Michael Collins, District 4
Linn McCabe, District 5
Ivan Fonov, District 6
Curt Scoggin, District 7



Michael Brown, Borough Manager

PLANNING & LAND USE DEPARTMENT
Alex Strawn, Planning & Land Use Director
Jason Ortiz, Planning & Land Use Deputy Director
Wade Long, Development Services Manager
Tyler Young, Platting Officer
Lacie Olivieri, Planning Clerk

*Assembly Chambers of the
Dorothy Swanda Jones Building
350 E. Dahlia Avenue, Palmer*

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION
MEETING MINUTES
May 4, 2026**

I. CALL TO ORDER, ROLL CALL, AND DETERMINATION OF QUORUM

The Matanuska-Susitna Borough Planning Commission's regular meeting was held on May 4, 2026, at the Matanuska-Susitna Borough Assembly Chambers, 350 E. Dahlia Avenue, Palmer, Alaska. Chair Allen called the meeting to order at 6:00 p.m.

Present: – Commissioner Collins
Commissioner McCabe*
Commissioner Allen
Commissioner Fonov
Commissioner Carpenter
Commissioner Glenn

Absent/Excused: Commissioner Scoggin

Staff Present: – Mr. Wade Long, Development Services Manager
Ms. Lacie Olivieri, Planning Department Admin
Mr. Alexander Lowe, Assistant Borough Attorney

* Indicates telephonic participation

II. APPROVAL OF AGENDA

Chair Allen inquired if there were any changes to the agenda.

GENERAL CONSENT: The agenda was approved without objection.

III. PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Commissioner Glenn.

IV. CONSENT AGENDA

A. MINUTES: Regular Meeting Minutes – April 20, 2026

B. INTRODUCTION FOR PUBLIC HEARING QUASI-JUDICIAL MATTERS

Resolution 26-05

A Conditional Use Permit In Accordance With MSB 17.30 – Conditional Use Permit For Earth Materials Extraction Activities To Extract Approximately 360,000 Cubic Yards of Gravel Over 10 Years Located at 20254 West Susitna Parkway (Tax ID# 16N04W03A009), Within Township 16 North, Range 4 West, Section 3, Seward Meridian.

Public Hearing Date: May 18, 2026

Staff: Rick Benedict

Resolution 26-07

A Variance in Accordance With MSB 17.65 – Variances To Construct A Residential Structure Approximately 32 Feet From Middle Caswell Lake Located At 49562 South Lure Circle (Tax ID# 6070000L1051), Within Township 22 North, Range 4 West, Section 14, Seward Meridian.

Public Hearing Date: May 18, 2026

Staff: Rebecca Skjothaug

C. INTRODUCTION FOR PUBLIC HEARING LEGISLATIVE MATTERS

(There were no Quasi-Judicial Introductions)

Chair Allen read the Consent Agenda into the record.

GENERAL CONSENT: The Consent Agenda was approved without objection.

V. COMMITTEE REPORTS

(There were no committee reports.)

VI. AGENCY/STAFF REPORTS

(There were no Agency/Staff Reports)

VII. LAND USE CLASSIFICATIONS

(There were no Land Use Classifications)

VIII. AUDIENCE PARTICIPATION (Three minutes per person.)

There being no persons to be heard, audience participation was closed without objection.

IX. PUBLIC HEARING QUASI-JUDICIAL MATTERS

(There were no Quasi-Judicial Public Hearings.)

X. PUBLIC HEARING LEGISLATIVE MATTERS

(There were no Legislative Public Hearings.)

XI. CORRESPONDENCE AND INFORMATION

(There was no Correspondence and Information.)

XII. UNFINISHED BUSINESS
(There was no unfinished business.)

XIII. NEW BUSINESS

XIV. COMMISSION BUSINESS

A. Upcoming Planning Commission Agenda Items

Chair Allen asked whether Commissioners had any questions about the list of upcoming agenda items in their folders.

XV. DIRECTOR AND COMMISSIONER COMMENTS

Commissioner Collins: No comment

Commissioner Fonov: No comment

Commissioner Carpenter: No Comment

Commissioner McCabe: No comment

Commissioner Glenn: No Comment

Commissioner Allen: Wish you all a great evening.

Wade Long: Rebecca Skjothaug is listed in your agenda for a quasi-judicial matter in a couple weeks, but she has since resigned. So we will have another staff member, Natasha Heindel, who will be providing that staff report. But I did want to go ahead and take a moment just to thank Becca for her service to this borough to this commission. She's presented many quasi-judicial matters, and they've been professional. She's very intelligent, and we absolutely wish her all the success in her future. Thank you very much.

XVI. ADJOURNMENT

The regular meeting adjourned at 6:05 p.m.

RICHARD ALLEN
Planning Commission Chair

ATTEST:

LACIE OLIVIERI
Planning Commission Clerk

Minutes approved: _____

LAND USE CLASSIFICATION

Resolution 26-08

A Resolution Of The Matanuska-Susitna Borough Planning Commission Recommending Approval Of An Ordinance Classifying Key Borough-Owned Parcels On The Shore Of The Deshka River As Watershed Lands To Protect Salmon Populations. (MSB008272)

Staff: Emerson Krueger, Resource Manager



MATANUSKA-SUSITNA BOROUGH

Community Development Department

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7869 • Fax (907) 861-8635

E-mail: lmb@matsugov.us

MEMORANDUM

DATE: May 5, 2026

TO: Matanuska-Susitna Borough Planning Commission

FROM: Emerson Krueger, Resource Manager *EK*

FOR: Planning Commission Agenda of May 18, 2026 / Resolution 26-MSB008272

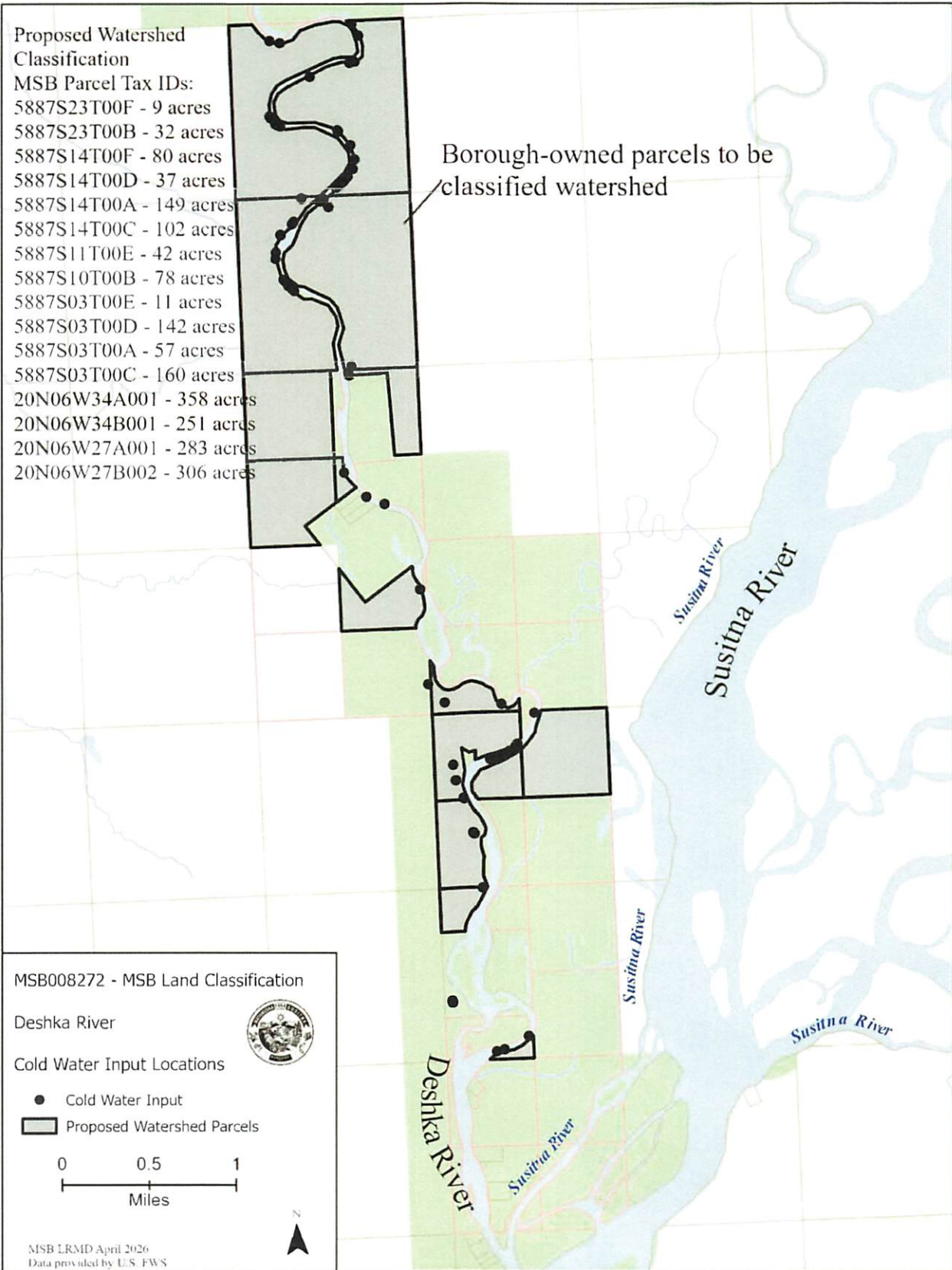
SUBJECT:

Classification of Watershed Land – Deshka River Salmon Habitat.

SUMMARY:

The Community Development Department respectfully request review and recommendations by the Planning Commission of the classification of land identified as essential Fish Habitat.

The attached Best Interest Finding provides supporting analysis and findings to assist the Planning Commissioners in their review of the proposed classification action. In addition, the fish habitat study report, an adopted MSB Fish and Wildlife Commission Resolution, a draft Planning Commission Resolution, map and the public comments that were submitted are attached.



BEST INTEREST FINDING
For the classification of borough-owned land

I. Summary of Proposed Action

The Matanuska-Susitna Borough Land and Resources Management Division is proposing to classify approximately 2,124 acres of borough-owned land along the Deshka River, between river mile one and nine as “Watershed Land”. The subject parcels have been classified as either public recreation or land bank in accordance with Assembly Resolution 1990-134. The proposed action is to add another classification on top of the existing classification to highlight the importance of the parcels for fish habitat. The management guidelines for public recreation on the subject parcels are not expected to change.

The land was acquired by the Borough through the municipal entitlement program and is currently classified as either public recreation or land bank land. No conflicts were identified with the existing classifications and the proposed additional classification. No conflicts are anticipated with adjacent private landowners. The proposed action is to add a second land classification of Watershed Land to the existing classifications to recognize recently identified cold-water habitats, which are critical to support healthy salmon fisheries.

II. Property Site Factors

- A. Location: The subject parcels are located west of Willow, along the Deshka River, from river mile one (1) through river mile nine (9), starting from the mouth or confluence with the Susitna River. The parcels are not within an established Community Council.
- B. Legal Descriptions:
1. Tax parcel 5887S23T00F: Tract F, Section 23, T19N R06W, according to Plat No. 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 12.4 acres more or less.
 2. Tax parcel 5887S23T00B: Tract B of Section 23, in T19N R06W, according to Plat 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 37.12 acres more or less.
 3. Tax parcel 5887S14T00F: Tract F of Section 14, in T19N, R06W, according to Plat 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 81.17 acres more or less.
 4. Tax parcel 5887S14T00D: Tract D of Section 14, in T19N, R06W, according to Plat 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 46.2 acres more or less.
 5. Tax parcel 5887S14T00A: Tract A of Section 14, in T19N, R06W, according to Plat 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 148.65 acres more or less.
 6. Tax parcel 5887S14T00C: Tract C of Section 14, in T19N, R06W, according to Plat 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 90.35 acres more or less.

7. Tax parcel 5887S11T00E: Tract E of Section 11, in T19N, R06W according to Plat 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 55.18 acres more or less.
 8. Tax parcel 5887S10T00B: Tract B of Section 10, in T19N, R06W, according to Plat 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 87.88 acres more or less.
 9. Tax parcel 5887S03T00E: Tract E of Section 03, in T19N, R06W, according to Plat 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 12.66 acres more or less.
 10. Tax parcel 5887S03T00D: Tract D of Section 03, in T19N, R06W, according to Plat 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 135.7 acres more or less.
 11. Tax parcel 5887S03T00A: Tract A of Section 03, in T19N, R06W, according to Plat 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 57.8 acres more or less.
 12. Tax parcel 5887S03T00C: Tract C of Section 03, in T19N, R06W, according to Plat 81-126, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 158.62 acres more or less.
 13. Tax parcel 20N06W34A001: Tract B of Section 34, in T20N, R06W, according to Plat 95-40, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 356.53 acres more or less.
 14. Tax parcel 20N06W34B001: Tract A of Section 34, in T20N, R06W, according to Plat 95-40, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 253.18 acres more or less.
 15. Tax parcel 20N06W27A001: Tract C of Section 27, in T20N, R06W, according to Plat 95-40, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 284.4 acres more or less.
 16. Tax parcel 20N06W27B002: Tract B of Section 27, in T20N, R06W, according to Plat 95-40, Talkeetna Recording District, Third Judicial District, State of Alaska, containing 306.1 acres more or less.
- C. Land Status: The subject parcels were acquired from the State of Alaska through the municipal entitlement program and are patented to the Borough via patents 6393 & 14974 (attached).
- D. Restrictions:
1. Current Land Classification – The subject parcels are classified as a mixture of public recreation and land bank (Assembly Resolution 90-138).
 2. Land Use Plans – The State’s Susitna Basin Recreation Rivers Management Plan (1991), while not adopted by the Borough Assembly, is the basis for the existing land classification. This plan is referenced in the adopted Assembly legislation that classified the property. Both the 1991 plan as well as the 2024 draft update were reviewed for this Best Interest Finding. The Borough Assembly adopted the Deshka River Recreation Management Plan by Ordinance Serial No. 2004-044. The Deshka River Recreation Management Plan does not contain specific guidance on management of the subject parcels; however, it does highlight the public’s desire

to keep the shoreline in a natural state outside of the existing developed access points. The proposed classification of watershed is supported by both the State's Recreation Rivers Plan and the Borough's Recreation Management Plan.

3. Deed Restrictions: These parcels are subject to:
 - a. Valid existing easements.
 - b. A 50-foot-wide lineal perpetual public easement along the line of ordinary high-water mark of Deshka River (aka Kroto Slough), unnamed creeks and sloughs as portrayed on the Supplemental Cadastral Survey, filed in the Talkeetna Recording District on December 18, 1981, as Plat No. 81-126 and further subject to the reservation of a 50-foot wide perpetual public access easement to the aforementioned lineal public easement along the Deshka River, unnamed creeks and sloughs.
 - c. A 50-foot-wide lineal perpetual public easement along the line of ordinary high-water mark of Deshka River (aka Kroto Slough) as portrayed on the Supplemental Cadastral Survey, filed in the Talkeetna Recording District on August 29, 1995, as Plat No. 95-40.
 - d. Restrictions in the Federal Patent by which the Grantor acquired title.
 - e. Reservations in the State Patents (see attached).
4. Covenants: None
5. Zoning: None
6. Easements & Other Reservations: None.

E. Current Land Use:

1. Parcel tax ID 5887S23T00F: There are five primitive seasonal campsites available on this parcel. Two of the campsites have been developed with moderate clearing and dock sites on the bank of the river. The campsites have been vacant for the last few years and all improvements have been removed.
2. Parcel tax ID 5887S23T00B: Wildlife habitat, undeveloped.
3. Parcel tax ID 5887S14T00F: Wildlife habitat, undeveloped.
4. Parcel tax ID 5887S14T00D: Wildlife habitat, undeveloped.
5. Parcel tax ID 5887S14T00A: Wildlife habitat, undeveloped.
6. Parcel tax ID 5887S14T00C: Wildlife habitat, undeveloped.
7. Parcel tax ID 5887S11T00E: Wildlife habitat, undeveloped.
8. Parcel tax ID 5887S10T00B: Wildlife habitat, undeveloped.
9. Parcel tax ID 5887S03T00E: Wildlife habitat, undeveloped.
10. Parcel tax ID 5887S03T00D: Wildlife habitat, undeveloped.
11. Parcel tax ID 5887S03T00A: Mona Lakes winter trail, wildlife habitat, undeveloped.
12. Parcel tax ID 5887S03T00C: Wildlife habitat, undeveloped.
13. Parcel tax ID 20N06W34A001: ADF&G fish weir and camp. There are also four seasonal campsites that were last permitted for use in 2005. There are no improvements at the seasonal campsites. Mona Lakes winter trail, wildlife habitat, undeveloped.
14. Parcel tax ID 20N06W34B001: ADF&G fish weir and camp, Mona Lakes winter trail, habitat, and otherwise undeveloped.

15. Parcel tax ID 20N06W27A001: Wildlife habitat, undeveloped.
16. Parcel tax ID 20N06W27B002: Mona Lakes winter trail, wildlife habitat, undeveloped.

- F. Existing Infrastructure: There is very little infrastructure on the subject parcels. The old seismic lines are used now for the winter trails noted above. The seasonal campsites consist of small clearings as all personal property, including the steps from the river have been removed. The clearings are overgrown and are returning to a natural condition. The State's campsite and weir operated by the Department of Fish and Game are boxed up and stored on-site in accordance with their Borough Land Use Permit.
- G. Soils: Soil descriptions below are derived from data from the United States Department of Agriculture Natural Resources Conservation Service Soil Survey of the Matanuska-Susitna Valley.

Uplands on the subject parcels consist largely of the Benka-Liten complex, the Susivar-Moose River complex, Lucille silt loam, and the Nancy-Kashwitna complex. Lower elevations on the subject parcels that are not wetlands are comprised of Killey and Hiline silt loams.

The Benka-Liten complex parent materials consist of silty volcanic ash and/or silty loess over sandy outwash and silty loess over sandy eolian deposits. This soil complex is given a land capability classification of 3, meaning the soils have severe limitations that restrict the plants capable of growing well or that require special conservation practices to maintain soil health if developed for use. A primary limitation of the soil is the high amount of silt.

The Susivar-Moose River complex parent materials consist of loamy alluvium over sandy and gravelly alluvium. This soil group is associated with floodplain deposits. This soil group has fewer limiting development factors than the other major soil group on the subject parcels, but is generally susceptible to periodic flooding given its location.

Both the Nancy-Kashwitna complex and the Lucille silt loam parent material is volcanic ash influenced wind blown soil deposits over sandy and gravelly river deposits. Both soils are associated with stream terraces and represent the most developable soils on the subject parcels.

The Killey and Hiline silt loams are formed of stratified loamy alluvium lying over sandy and gravelly river deposits. While these soils do not present a challenge to development, their location is generally close to the ordinary high-water mark of the river and are prone to seasonal flooding in the spring and fall.

Lowlands on the subject parcels include Salamatof peat, Slikok muck, and typic cryaquents. These soils are found in muskegs (wetland) or abandoned and grown

over river channels. These soils represent the least developable areas on the subject parcels.

- H. Resources: The subject parcels have high recreational value due to the proximity to Willow and the Deshka and Susitna Rivers, the topography and existing trails. Many of the ridges on the parcels likely contain sand and gravel. In addition, the property is mostly wooded and could be a source of paper birch, white spruce, black spruce, cottonwood, and aspen.
- I. Assessments: MSB Assessment information is not available because these parcels are tax exempt. The following are the values listed in the 2026 certified tax roll:
 - 1. Parcel tax ID 5887S23T00F: \$16,400.00.
 - 2. Parcel tax ID 5887S23T00B: \$27,700.00.
 - 3. Parcel tax ID 5887S14T00F: \$42,000.00.
 - 4. Parcel tax ID 5887S14T00D: \$26,600.00.
 - 5. Parcel tax ID 5887S14T00A: \$59,800.00.
 - 6. Parcel tax ID 5887S14T00C: \$36,400.00.
 - 7. Parcel tax ID 5887S11T00E: \$28,600.00.
 - 8. Parcel tax ID 5887S10T00B: \$35,400.00.
 - 9. Parcel tax ID 5887S03T00E: \$15,300.00.
 - 10. Parcel tax ID 5887S03T00D: \$54,600.00.
 - 11. Parcel tax ID 5887S03T00A: \$29,900.00.
 - 12. Parcel tax ID 5887S03T00C: \$63,800.00.
 - 13. Parcel tax ID 20N06W34A001: \$112,800.00.
 - 14. Parcel tax ID 20N06W34B001: \$87,300.00.
 - 15. Parcel tax ID 20N06W27A001: \$98,100.00.
 - 16. Parcel tax ID 20N06W27B002: \$96,800.00.

III. Public, Board and Commission Comments & Recommendations

Pursuant to Title 23, land owners in the proximity of the land proposed for classification were notified by mail. Notices were also published in the Frontiersman newspaper. Four written comments were received during the public notice period. Three of the comments were in support and one included several questions regarding the land classification effects on the existing trails and river traffic. The proposed land classification will not have any effect on the river traffic or existing trails.

The MSB Fish and Wildlife Commission adopted Resolution 25-02 in support of the land classification at their regularly scheduled public meeting on 3/13/25, "...in recognition of the water quality function they [these parcels] provide that protects salmon habitat."

IV. Analysis & Discussion

The Deshka River Recreation Management Plan (2004) supports the classification evaluated in this Best Interest Finding. Extensive public outreach during the drafting of the plan highlighted

the public's desire for the Borough to keep things the way they are along the river. A watershed classification would fit within the existing management guidelines for the subject parcels.

The State Susitna Basin Recreation Rivers Management Plan, while a state plan, was used by the Borough Assembly in 1990 to classify the borough-owned land. The 2024 update to this plan was reviewed for consistency with the proposed dual classification of public recreation \ watershed and land bank / watershed considered by this Best Interest Finding. The plan recommends cooperative management of the state and borough-owned lands. To the extent that the plan addresses borough-owned land use adjacent to the river, the proposed classification action is supported by the plan. The subject parcels are used primarily for public recreation and wildlife habitat. The subject parcels have been documented to have a critical role in supporting fish habitat through the natural discharge of cooler groundwater into the Deshka River. To that end, adding a dual classification of watershed lands to the existing land classification highlights this aspect of the subject parcels and will make it a factor in considering future land uses and development.

Interest in using the borough-owned land along the Deshka River has decreased significantly since the late 1990's. The State's limits and repeated closures of salmon fishing and the overall decreases in the salmon run numbers are assumed to be the primary reason for the decrease in interest. Adding a watershed land classification to the existing land classifications is not anticipated to have any effect on the recreational use of the borough-owned land along the Deshka River.

The proposed classification of the subject parcels is consistent with borough code and applicable plans. There are no objections to the proposed classification.

Authority and Intent

The Land & Resource Management Division finds the proposed classification of the subject parcels of Public Recreation and Watershed or Land Bank and Watershed would meet the requirements of MSB 23.05.010(4) Policy and MSB 23.05.100 Land Classifications. MSB 23.05.010(4) requires that real property in which the Borough has an interest shall be managed to develop and implement the borough-owned land and resource management plans.

MSB 23.05.100 Land Classifications include the following relevant definitions:

- "Public recreation lands" are those lands which, because of location, physical features, or adjacent development, are presently or potentially valuable to the public as natural or developed recreational or historic areas.
- "Land bank lands" are those lands for which specific long-term uses have not yet been determined but, due to the land's surface and sub-surface resources, are suitable for management utilizing the multiple use concept during the near term.
- "Watershed lands" are lands that may be forested at a high or moderate relief which will direct water to low lying areas covered or saturated by surface or groundwater sufficient to normally support vegetation found in areas such as riparian, swamps, marshes, bogs, estuaries, and similar areas.

V. Preliminary Administrative Decision

Recommended action – Add Watershed Lands classification to the existing classification:

1. Parcel tax ID 5887S23T00F: Public Recreation and Watershed.
2. Parcel tax ID 5887S23T00B: Public Recreation and Watershed.
3. Parcel tax ID 5887S14T00F: Public Recreation and Watershed.
4. Parcel tax ID 5887S14T00D: Public Recreation and Watershed.
5. Parcel tax ID 5887S14T00A: Public Recreation and Watershed.
6. Parcel tax ID 5887S14T00C: Public Recreation and Watershed.
7. Parcel tax ID 5887S11T00E: Public Recreation and Watershed.
8. Parcel tax ID 5887S10T00B: Public Recreation and Watershed.
9. Parcel tax ID 5887S03T00E: Public Recreation and Watershed.
10. Parcel tax ID 5887S03T00D: Public Recreation and Watershed.
11. Parcel tax ID 5887S03T00A: Public Recreation and Watershed.
12. Parcel tax ID 5887S03T00C: Public Recreation and Watershed.
13. Parcel tax ID 20N06W34A001: Land Bank and Watershed.
14. Parcel tax ID 20N06W34B001: Land Bank and Watershed.
15. Parcel tax ID 20N06W27A001: Land Bank and Watershed.
16. Parcel tax ID 20N06W27B002: Land Bank and Watershed.

VI. Final Decision

The Community Development Department recommends adding a watershed lands classification to the subject parcels.

State of Alaska



Patent

No. 6393

Know All Men By These Presents that the State of Alaska, in consideration of the sum of TEN AND NO/100----- DOLLARS lawful money of the United States, and other good and valuable considerations, now paid, the receipt whereof is hereby acknowledged, does hereby grant to _____

MATANUSKA-SUSITNA BOROUGH

P.O. Box B, Palmer, Alaska 99645 and to _____

its successors and assigns, all that real property situated in the Borough of Matanuska-Susitna, State of Alaska, and described as follows:

TOWNSHIP 19 NORTH, RANGE 6 WEST, SEWARD MERIDIAN

THAT PORTION OF TRACT 'A' MORE FULLY DESCRIBED AS:

SECTION 3: TRACT A, TRACT B, TRACT C, TRACT D, TRACT E AND TRACT F.

SECTION 10: SW1/4, TRACT A, TRACT B, TRACT C AND TRACT D.

SECTION 11: NE1/4, TRACT A, TRACT B, TRACT C, TRACT D AND TRACT E.

SECTION 14: SE1/4, TRACT A, TRACT B, TRACT C, TRACT D, TRACT E AND TRACT F.

SECTION 23: NE1/4, TRACT A, TRACT B, TRACT C, TRACT D, TRACT E AND TRACT F.

SECTION 26: TRACT A, TRACT B, TRACT C, TRACT D, TRACT E, TRACT F, TRACT G, TRACT H, TRACT I, TRACT J, TRACT K, TRACT L, TRACT M AND TRACT N.

ACCORDING TO THE SUPPLEMENTAL CADASTRAL SURVEY LOCATED WITHIN SECTIONS 3, 10, 11, 14, 23 AND 26 OF TRACT A, TOWNSHIP 19 NORTH, RANGE 6 WEST, SEWARD MERIDIAN, ALASKA FILED IN THE TALKEETNA RECORDING DISTRICT ON DECEMBER 18, 1981 AS PLAT NO. 81-126.

CONTAINING 3,134.95 ACRES, MORE OR LESS.

Subject to valid existing trails, roads and easements.

N/C
RECORDED-FILED
TALKEETNA
RECORDING DIST.

SEP 1 2 23 PM '82
REQUESTED BY _____
ADDRESS _____

MATANUSKA - SUCITNA BOROUGH
PALMER, ALASKA 99645

Subject to the reservation of a 50 foot wide lineal perpetual public easement along the line of the ordinary high water mark of Kroto Creek, unnamed creeks and unnamed sloughs as portrayed on the Supplemental Cadastral Survey located within Sections 3, 10, 11, 14, 23 and 26 of Tract A, Township 19 North, Range 6 West, Seward Meridian, Alaska filed in the Talkeetna Recording District on December 18, 1981 as Plat No. 81-126 and further subject to the reservation of a 50 foot wide perpetual public access easement to the aforementioned lineal public easement along the above bodies of water. Said public access easement shall be identified by th Grantee and shall be subject to the covenant that no development or conveyance shall occur on the lands conveyed by this patent until the Grantee has platted such easements and formally notified the Grantor of the location of such public access easements.

Net chargeable acreage under A.S. 29.18.201 is 3,130.01 acres.

Township 19 NORTH Range 6 WEST SEWARD Meridian,

Alaska, according to the official survey thereof numbered _____

Save And Except those restrictions appearing in the Federal Patent or other conveyance by which the Grantor acquired title;

And Further, Alaska, as Grantor, hereby expressly saves, excepts and reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, all oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils of every name, kind or description, and which may be in or upon said lands above described, or any part thereof, and the right to explore the same for such oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils, and it also hereby expressly saves and reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, the right to enter by itself, its or their agents, attorneys, and servants upon said lands, or any part or parts thereof, at any and all times for the purpose of opening, developing, drilling, and working mines or wells on these or other lands and taking out and removing therefrom all such oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils; and to that end it further expressly reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, the right by its or their agents, servants and attorneys at any and all times to erect, construct, maintain, and use all such buildings, machinery, roads, pipelines, powerlines, and railroads, sink such shafts, drill such wells, remove such soil, and to remain on said lands or any part thereof for the foregoing purposes and to occupy as much of said lands as may be necessary or convenient for such purposes hereby expressly reserving to itself, its lessees, successors, and assigns, as aforesaid, generally all rights and power in, to, and over said land, whether herein expressed or not, reasonably necessary or convenient to render beneficial and efficient the complete enjoyment of the property and rights hereby expressly reserved.

To Have And To Hold the said land, together with the tenements, hereditaments, and appurtenances thereunto appertaining, unto the said Grantee and its successors and assigns forever.

In Testimony Whereof the State of Alaska has caused these presents to be executed by the Director of the Division of Technical Services, Department of Natural Resources, State of Alaska, pursuant to delegated authority, this 1st day of April A.D., 19 82

Warner T. May
for Director, Division of Technical Services

State of Alaska
THIRD Judicial District

This Is To Certify that on the 1st day of April, 19 82 appeared before me

Warner T. May, who is known to me to be the Director of the Division of Technical Services, Department of Natural Resources, State of Alaska, or the person who has been lawfully delegated the authority of said Director to execute the foregoing document; that he executed said document under such legal authority and with knowledge of its contents; and that such act was performed freely and voluntarily upon the premises and for the purposes stated therein.



Celia M. Brown
Notary Public in and for Alaska
My Commission expires December 10, 1984
State Record of Patents
Vol. LXIV
Page 93
ADL No. 32609
Patent No. 6393

State of Alaska



Patent

No. 14974

Know Ye By These Presents that the Grantor, the STATE OF ALASKA, DEPARTMENT OF NATURAL RESOURCES, 3601 C Street, Suite 960, Anchorage, Alaska 99503-5936, pursuant to AS 29.65.010-.140 and the regulations promulgated thereunder, for good and valuable consideration, now paid, the receipt whereof is hereby acknowledged, grants and conveys to the Grantee, the MATANUSKA-SUSITNA BOROUGH, whose mailing address of record is 350 Dahlia Avenue, Palmer, Alaska 99645-6488, Grantee's successors and assigns, all that real property situated in the Talkeetna Recording District, State of Alaska, and described as follows:

TOWNSHIP 20 NORTH, RANGE 6 WEST, SEWARD MERIDIAN

**SECTION 22: TRACTS A AND B.
SECTION 27: TRACTS A, B AND C.
SECTION 34: TRACTS A AND B.**

CONTAINING 1518.47 ACRES, MORE OR LESS.

ACCORDING TO THE ALASKA STATE CADASTRAL SURVEY PLAT RECORDED IN THE TALKEETNA RECORDING DISTRICT ON AUGUST 29, 1995 AS PLAT 95-40.

Subject to platted and valid existing easements and reservations.

The Borough, by recordation of the Settlement Agreement in *Matanuska-Susitna Borough v. State of Alaska et. al.*, (3 AN-91-8375 Civil) covenants and agrees to identify and provide, by suitable reservations and dedications, easements to ensure public access in perpetuity pursuant to AS 38.05.127 along all navigable or public water bodies previously determined by the State and identified in each affected patent, or identified by mutual agreement during the Borough land entitlement audit, and to such water bodies from the nearest existing public easement, which may include roads, trails, surveyed or protracted section line easements dedicated under AS 19.10.010 and any surveyed, protracted, or dedicated quarter-section easement, at intervals of approximately one mile in conformity with AS 38.05.127(f), or by metes and bounds descriptions provided in individual instruments.

BOOK 156 PAGE 404

The Borough further covenants and agrees that the free public access easements to and along the identified water bodies will be reflected in any subsequent land surveys, subdivision plat notes, and/or conveyances by the Borough pertaining to any land conveyed by the State's patents which is adjacent to such water bodies;

Provided, however, that public access shall not be reserved by the Borough if a dedicated public access easement to any such water body already exists across land owned by the State, by the Borough or by a third party within a distance of not more than one mile from the land conveyed to the Borough under the Act.


Net chargeable acreage under AS 29.65.010 is 1518.47 acres.

And Except, those restrictions appearing in the Federal Patent or other conveyance by which the acquired title;

And Further, the Grantor hereby expressly saves, excepts and reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, all oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils of every name, kind or description, and which may be in or upon said lands above described, or any part thereof, and the right to explore the same for such oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils, and it also hereby expressly saves and reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, the right to enter by itself, its or their agents, attorneys, and servants upon said lands, or any part or parts thereof, at any and all times for the purpose of opening, developing, drilling, and working mines or wells on these or other lands and taking out and removing therefrom all such oils, gases, coal, ores, minerals, fissionable materials, geothermal resources, and fossils, and to that end it further expressly reserves out of the grant hereby made, unto itself, its lessees, successors, and assigns forever, the right by its or their agents, servants and attorneys at any and all times to erect, construct, maintain, and use all such buildings, machinery, roads, pipelines, powerlines, and railroads, sink such shafts, drill such wells, remove such soil, and to remain on said lands or any part thereof for the foregoing purposes and to occupy as much of said lands as may be necessary or convenient for such purposes hereby expressly reserving to itself, its lessees, successors, and assigns, as aforesaid, generally all rights and power in, to, and over said land, whether herein expressed or not, reasonably necessary or convenient to render beneficial and efficient the complete enjoyment of the property and rights hereby expressly reserved.

To Have And To Hold the said land, together with the tenements, hereditaments, and appurtenances thereunto appertaining, unto the said Grantee and Grantee's successors and assigns forever.

In Testimony Whereof the State of Alaska has caused these presents to be executed by the Director of the Division of Land, Department of Natural Resources, State of Alaska, pursuant to delegated authority, this 24th day of January, 1996.

By: 
Carol L. Shobe
For Jane Angvik, Director
Division of Land

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State of Alaska)
) ss.
Third Judicial District)

This Is To Certify that on the 24th day of January, 1996, appeared before me CAROL L. SHOBE, who is known to me to be the person who has been lawfully delegated the authority of Jane Angvik, the Director of the Division of Land, Department of Natural Resources, State of Alaska, to execute the foregoing document; that Carol L. Shobe executed said document under such legal authority and with knowledge of its contents; and that such act was performed freely and voluntarily upon the premises and for the purposes stated therein.

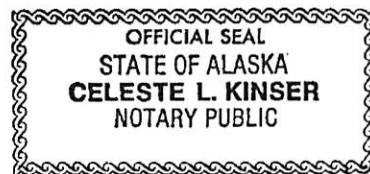
Witness my hand and official seal the day and year in this certificate first above written.

Celeste L. Kinser
Notary Public in and for the State of Alaska

My commission expires: April 4, 1997

return to:

MATANUSKA - SUSITNA BOROUGH
350 EAST DAHLIA AVENUE
PALMER, ALASKA 99645



96-000222

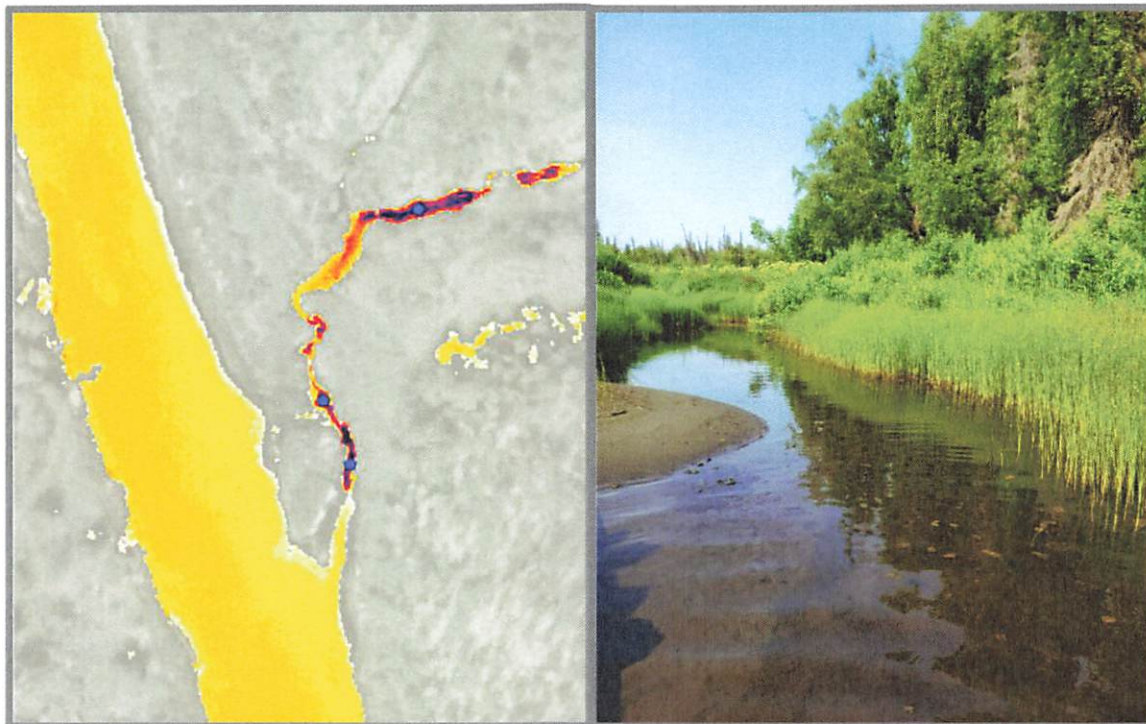
TALKEETNA REC 21 W
DISTRICT
REQUESTED BY _____

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MATANUSKA - SUSITNA BOROUGH
350 EAST DAHLIA AVENUE
PALMER, ALASKA 99645



Patent No. 14974
ADL No. 26871
Location Index:
T. 20 N., R. 6 W., S.M.
Sections 22, 27 and 34



Building Habitat Resiliency for Chinook Salmon in the Deshka River Watershed

January 2023



Prepared by

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ACKNOWLEDGEMENTS

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REPORT CITATION

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ArcGIS Online map of inflows: <http://bitly.ws/zt9X>

Building Habitat Resiliency for Chinook Salmon in the Deshka River Watershed

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Appendix A – Significant Feature Sites details (excel file)

ABSTRACT

Cook Inletkeeper and partners began a long-term effort to map the spatial heterogeneity of water temperature within the Deshka River watershed starting in 2017. This report details objectives from an Alaska Sustainable Salmon Funded project which builds on that effort and identifies key salmon habitats within the Deshka River and determines high-priority land parcels for long-term conservation efforts by using thermal imagery data. Cook Inletkeeper acquired thermal imagery for 32 miles of the Deshka River in July 2020, starting from the confluence of Moose and Kroto creeks upstream and ending at the confluence with the Susitna River. This infrared technology is an effective method for mapping small-scale temperature patterns in streams and to identify cold-water inflows. Productive conservation actions in the Deshka River watershed will rely on unique opportunities based on public land ownership (state and Mat-Su Borough) and private landowners. By coordinating with the Mat-Su Basin Salmon Habitat Partnership on a series of "Science to Conservation Outcomes" discussions, Cook Inletkeeper has developed a workplan of prioritized strategies with a timeline and key collaborators identified. Through this effort we have an excellent opportunity to implement strategic conservation actions to ensure the Deshka River remains a salmon stronghold into the warming future.

Building Habitat Resiliency for Chinook Salmon in the Deshka River Watershed

INTRODUCTION

Spatial variation in water temperature is a key feature of habitat complexity that contributes to the movement, resilience, and persistence of cold-water fishes. Fish exploit thermal heterogeneity through a variety of behavioral responses with different ecological outcomes. For instance, movement among freshwater habitats of different temperatures allows fish to track seasonal shifts in food resources (Ruff et al. 2011) or to manage their metabolism during periods of high food abundance (Armstrong et al. 2013). During spawning migration, periods of high river temperatures can block migratory corridors and cause thermal stress or mortality (Richter and Kolmes 2005). If available, fish seek out localized patches of cool water (i.e. thermal refugia), allowing persistence in streams that would otherwise be unsuitable (Torgersen et al. 1999, Sutton and Soto 2012). Additionally, thermal refugia originating from groundwater upwelling are relatively warm during winter and can also provide ice-free overwintering habitats (Bradford et al. 2001, Huusko et al. 2007).

In southcentral Alaska's Cook Inlet basin, maximum weekly temperature in many streams routinely exceeds thresholds regarded as deleterious for incubating eggs (13°C) and rearing juveniles (18°C) and, during warm summers, some attain temperatures that may be harmful to migrating adults (>20°C) (U.S. EPA 2003, Mauger et al. 2017). Among Cook Inlet streams, those draining low-elevation landscapes currently have the warmest summer temperatures and are projected to warm the most (Mauger et al. 2017). Increasing summer temperatures associated with anthropogenic climate change will increase the importance of the reliable presence of cold-water pockets within a warming river for the persistence of salmonids and other fish species in the decades ahead (Chang & Psaris 2013; Johnson et al. 2014).

The Deshka River, draining extensive lowlands in the Susitna valley of upper Cook Inlet (Figure 1), is important habitat for migrating and spawning Chinook and Coho salmon. These salmon are critical contributors to the subsistence resources for the Indigenous residents of Tyonek (Holen and Fall 2011) and wildlife species, like bears, which drive environmental productivity and support a tourist-based economy. In recent years, the Deshka River has recorded temperatures as high as 27°C, with an average increase of 1.5°C since 1980 (Jones et al. 2020). Weekly water temperature averages are projected to exceed 26.0°C by 2060 and is already exceeding weekly averages projected for 2030 (Mauger 2017).

This report outlines the methods used to identify key thermal habitats within the lower Deshka River and identify conservation actions for locations with persistent cold water that salmon will increasingly rely upon as stream temperatures increase. Excellent opportunities exist for future conservation actions to ensure the Deshka River remains a salmon stronghold into the future.



Figure 1. Map of the Cook Inlet watershed with the 32-mile reach of the Deshka River identified (blue line) where thermal infrared imagery was collected in July 2020.

PROJECT GOALS AND OBJECTIVES

Cook Inletkeeper and U. S. Fish and Wildlife Service (USFWS) coordinated a 5-year effort (2017-2021) to map broad-scale spatial heterogeneity of water temperature within the Deshka River watershed. Year-round water temperatures were monitored at 60 sites with clusters of data loggers at 20 major tributary junctions. In July 2020, with funding through the Alaska Sustainable Salmon Fund, Cook Inletkeeper acquired thermal imagery for 32 miles of the Deshka River starting from the confluence of Moose and Kroto creeks upstream and ending at the confluence with the Susitna River. The overall goal of these efforts is to build landscape-scale resilience within the Deshka River watershed by identifying and protecting thermal heterogeneity.

Funding through the Alaska Sustainable Salmon Fund (AKSSF grant #53004) supported the following objectives:

- characterize fine-scale thermal heterogeneity during summer maximum temperature along the lower Deshka River;
- identify cold-water refugia used by adult Chinook salmon to avoid high summer temperatures; and
- guide future conservation actions to protect high-value habitat and thermal refugia.

STUDY AREA: DESHKA RIVER WATERSHED

Deemed a world-class fishing destination, the Deshka River produces the largest Chinook salmon returns in upper Cook Inlet, accounting for 21% of the Susitna River system's escapement to upriver spawning grounds (Ivey 2014). The watershed is 626.5 square miles, with 40% wetlands, and a maximum elevation of 1,504 feet (Mauger et al. 2017). The Deshka River contains all five Pacific salmon species and provides habitat for Rainbow trout, Arctic grayling, and Dolly Varden. Most recently, invasive Northern Pike have been introduced to the watershed and are increasing in number.

The Deshka is primarily managed for its Chinook population (Ivey 2014; Reimer & DeCovich 2020). The timing of the Deshka Chinook lifecycle makes them most vulnerable to patterns of thermal change. Maximum temperatures, which typically occur in July, coincide with the annual return of adult Chinook from the ocean swimming upstream to spawning grounds, which begins in June. These temperatures also affect juvenile Chinook and Coho salmon because both populations rear in the Deshka River for one to two years before journeying downstream to the ocean (Ivey 2014). Adult Coho salmon enter the Deshka River primarily during August, after temperatures begin to decline (Ivey 2014). While this project focuses specifically on Chinook populations and habitat, successfully implemented conservation strategies will have positive impacts on all native fish within the watershed.

METHODS

Thermal Imagery

Cook Inletkeeper acquired thermal infrared (TIR) imagery to map discrete cold-water refugia, which will be important to protect for long-term resilience of the Deshka Chinook salmon population. In 2020, Cook Inletkeeper contracted NV5 Geospatial Inc. to obtain airborne TIR imagery from the main channel of the Deshka River, starting at the confluence of Moose Creek and Kroto Creek and ending at the confluence with the Susitna River. NV5 collected the high-resolution imagery by helicopter with a pixel resolution of 0.5 meters (1.6 ft) on July 4, 2020 (NV5 Geospatial 2021), thus providing fine-scale temperature data to pinpoint each pocket of water with lower-than-average temperatures. In-stream temperature data loggers assisted in the calibration of the TIR imagery after the flight to ensure accurate temperature readings. Sites with large thermal contrasts (Significant Feature Sites or SFS), revealed locations where cold groundwater contributed to the mainstem of the river through point sources, tributaries, and surface springs.

Ground Truthing

Ground truthing is an important step in validating remotely-sensed imagery. On-the-ground identification of different sites allows for a more accurate understanding of the shapes and areas of cold water SFS depicted in the thermal imagery.

Cook Inletkeeper received the TIR imagery from NV5 Geospatial in November 2020 and loaded the imagery and SFS points into ArcMap. With 239 sites identified, Cook Inletkeeper planned to ground truth 20% (48 sites) as the maximum reasonable amount to visit in the summer of 2021.

The ground truthing process involves using GPS coordinates of the identified SFS to locate and travel to the cold-water inputs to assess:

- thermal variability between SFS and mainstem; and
- viability for salmon habitat for juveniles and adults.

In July 2021, Cook Inletkeeper ground truthed 58 sites by canoe (Figure 2).

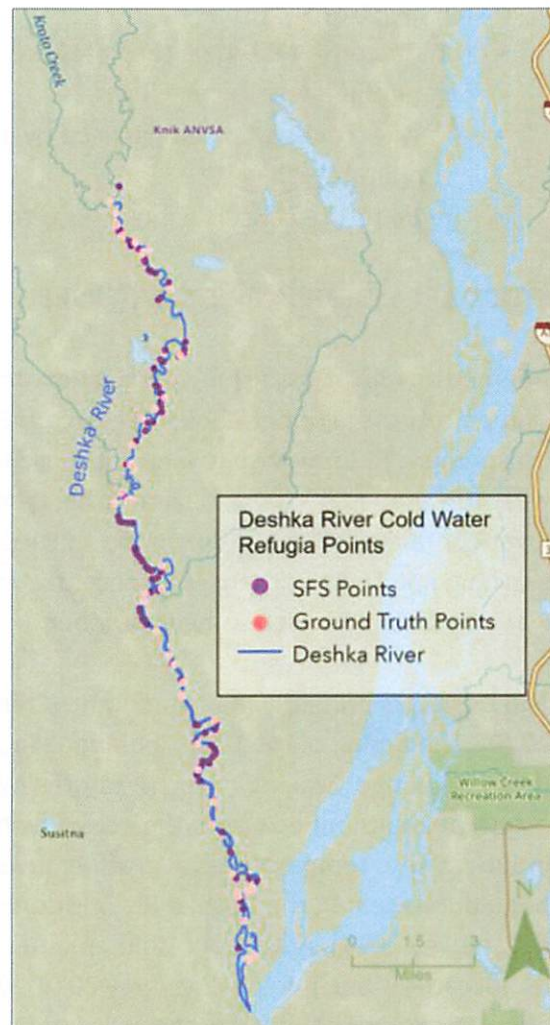


Figure 2. Map of the Significant Feature Sites (SFS) locations and ground truthing points.

While projects with TIR imagery have been used in high density areas to support private land owner engagement with conservation (e.g. [AKSSF Project # 44628](#)), this project focused on large swathes of unpopulated riparian land. Consequently, conservation recommendations are relevant to support permanent protections on large publicly-owned parcels managed by the state of Alaska and the Matanuska-Susitna (Mat-Su) Borough.

RESULTS: Land Ownership

Despite the Mat-Su Borough being the fastest growing area in Alaska, the Deshka River watershed remains minimally developed, especially toward the river’s upper reaches. This is due primarily to the absence of roads, restricting use of the river to boats traveling downstream on the Susitna River from Deshka Landing in Willow off the Parks Highway.

Ownership and/or Management	Acres	Percent of Watershed Area
State	62,117	84.3%
Mat-Su Borough	10,110	13.7%
Private	1,467	2.0%
Total	73,694	

Table 1. Deshka watershed land ownership.

The ground truthed sites discussed below represent examples of cold-water refugia which intersect with the three land ownership types in Figure 3: State, Mat-Su Borough, and privately-owned land. The highest priority areas for conservation are significant cold-water flows with viable salmon habitat. Appendix A provides field observations, if available, and coordinates for all sites identified in the TIR imagery.

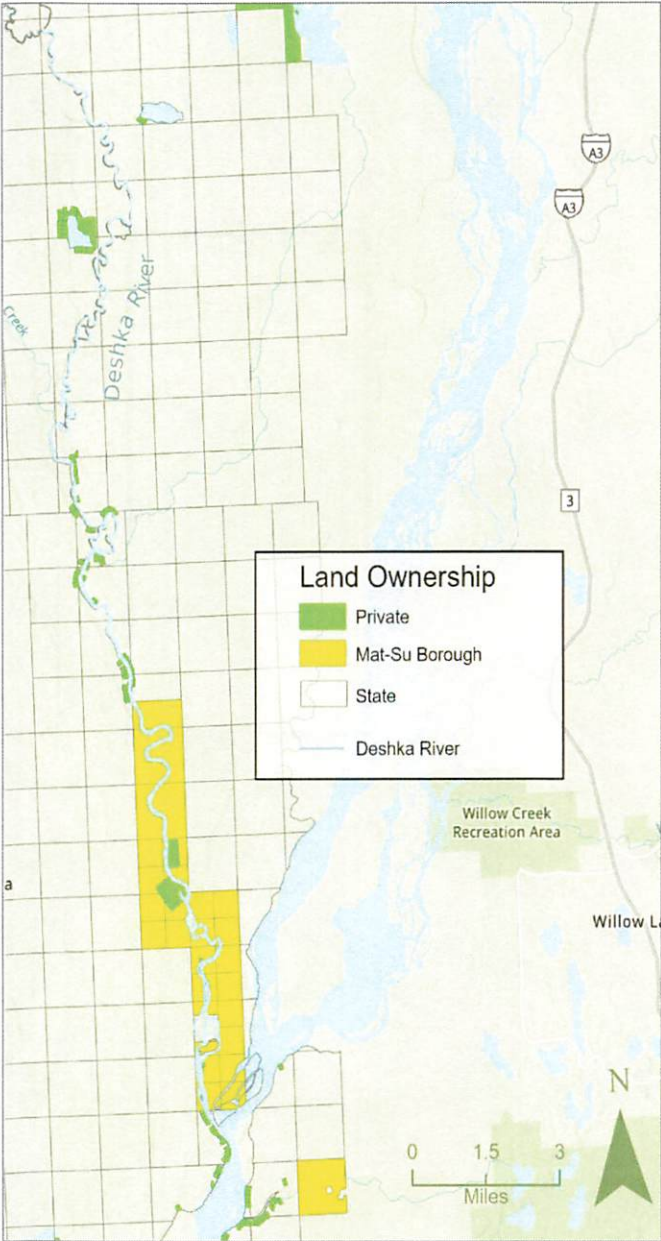


Figure 3: Cadastral Parcels (Mat-Su Borough; [LINK](#) data source) for the lower 32 miles of the Deshka River.

RESULTS: Upper Deshka River

In the upper Deshka River section (Figure 4), 145 features were identified in the TIR imagery from the confluence of Kroto and Moose creeks (RM 31.89) to Trapper Creek (14.75). Most of the parcels along this section are owned by the State of Alaska with some SFS points located on or near privately-owned parcels.

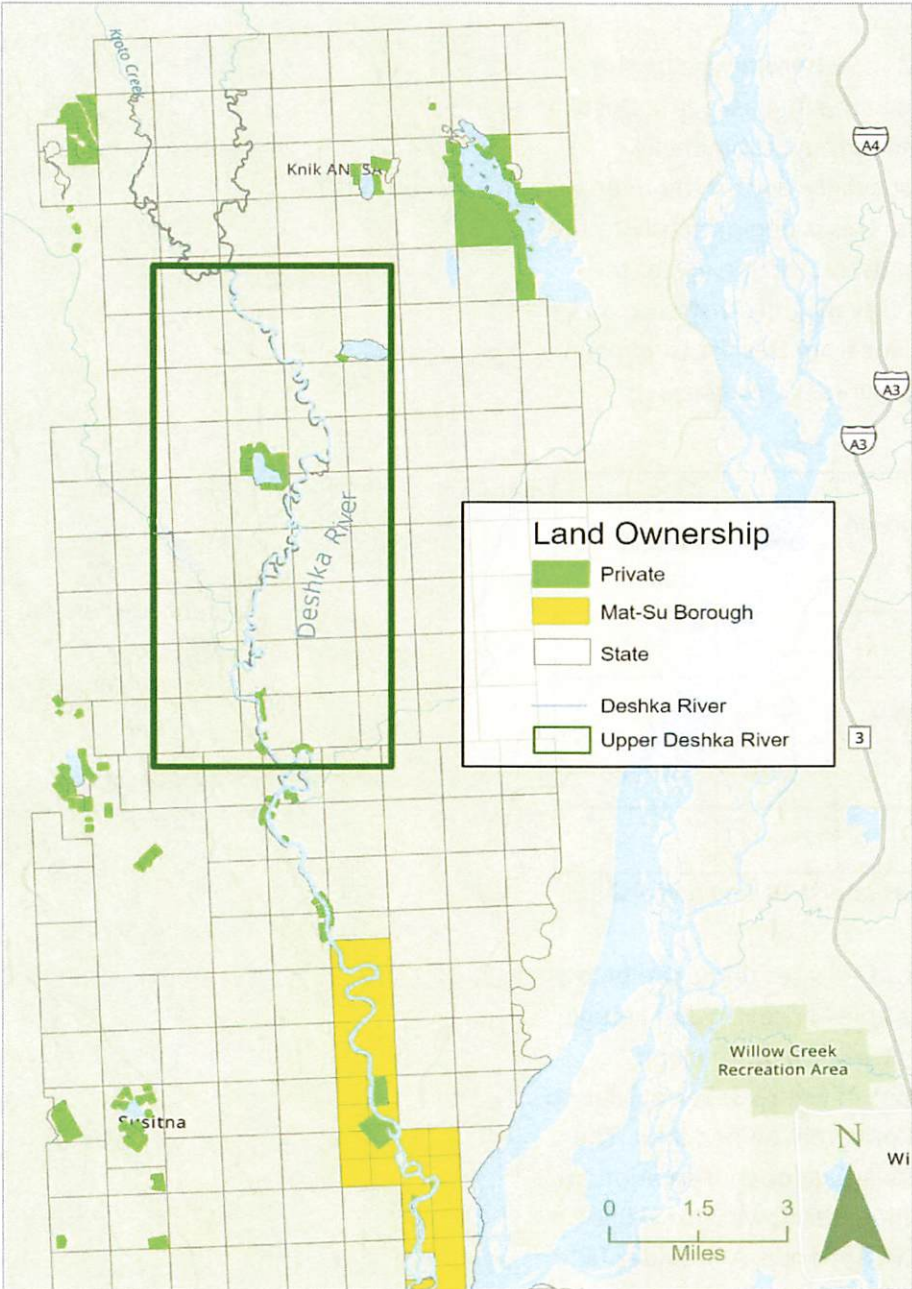


Figure 4. Upper Deshka River section.

Cook Inletkeeper conducted site evaluations at 31 of the 145 locations to assess the value of each location as a cold-water inflow and viable juvenile and adult Chinook salmon habitat. A full list of the significant feature sites can be found in Appendix A, including the site evaluations of the ground truthed sites. Below are examples of significant feature sites:



Upper Site #1

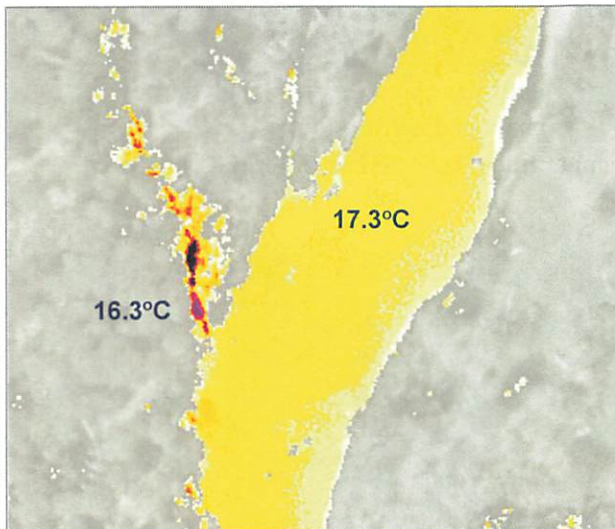
Description: This SFS is located at the Kroto-Moose confluence at the top of the study reach, and designates Kroto Creek as the tributary.

Salmon Habitat: large number of salmon present; important habitat for adult and juvenile salmon. Both creeks are in the state's Anadromous Waters catalog.

Land Ownership: State

Photo 1. Confluence of Kroto and Moose creeks

on July 14, 2021.



Upper Site #2

Description: This SFS is a side channel providing cold water refugia to the mainstem.

Salmon Habitat: viable juvenile habitat; not in the state's Anadromous Waters Catalog

Land Ownership: State

Photo 2. Thermal imagery (7/4/2020) with water temperatures collected on 7/14/2021 noted.

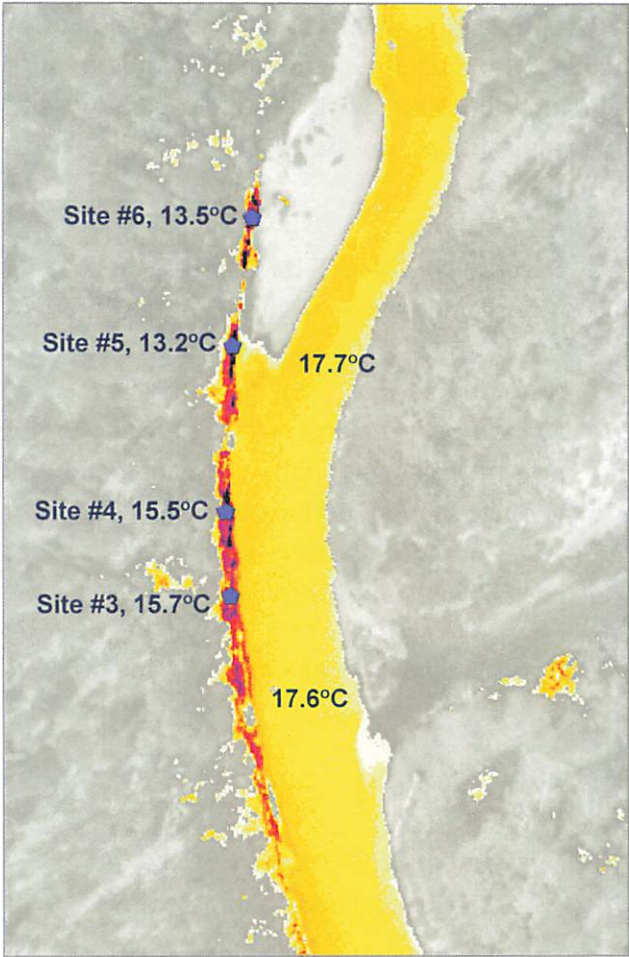


Photo 3. Thermal imagery (7/4/2020) with water temperatures collected on 7/14/2021 noted.

Upper Sites # 3 - 6

Description: This is an example of one surface spring of cold water that was identified by 4 SFS points provided by NV5 Geospatial.

Salmon Habitat: viable juvenile habitat; not in the state’s Anadromous Waters Catalog

Land Ownership: State



Photo 3a. Site #6; disconnected from channel downstream.

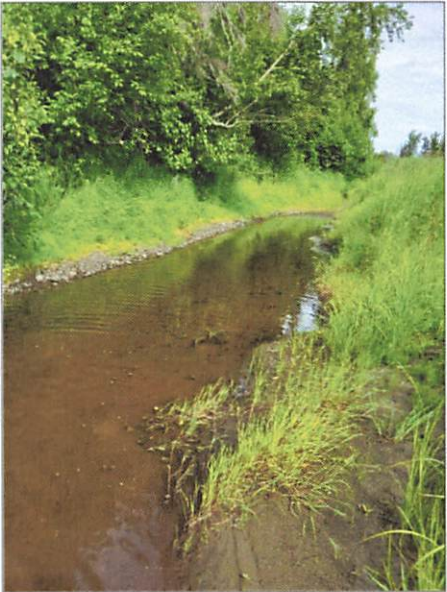
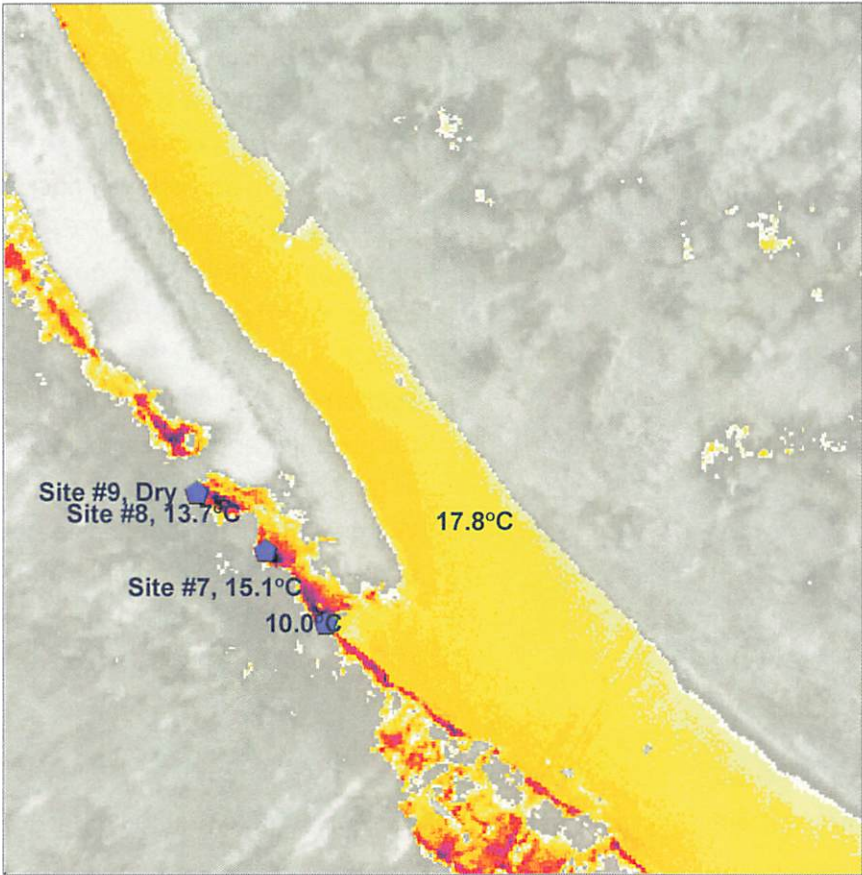


Photo 3b. Site #5; juvenile habitat.



Photo 3c. Site #4; no distinct channel



Upper Sites # 7-9
Description: While these sites were disconnected from the mainstem, there was a channel directly downstream which measured 10.0°C. This is another example of a cold-water surface spring with multiple SFS points.
Salmon Habitat: viable juvenile habitat; not in the state’s Anadromous Waters Catalog
Land Ownership: State

Photo 4. Thermal imagery

(7/4/2020) with water temperatures collected on 7/14/2021 noted.

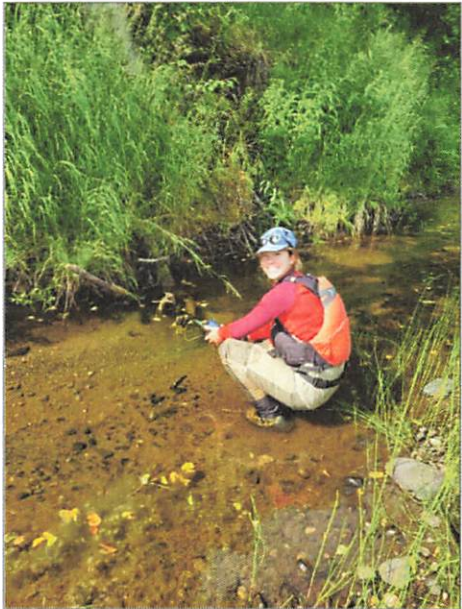


Photo 4a. Site #8; juvenile habitat.

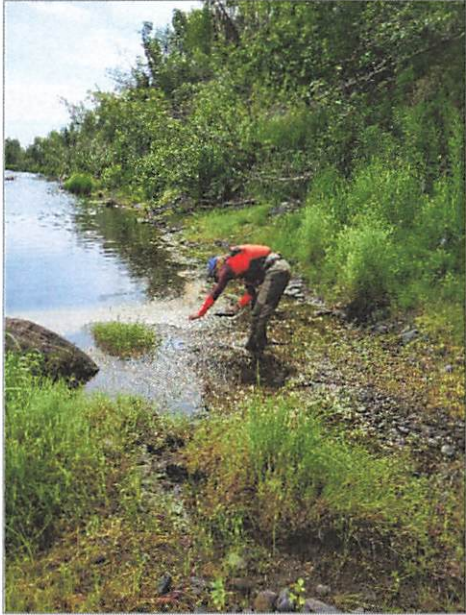
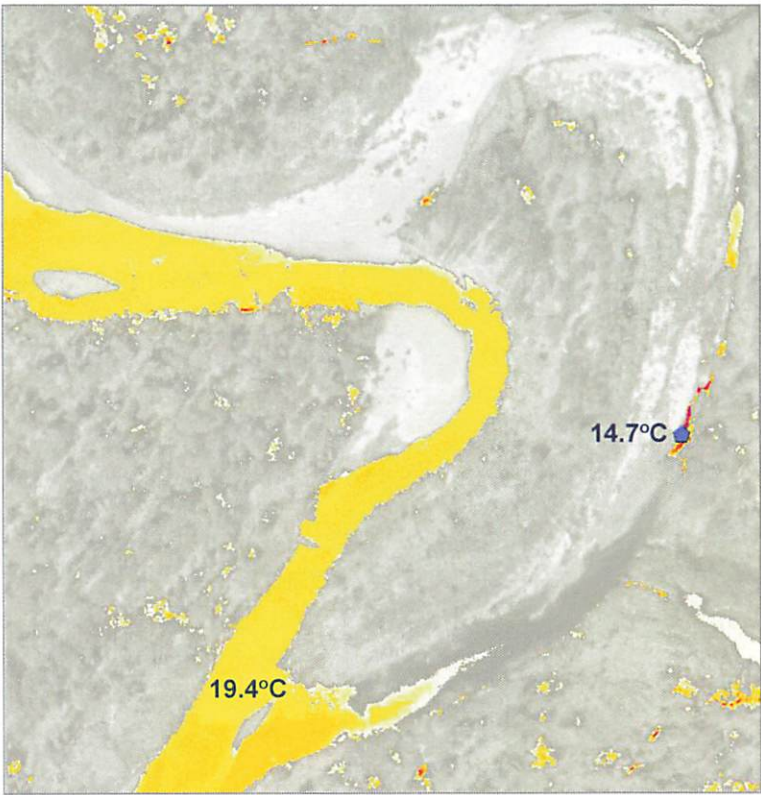


Photo 4b. Site #7; juvenile habitat.



Upper Site # 10

Description: This site is in an old oxbow. Although it is not clear in the imagery, it is connected to the mainstem and offers a pocket of cold water refugia (14.7°C) near a particularly warm portion of the mainstem, which was 19.4°C.

Salmon Habitat: viable habitat for juveniles and adults; oxbow is in the state’s Anadromous Waters Catalog, although the current mainstem channel is not.

Land Ownership: State

Photo 5. Thermal imagery (7/4/2020) with water temperatures collected on 7/14/2021 noted.



Photo 6. Site #11; tributary.

Upper Site # 11

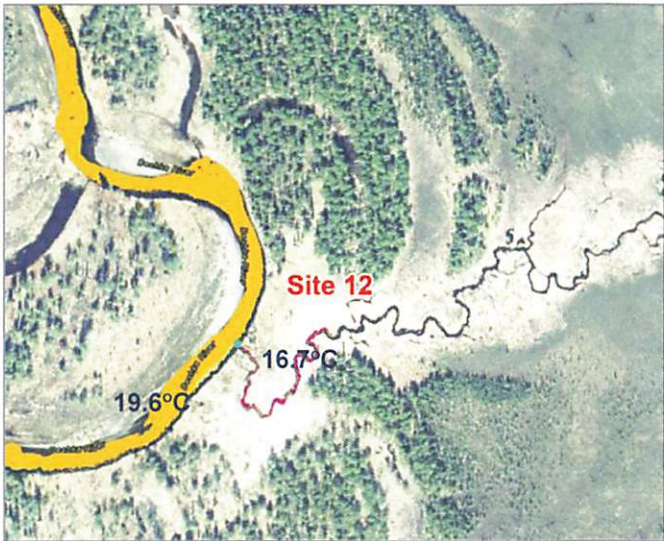
Description: The tributary offers a particularly cold pocket of water for salmon at approximately 12°C while the mainstem it runs into was 19.6°C. Two SFS points represent the same tributary feature.



Photo 6a. Site #11, upstream.

Salmon Habitat: viable habitat for juveniles; not in the state’s Anadromous Waters Catalog

Land Ownership: State



Upper Site # 12

Description: This is an example of a cold-water tributary (16.7°C) that offers significant flow into the mainstem (19.6°C) and important habitat.
Salmon Habitat: viable habitat for juveniles and adults; this tributary is in the state’s Anadromous Waters Catalog.
Land Ownership: State

Photo 7. Thermal imagery (7/4/2020) with water temperatures collected on 7/14/2021 noted.



Note: This site had two temperature data loggers from the 5-year field data collection project, verifying the temperature collected at the time of ground truthing and the average temperature picked up by the TIR imagery. The data loggers recorded temperature data during the survey period at 15-minute intervals. These records are used for the radiometric calibration of the TIR images.

Photo 7a. Site #12; juvenile and adult habitat.

RESULTS: Lower Deshka River

Cook Inletkeeper conducted site evaluations at 27 of the 94 SFS points to assess the value of each location as a cold-water inflow and viable juvenile and adult Chinook salmon habitat. The following set of ground truth site evaluations are in the Lower Deshka region (Figure 5). The majority of land ownership is the Mat-Su Borough with some SFS points located near privately owned property.

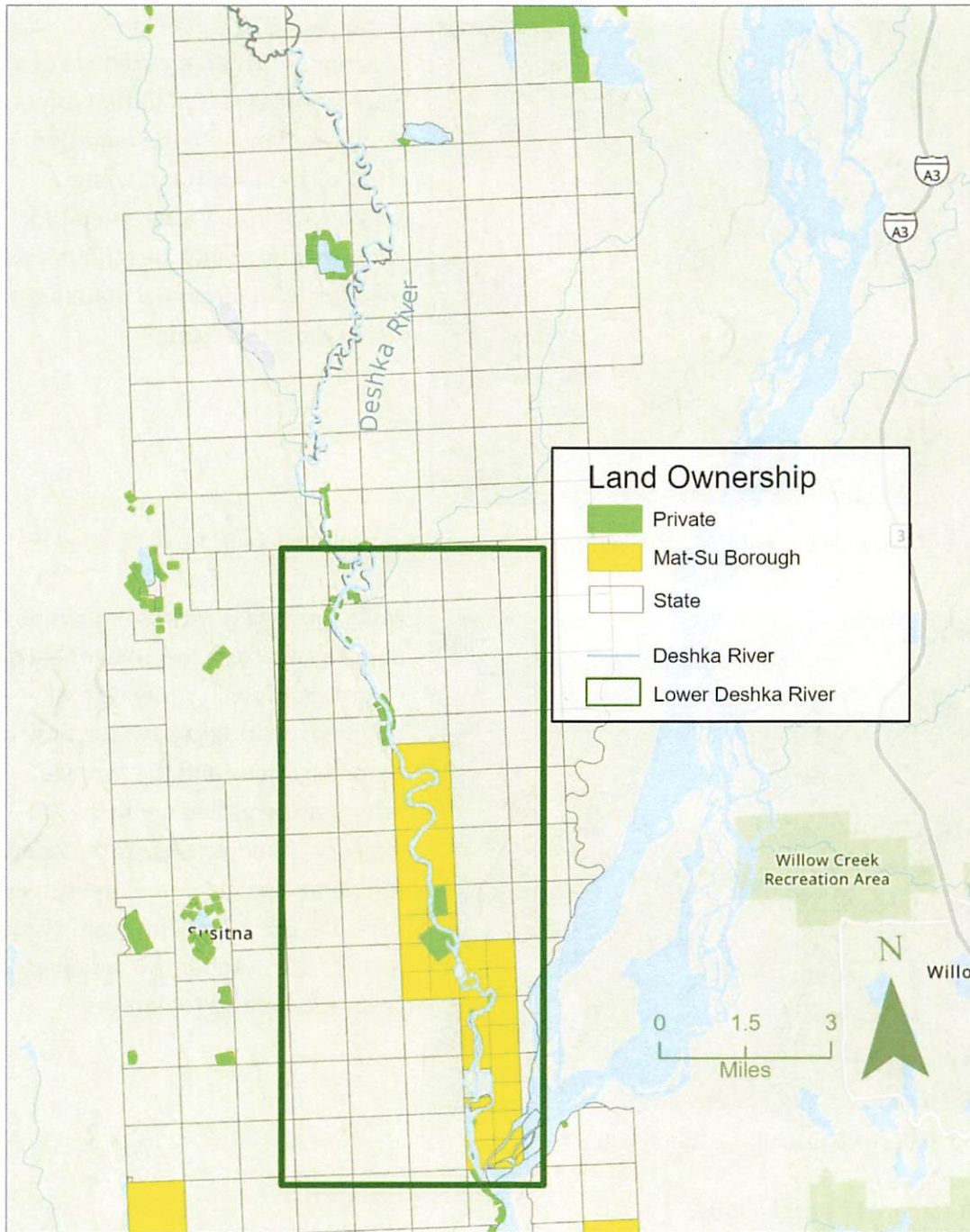


Figure 5: Lower Deshka River section.

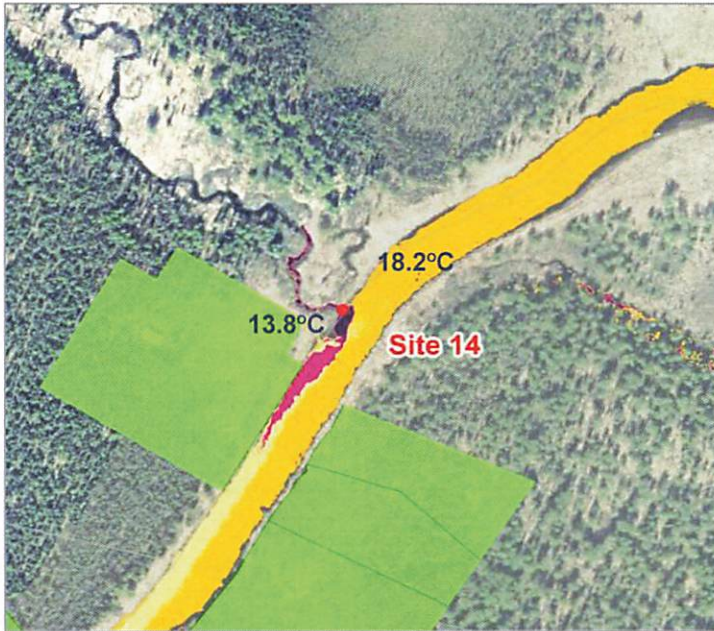


Lower Site # 13
Description: This tributary is Trapper Creek and has data loggers from the 5-year temperature study. This parcel is within proximity of five private land holdings.
Salmon Habitat: Viable juvenile and adult habitat and in the state's Anadromous Waters Catalog.
Land Ownership: Private: File #61292; File # 54600 File #54598; File #54597 File #54599

Photo 8. Thermal imagery (7/4/2020) with water temperatures collected on 7/15/2021 noted.



Photo 8a. Trapper Creek; adult and juvenile habitat.



Lower Site # 14

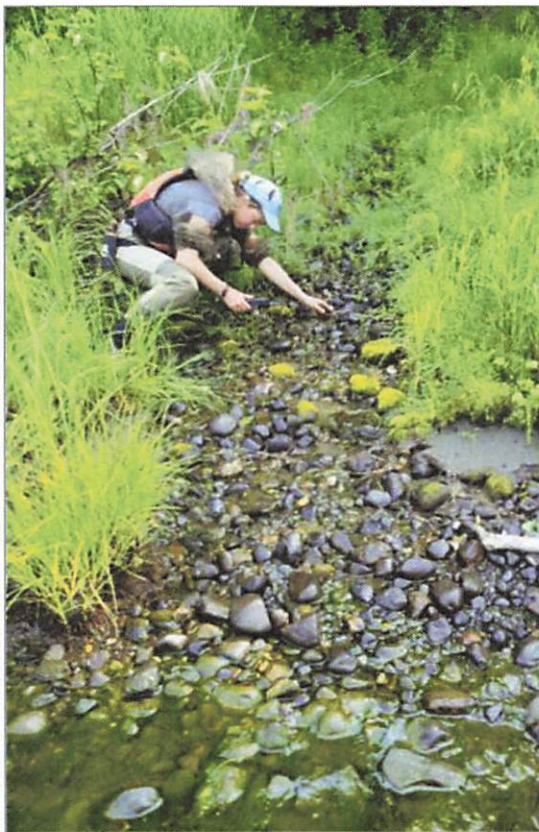
Description: This tributary is slightly downstream from Trapper Creek and has data loggers from the 5-year temperature study. The thermal imagery illustrates the plume created by the cold-water inflow into the main channel.

Salmon Habitat: viable juvenile habitat

Land Ownership: Private parcel adjacent to this site. This tributary is in the state's Anadromous Waters Catalog.

[File # 62288](#)

Photo 9. Thermal imagery (7/4/2020) with water temperatures collected on 7/15/2021 noted.



Lower Site # 15

Description: While the water is not deep enough to hold fish, these cold-water inflows have notably lower temperatures (5.5°C and 8.8°C) than the mainstem (17.8°C).

Salmon Habitat: Not viable habitat

Land Ownership: Private

[File #62193](#) - property directly upstream of these two inflows

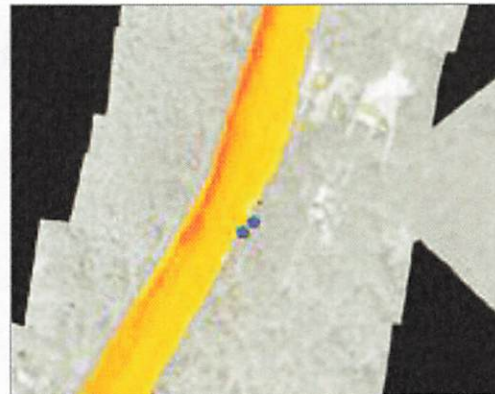
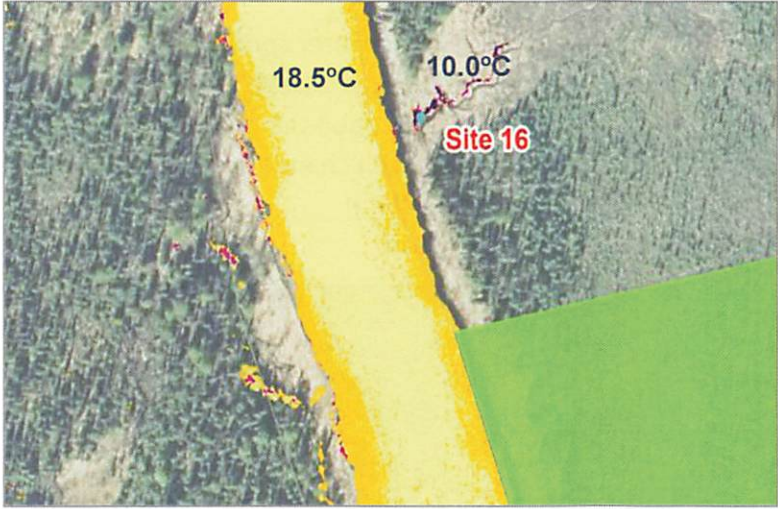


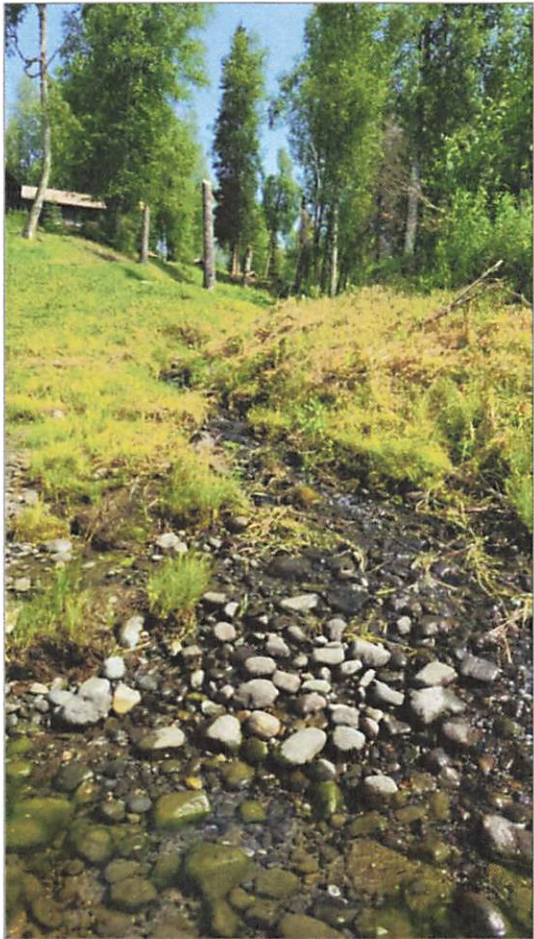
Photo 10a. Two inflows make up this site.

Photo 10. Site #15 with no adult and juvenile habitat.



Lower Site # 16
Description: Significant flow is coming from the inflow with an 8.5°C temperature difference compared to the mainstem. There is a defined channel.
Salmon Habitat: no viable habitat
Land Ownership: Private and State; this site is slightly upstream of a series of private property parcels. The closest parcel is [File #52805](#).

Photo 11. Thermal imagery (7/4/2020) with water temperatures collected on 7/15/2021 noted.



Lower Site # 17
Description: Significant flow is coming from the inflow with an 11.7°C temperature difference to the mainstem. The flow and low temperature are notable considering the disturbance at the site.
Salmon Habitat: no viable habitat
Land Ownership: Private; [File #52727](#)

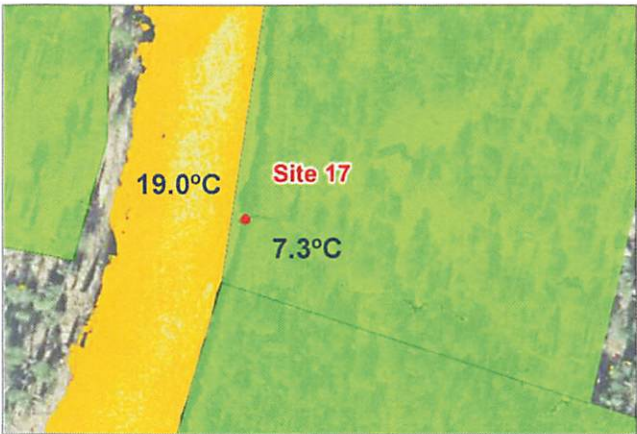


Photo 12a. Thermal imagery (7/4/2020) with water temperatures collected on 7/15/2021 noted.

Photo 12. Site #17 on private land.

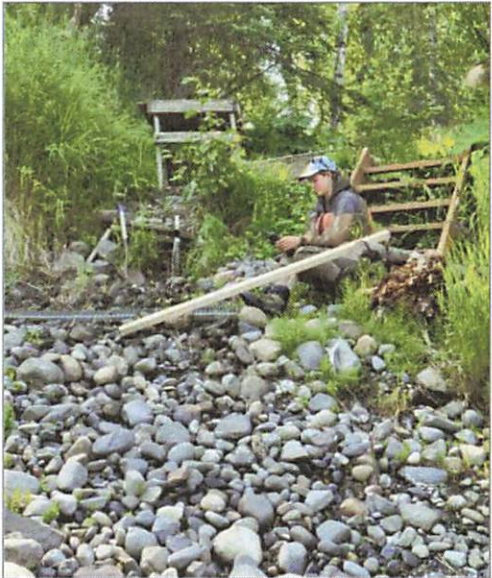


Photo 13. Site #17 on private land.

Lower Site # 18

Description: This ground water spring (4.8°C) runs through two private properties. Both properties had man-made pipes that tapped the groundwater and contributed it to the main channel at 19.3°C.

Salmon Habitat: no habitat

Land Ownership: Private

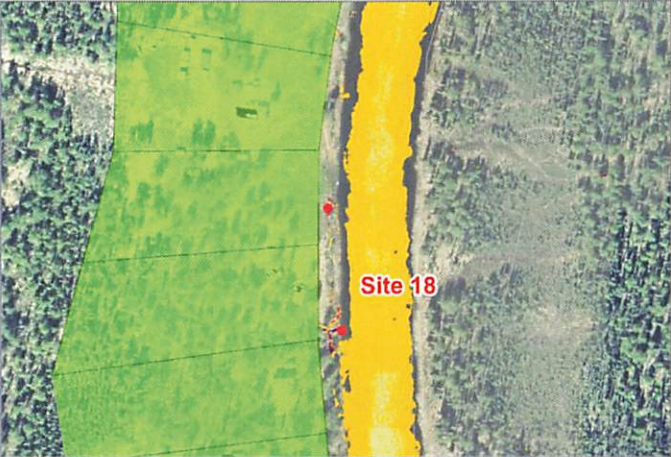


Photo 13a. Thermal imagery (7/4/2020) with private parcels

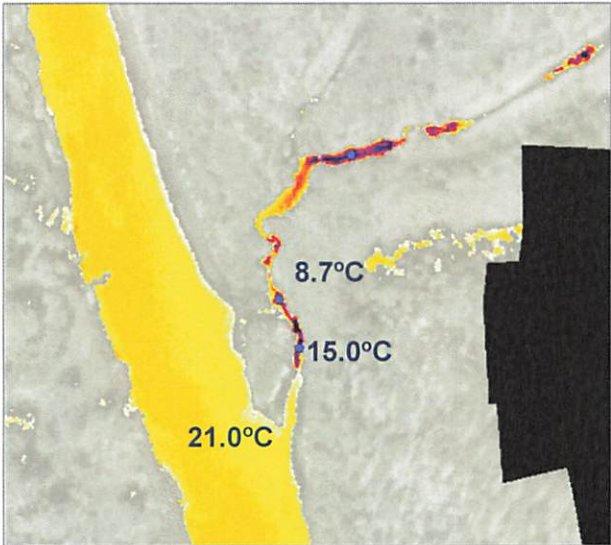


Photo 14. Thermal imagery (7/4/2020) with water temperatures collected on 7/15/2021 noted.

Salmon Habitat: Viable for juveniles; not included in the state’s Anadromous Waters Catalog

Land Ownership: Borough

Lower Site # 19

Description: This is a large tributary running through Mat-Su Borough owned land with a large, 72-acre privately-held property (Laub Landing) just downstream.



Photo 14a. Site #17; viable habitat.

RESULTS: Longitudinal Profile

Unlike many rivers, where a downstream warming trend is present as the channel gets wider and more exposed to direct solar radiation, the longitudinal profile for the Deshka River showed an overall downstream cooling gradient (Figure 6). This reflects the influence of numerous cold-water inflows from tributaries and seepage spots along the river banks. The overall water temperature gradient declined from 22.7°C at the confluence of Moose Creek and Kroto Creek to 18.5°C at the confluence with Susitna River (NV5 Geospatial 2021). The overall downstream cooling consisted of intermittent short sections of downstream warming from warm water inflows (relative to the mainstem) or unshaded reaches of the river. Warm water inflows could be outlets of meadows, marshes, or side channels where water warmed up from solar loading.

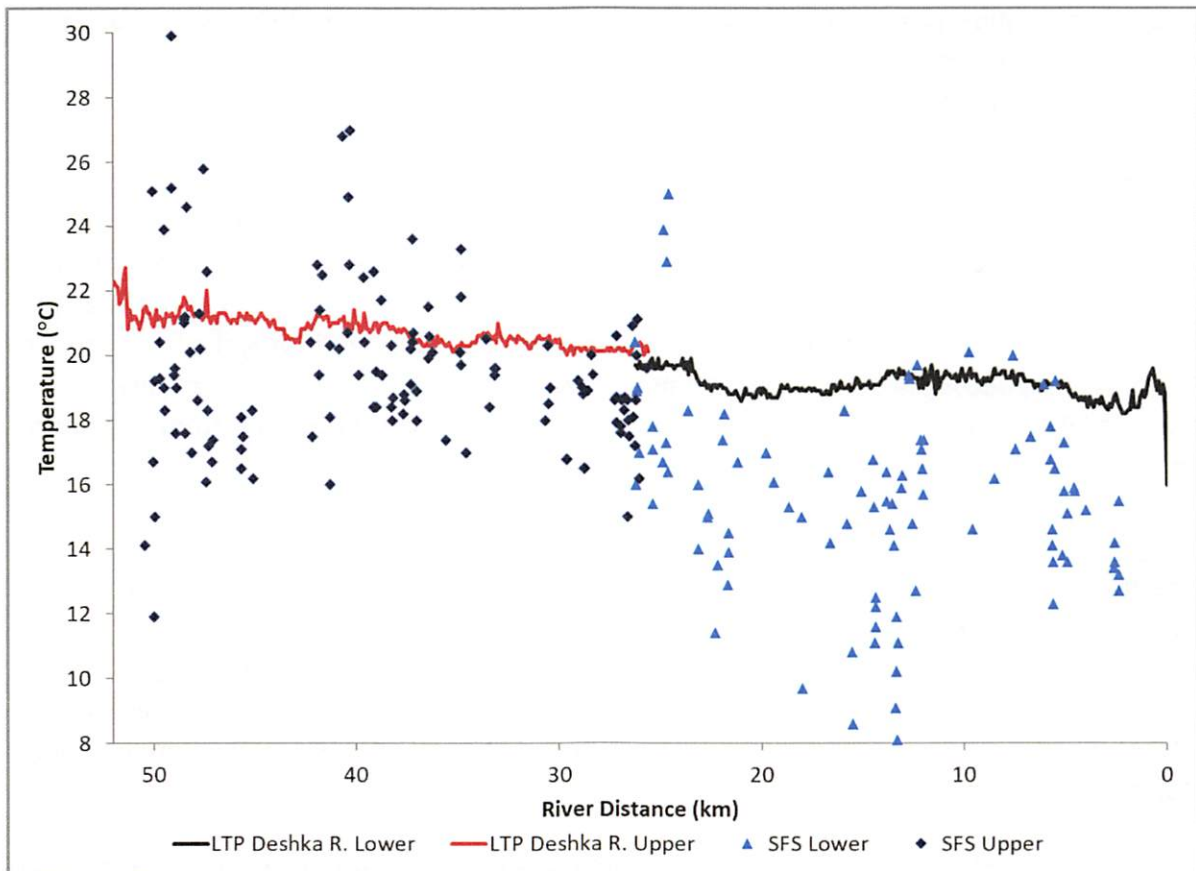


Figure 6: Longitudinal temperature profile and mean water temperature of significant features at the banks of the river plotted against river length along Deshka River, July 4th, 2020 (NV5 Geospatial 2021).

DISCUSSION

Thermal infrared imagery has proven to be a successful remote-sensing tool for assessing the location of cold-water inflows into the Deshka River. By acquiring the thermal data mid-summer, the warm water profile captured in the imagery provided good contrast to the riparian vegetation, thus resulting in clear imagery to characterize fine-scale thermal heterogeneity along the lower 32 miles of the Deshka River. By following up with field visits, Cook Inletkeeper was able to confirm the influence of more than 20% of the inflows and assess their value as juvenile and/or adult Chinook salmon habitat.

Based on the longitudinal profile, the imagery also illustrates that the aggregate of inflows plays a significant role in keeping water temperatures buffered in the lower reaches of the river. The value of each inflow goes beyond providing discrete cold-water habitat. This buffering affect reinforces the importance of protecting inflows and their groundwater sources for Chinook salmon to persist in this thermally sensitive and highly-valued recreation system.

Thermal imagery does have limitations. In this project, the source and extent of each inflow is not captured in the imagery because the flight path followed the main river channel. Groundwater sources, such as springs or seeps, may originate a significant distance away from the river channel. Since activities that divert groundwater pathways or disrupt surrounding landscapes can reduce, contaminate or warm these cold-water contributions, not having the full extent of the inflow mapped is not ideal. Another limitation of this method is the cost of imagery and spatial analysis (approx. \$1,800/river mile). Drone-based thermal imagery is a promising future approach; however; data quality continues to be an issue (Dugdale et al. 2019).

Conservation Actions by Ownership

Effective conservation actions in the Deshka River watershed will rely on unique opportunities based on land ownership. With only 2% of the study area under private ownership (119 parcels), significant conservation efforts will require working with public land managers. The Alaska Department of Natural Resources and the Mat-Su Borough own and/or manage over 98% of the watershed, so future conservation actions will largely depend on the borough's and state's involvement and support.

Fortunately, Deshka River management plans exist at both the state and borough level. In 1991, the Alaska Department of Natural Resources released the Susitna Basin Recreation Rivers Management Plan designating the Deshka River - along with its upper tributaries, Kroto Creek and Moose Creek - a *Recreation River* by the State of Alaska. The plan is currently under revision thus providing a timely opportunity to incorporate the findings from this project to strengthen riparian protections. In addition, the Mat-Su Borough adopted the Deshka River Recreation Management Plan in 2004 to guide the borough's management decisions to address the increased use and accessibility of borough-owned lands.

A small portion of the land mapped and cold water refugia sites identified do run through privately-owned property. While reaching out to the general public is always worthwhile, this project's mapping and identification allows for targeted outreach that can lead to enthusiastic engagement in conservation by individual landowners, who have the most direct influence on the habitat and water quality of their land.

Conservation Actions through Collaboration

The Mat-Su Basin Salmon Habitat Partnership, which includes multiple stakeholders, is interested in integrating climate change research and projections into future land protection strategies as written in their 2019 Addendum to the Partnership's Strategic Action Plan (Eischeid et al. 2019). The Partnership's strategies include: 1) survey, map, and prioritize Mat-Su riparian lands for long term legal protection and/or restoration by 2020; 2) secure long-term protective status (e.g., conservation easements, designated parks, land acquisition, local ordinance) for at least 10% of priority riparian habitats that have not been significantly altered by 2023; 3) restore an additional 5% of priority riparian salmon habitats that have been altered by 2023; and 4) integrate climate change vulnerability into habitat conservation strategies and prioritizations by 2023.

The Partnership has prioritized and supported stream temperature monitoring to increase our collective knowledge about thermal regimes in Mat-Su Basin streams as a strategy to integrate climate change vulnerability into prioritization efforts. Now, with long-term datasets and the recent acquisition of thermal imagery on the Deshka River, we have an opportunity to apply these data and collaborate for conservation actions.

Cook Inletkeeper coordinated with the Partnership to hold a work session with land managers during the Mat-Su Basin Science & Conservation Symposium in November 2021. Following the Symposium, Cook Inletkeeper, U.S. Fish & Wildlife Service, and the Partnership's Coordinator hosted a series of "Science to Conservation Outcomes" discussions from January – March 2022 to dive deeper into existing tools for conservation. Representatives from the Alaska Department of Fish & Game, Alaska Department of Natural Resources, Alaska Department of Environmental Conservation, Mat-Su Borough, University of Alaska Anchorage, Chickaloon Village Tribe, Fish Tale River Guides, U.S. Fish & Wildlife Service, Kachemak Heritage Land Trust and Great Land Trust shared their feedback, knowledge and identified next steps. Examples of existing tools included reclassifying Mat-Su Borough parcels as "watershed" lands, engaging in the Recreation Rivers Management Plan review process, exploring source-water zones of influence for each groundwater inflow, sending outreach mailers to private landowners, using the Mat-Su Partnership's Science and Data Committee to approve local science for use in the permitting process, creating a Partnership project mapper to make information more accessible to decision makers, getting refugia info into the state's Anadromous Waters Catalog, and supporting local writers to submit articles or letters about the value of cold water.

When the whole group came back together in April 2022, each idea was discussed, prioritized and placed on a timeline. Progress over the next six months included getting support from the Mat-Su Fish & Wildlife Commission to reclassify Mat-Su Borough parcels as “watershed” lands and submitting scoping comments during the Recreation Rivers Management Plan review process highlighting the critical role cold-water inflows play for salmon. In November 2022, Cook Inletkeeper shared progress with Mat-Su Partners and opened up small group discussions about conservation actions to all those at the Symposium. Based on the interest expressed during those discussions, the Partnership will continue to work with Cook Inletkeeper on conservation actions into the future.

Outreach

Recent project outreach included the Mat-Su Basin Salmon Habitat Partnership’s summer site tour. The Partnership brought 33 people out on the Deshka River to share the collaborative scientific research happening there, and to provide community leaders with current information on stream temperature and potential impacts to salmon and their habitat in the Mat-Su – both today, and in the future. Additionally, the National Fish Habitat Partnership announced its list of 10 “Waters to Watch” for 2022 and the Deshka River was listed #1. This recognition reflects the work Cook Inletkeeper, the U.S. Fish and Wildlife Services, and University of Alaska Anchorage have done to close data gaps by monitoring water temperature, streamflow and the distribution of juvenile Chinook and Coho salmon throughout the Deshka watershed; conducting long-term stream temperature monitoring, coupled with remote sensing data to identify cold-water refugia in the Deshka River system which may be critical habitat for salmon in a warming climate; and modeling to estimate how the extent and distribution of thermally suitable habitat has changed over time and how it will change in the future.

CONCLUSION

Anticipating the inevitability of climate-related change to freshwater habitats is essential for the management of Alaska’s salmon populations, which contribute substantially to global wild salmon production and are exceedingly important to Alaska’s ecology, economy, and societal health of Tribal and local communities. Working with the Mat-Su Basin Salmon Habitat Partnership, this project demonstrates the importance of bringing science forward to achieve conservation outcomes by using remote-sensing technology and practical conservation strategies in the upper Cook Inlet watershed. Conservation strategies discussed here are feasible and in-line with existing stakeholder’s goals for protection of important salmon habitat to increase climate resilience.

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<https://doi.org/10.1371/journal.pone.0143905>

**MATANUSKA-SUSITNA BOROUGH
FISH & WILDLIFE COMMISSION RESOLUTION SERIAL NO. FWC 25-02**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH FISH AND WILDLIFE COMMISSION RECOMMENDING MATANUSKA-SUSITNA BOROUGH ASSEMBLY DIRECT ADMINISTRATION TO CLASSIFY KEY BOROUGH-OWNED PARCELS ON THE SHORE OF DESHKA RIVER AS WATERSHED LANDS TO PROTECT SALMON POPULATIONS.

WHEREAS, the Matanuska-Susitna Borough (MSB) Fish and Wildlife Commission (FWC) has reviewed the outcomes of a recent study on the temperature of water entering the Deshka River from adjacent groundwater seeps; and

WHEREAS, this new information shows that certain parcels supporting the cold-water inputs to the Deshka River are essential for maintaining healthy salmon runs on the river; and

WHEREAS, spatial variation in water temperature is a key feature of habitat complexity that contributes to the movement, resilience, and persistence of cold-water fishes, including salmonids; and

WHEREAS, during spawning migration, periods of high river temperatures can block migratory corridors and cause thermal stress or mortality; and

WHEREAS, the Alaska Department of Fish and Game (ADF&G) ranks the Susitna River drainage king salmon population as the fourth largest in the State of Alaska, with Deshka River

providing spawning and rearing habitat for approximately 20 percent of the Susitna River king salmon return on an annual basis; and

WHEREAS, during the 10-year period from 1997-2006 Deshka River king salmon spawning escapements averaged more than 33,000 fish per year and the Deshka River king salmon sport fishery was an important economic driver for the Matanuska - Susitna Borough; and

WHEREAS, even with no sport harvest allowed in 2023 and 2024, not a single Chinook salmon spawning escapement goal was attained anywhere in the Susitna River drainage; and

WHEREAS, unsustainability of Susitna River drainage Chinook salmon is a rapidly accelerating problem; and

WHEREAS, the Deshka River is also a very productive producer of coho salmon within the Susitna River drainage, with Deshka River coho salmon escapements used by ADF&G as a tool for managing coho salmon stocks throughout the entire Susitna River drainage; and

WHEREAS, economic studies in our region in 2007 and 2017 show the significant positive economic impact returning salmon have on the economy of the MSB, that included \$56 million in direct spending benefits to the MSB in 2017 alone, and there are additional economic benefits from healthy wildlife and fish

populations, both of which require adequate and quality habitat locally; and

WHEREAS, the FWC believes it is important that the MSB takes every available action to safeguard healthy salmon runs in local water bodies; and


WHEREAS, the MSB can classify these parcels as watershed lands in recognition of the water quality function they provide that protects salmon habitat.

NOW, THEREFORE, BE IT RESOLVED, that the FWC recommends the Matanuska- Susitna Borough Assembly direct Borough Administration to bring forward legislation classifying key Borough- owned parcels on the shore of the Deshka River as "Watershed" Lands ADOPTED by the Matanuska- Susitna Borough Fish and Wildlife Commission this 13th day of March 13, 2025.



Peter Probasco, Chair

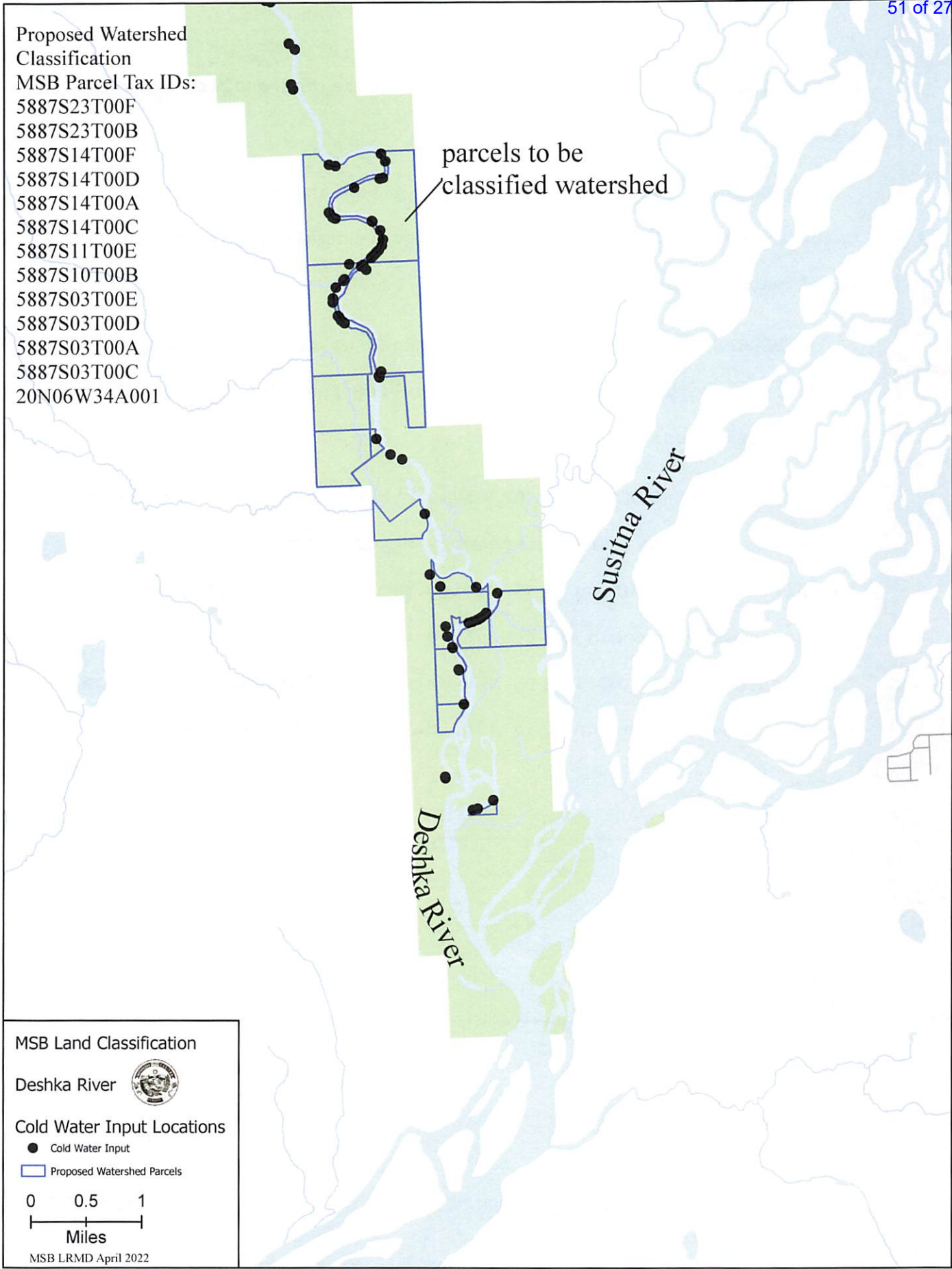
ATTEST:



Margaret Brown, Staff

Proposed Watershed
Classification
MSB Parcel Tax IDs:
5887S23T00F
5887S23T00B
5887S14T00F
5887S14T00D
5887S14T00A
5887S14T00C
5887S11T00E
5887S10T00B
5887S03T00E
5887S03T00D
5887S03T00A
5887S03T00C
20N06W34A001

parcels to be
classified watershed



MSB Land Classification

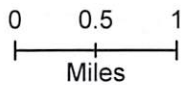
Deshka River



Cold Water Input Locations

● Cold Water Input

▭ Proposed Watershed Parcels



Miles
MSB LRMD April 2022



MATANUSKA-SUSITNA BOROUGH
Community Development
Land & Resource Management Division
350 East Dahlia Avenue
Palmer, Alaska 99645

10
Kendra Zamzow
MSB Fish & Wildlife Commission - SPT 5
PO Box 1250
Chickaloon, AK 99674

MATANUSKA-SUSITNA BOROUGH
PUBLIC NOTICE

Type: Land Classification (MSB008272)

**Tax ID: 5887S23T00F, 5887S23T00B, 5887S14T00F,
5887S14T00D, 5887S14T00A, 5887S14T00C,
5887S11T00E, 5887S10T00B, 5887S03T00E,
5887S03T00D, 5887S03T00A, 5887S03T00C,
20N06W34A001, 20N06W34B001, 20N06W27A001
20N06W27B002**

The Matanuska-Susitna Borough, Land & Resource Management (MSB) is requesting the Planning Commission’s recommendation on land classification and Assembly approval to classify 16 Borough-owned parcels in support of Salmon Habitat. These parcels are along the Deshka River, near the confluence with the Susitna River, up to river mile 9.5. The Alaska Sustainable Salmon Fund sponsored a project to map locations along the Deshka River where cold, oxygen rich water is seeping into the river. Those locations provide essential fish habitat during periods of the summer months when river water temperatures get dangerously high. Classifying those MSB-owned parcels as WATERSHED is a way for the MSB to recognize the importance of those parcels in supplying high-quality water to the Deshka River. The parcels are currently unclassified.

Supporting material is available for public inspection by appointment only during normal business hours on the 2nd floor of the Borough Building in the Land & Resource Management office or visit the Public Notice Section on the Borough’s web page, www.matsu.gov. Public comments are invited on this request. If you have any comments please mail or deliver them to the Borough offices at the address indicated above, no later than **April 30, 2026**. If you have questions about this request or would like to schedule an appointment to view supporting materials, call Emerson Krueger at 907-861-7867 between 8 am - 5 pm or you can send an e-mail to: LMB@matsu.gov (please refer to **MSB008272 Land Classification when submitting comments**).

Comments: I strongly support this! The Deshka has many reaches where water gets so warm it could affect the ability of salmon to reproduce or reach spawning grounds. The classification will highlight the importance of these cold seeps now and in the future.

Signature: Kendra Zamzow

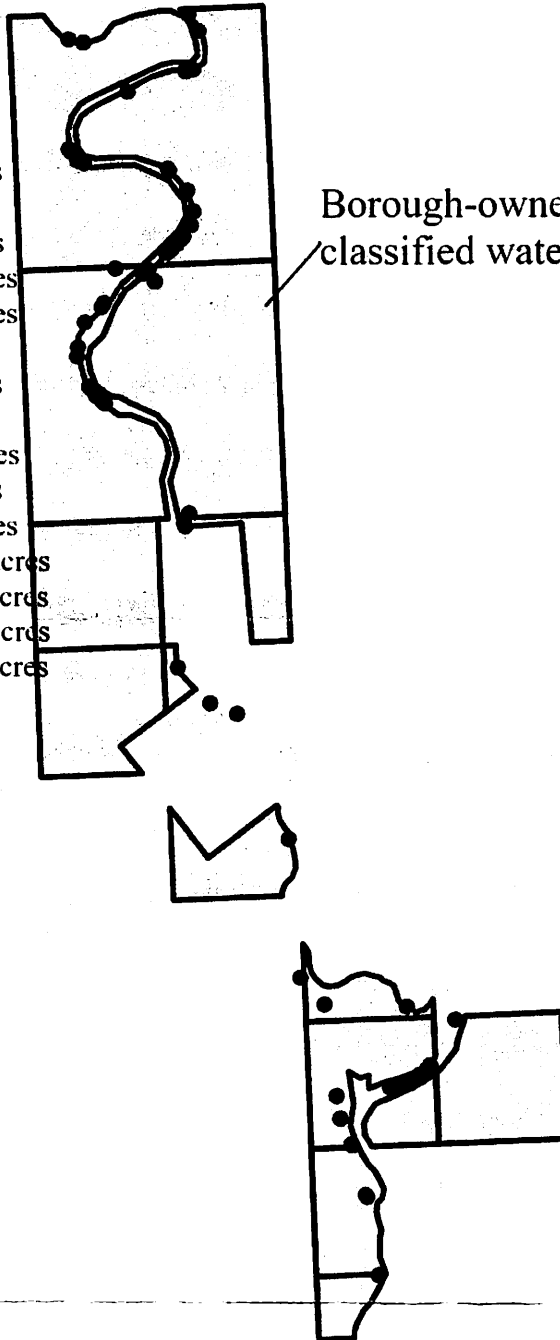
(If you need more space for comments please attach a separate sheet of paper.)
*This public notice & request for comments is in compliance with MSB Code 23.05.025

**Proposed Watershed
 Classification**

MSB Parcel Tax IDs:

- 5887S23T00F - 9 acres
- 5887S23T00B - 32 acres
- 5887S14T00F - 80 acres
- 5887S14T00D - 37 acres
- 5887S14T00A - 149 acres
- 5887S14T00C - 102 acres
- 5887S11T00E - 42 acres
- 5887S10T00B - 78 acres
- 5887S03T00E - 11 acres
- 5887S03T00D - 142 acres
- 5887S03T00A - 57 acres
- 5887S03T00C - 160 acres
- 20N06W34A001 - 358 acres
- 20N06W34B001 - 251 acres
- 20N06W27A001 - 283 acres
- 20N06W27B002 - 306 acres

Borough-owned parcels to be
 classified watershed



Susitna River
Susitna River

Susitna River

Susitna River

Deshka River

Susitna River

MSB008172 - MSB Land Classification

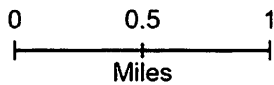
Deshka River



Cold Water Input Locations

● Cold Water Input

▭ Proposed Watershed Parcels



Emerson Krueger

From: Land Management
Sent: Thursday, April 30, 2026 4:17 PM
To: Emerson Krueger
Subject: FW: MSB008272 Land Classification – Deshka River Parcels

From: Margaret Stern <margaret@susitnarivercoalition.org>
Sent: Thursday, April 30, 2026 3:57 PM
To: Land Management <LMB@matsu.gov>
Subject: Re: MSB008272 Land Classification – Deshka River Parcels

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

To the Mat-Su Borough Land and Resource Management Office,

I write on behalf of the Susitna River Coalition to support MSB008272 Land Classification- Deshka River Parcels.

The Susitna River Coalition is a nonprofit watershed health organization. We strongly support the Matanuska-Susitna Borough's proposal to classify 16 Borough-owned parcels along the Deshka River as WATERSHED lands.

The Deshka River is a major tributary of the Susitna River and supports some of the most important salmon habitat in the region. The parcels identified in this proposal are associated with mapped cold-water inputs that provide critical thermal refuge for salmon during periods of elevated summer temperatures. These areas play an outsized role in maintaining habitat quality when fish are most vulnerable.

This proposal reflects a clear connection between strong research and effective policy. Recent work supported by the Alaska Sustainable Salmon Fund has identified specific locations where cold, oxygen-rich groundwater enters the river. These places are disproportionately important to salmon during seasonal stress. Classifying these lands as WATERSHED is a straightforward way for the Borough to recognize and protect that function.

This is also a clear, actionable step the Borough can take, providing a unique opportunity to preemptively safeguard salmon habitat in the Mat-Su. As changing conditions continue to affect water temperature and fish distribution across Southcentral Alaska, protecting groundwater-fed habitats and cold-water refugia will only become more important.

We encourage the Borough to move forward with this classification.

Thank you for your consideration,

Margaret Stern

--

Margaret Stern
Program & Communications Director, Susitna River Coalition
margaret@susitnarivercoalition.org

PICK.CLICK.GIVE. to SRC! Your donation and support directly benefit the free-flowing Susitna River and Susitna River Watershed
You can also donate directly HERE!



April 30, 2026

Comments submitted by: Mat-Su Basin Salmon Habitat Partnership

Matanuska-Susitna Borough
350 E. Dahlia Ave.
Palmer, Alaska
99645

Re: MSB008272 Land Classification

Dear Mr. Krueger and Mat-Su Borough staff,

I am submitting this letter as a preliminary public comment on behalf of the Mat-Su Basin Salmon Habitat Partnership regarding MSB008272 Land Classification.

The Mat-Su Basin Salmon Habitat Partnership (Partnership) represents businesses, governments, landowners, Native Alaskans, and the non-profit community. Since its inception in 2005, the Partnership has brought together a diverse coalition of more than 65 members, including the Mat-Su Borough. The Partnership has a strong interest in this topic, and we look forward to engaging with more detailed written and oral comments during the upcoming process considering cold water refugia on the Deshka River as watershed lands.

Healthy cold-water habitat is foundational to healthy fisheries. The Partnership encourages the application of relevant local science to help inform local policies, such as land classifications, that affect fisheries and the communities that depend on them.

We appreciate the interest and efforts of Assembly member Gamble, the MSB Fish and Wildlife Commission, and Borough staff in bringing this science forward for consideration.

The Partnership has a standing Science and Data Committee and significant technical expertise. Please feel welcome to call upon us if we can provide any assistance or technical resources during this process.

Sincerely,

A handwritten signature in black ink, appearing to read "Jessica Speed", is written over a light blue horizontal line.

Jessica Speed
Coordinator, Mat-Su Basin Salmon Habitat Partnership



MATANUSKA-SUSITNA BOROUGH
 Community Development
 Land & Resource Management Division
 350 East Dahlia Avenue
 Palmer, Alaska 99645

Planning Commission Packet
 May 18, 2026
 57 of 278

RECEIVED
 APR 30 2026
 PERMIT CENTER

MATANUSKA-SUSITNA BOROUGH
 PUBLIC NOTICE

Type: Land Classification (MSB008272)

Tax ID: 5887S23T00F, 5887S23T00B, 5887S14T00F,
 5887S14T00D, 5887S14T00A, 5887S14T00C,
 5887S11T00E, 5887S10T00B, 5887S03T00E,
 5887S03T00D, 5887S03T00A, 5887S03T00C,
 20N06W34A001, 20N06W34B001, 20N06W27A001
 20N06W27B002

The Matanuska-Susitna Borough, Land & Resource Management (MSB) is requesting the Planning Commission's recommendation on land classification and Assembly approval to classify 16 Borough-owned parcels in support of Salmon Habitat. These parcels are along the Deshka River, near the confluence with the Susitna River, up to river mile 9.5. The Alaska Sustainable Salmon Fund sponsored a project to map locations along the Deshka River where cold, oxygen rich water is seeping into the river. Those locations provide essential fish habitat during periods of the summer months when river water temperatures get dangerously high. Classifying those MSB-owned parcels as WATERSHED is a way for the MSB to recognize the importance of those parcels in supplying high-quality water to the Deshka River. The parcels are currently unclassified.

Supporting material is available for public inspection by appointment only during normal business hours on the 2nd floor of the Borough Building in the Land & Resource Management office or visit the Public Notice Section on the Borough's web page, www.matsu.gov. Public comments are invited on this request. If you have any comments please mail or deliver them to the Borough offices at the address indicated above, no later than **April 30, 2026**. If you have questions about this request or would like to schedule an appointment to view supporting materials, call Emerson Krueger at 907-861-7867 between 8 am - 5 pm or you can send an e-mail to: LMB@matsu.gov (please refer to MSB008272 Land Classification when submitting comments).

Comments: Has the Mat Su Borough contacted Property Owners near the land reclassification to give them an opportunity to comment? Will this land reclassification violate state statues 2477, 19.45.001(a), ANILCA section 1110 a and 43 CFR 36.11 by cutting people off accessing their cabins?

Signature: Ethan Huddleston

Proposed Watershed
 Classification

MSB Parcel Tax IDs:

- 5887S23T00F - 9 acres
- 5887S23T00B - 32 acres
- 5887S14T00F - 80 acres
- 5887S14T00D - 37 acres
- 5887S14T00A - 149 acres
- 5887S14T00C - 102 acres
- 5887S11T00E - 42 acres
- 5887S10T00B - 78 acres
- 5887S03T00E - 11 acres
- 5887S03T00D - 142 acres
- 5887S03T00A - 57 acres
- 5887S03T00C - 160 acres
- 20N06W34A001 - 358 acres
- 20N06W34B001 - 251 acres
- 20N06W27A001 - 283 acres
- 20N06W27B002 - 306 acres

Borough-owned parcels to be
 classified watershed

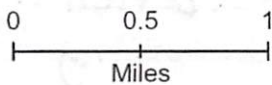
MSB008172 - MSB Land Classification

Deshka River

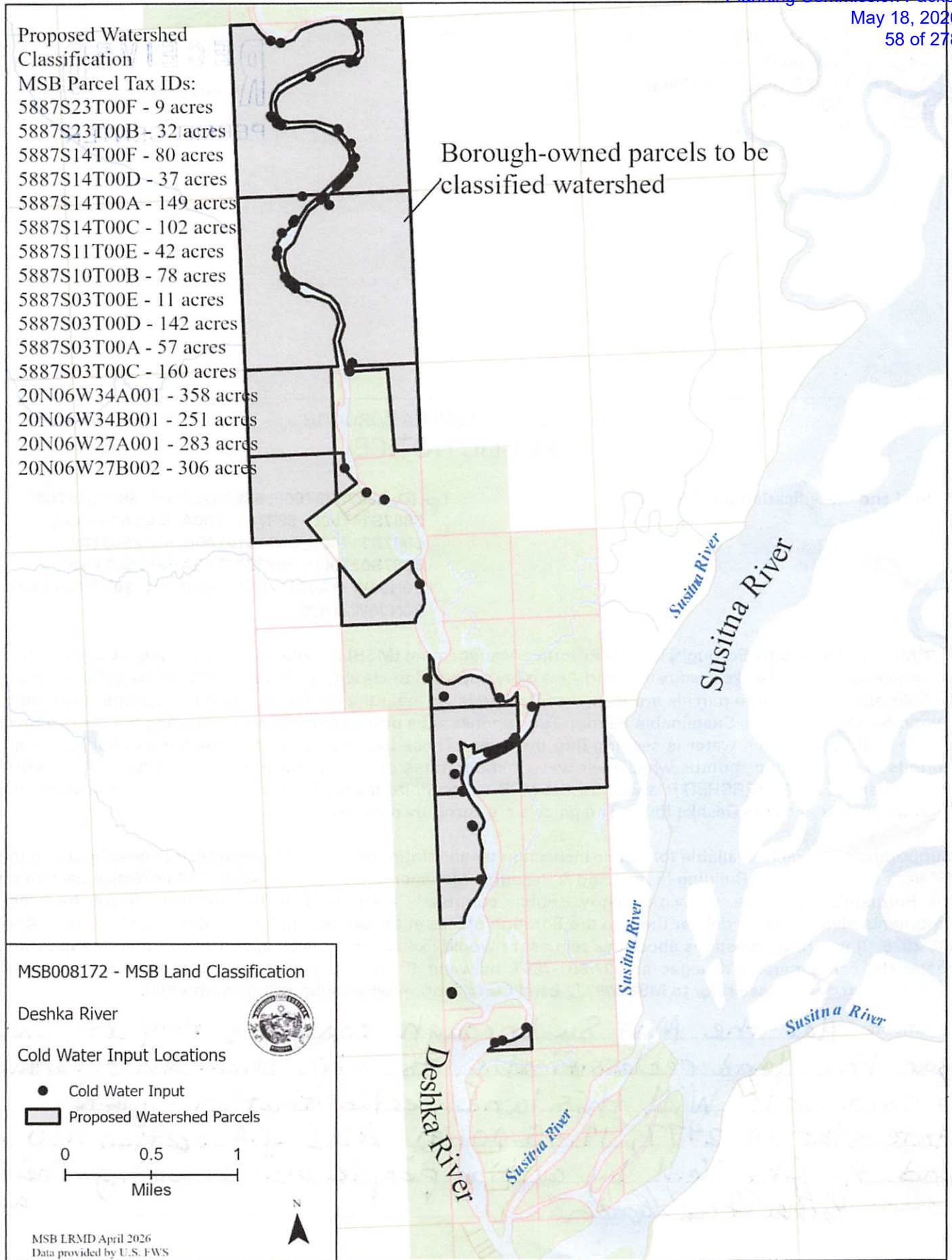
Cold Water Input Locations

● Cold Water Input

▭ Proposed Watershed Parcels



MSB LRMD April 2026
 Data provided by U.S. FWS



By: E. Krueger
Public Hearing: May 18, 2026
Action:

**MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. 26-08**

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION RECOMMENDING APPROVAL OF AN ORDINANCE CLASSIFYING KEY BOROUGH-OWNED PARCELS ON THE SHORE OF THE DESHKA RIVER AS WATERSHED LANDS TO PROTECT SALMON POPULATIONS. (MSB008272)

WHEREAS, the Matanuska-Susitna Borough (MSB) Planning Commission has reviewed the outcomes of a recent study on the temperature of water entering the Deshka River from adjacent groundwater seeps; and

WHEREAS, this new information shows that certain parcels supporting the cold-water inputs to the Deshka River are essential for maintaining healthy salmon runs in the river; and

WHEREAS, spatial variation in water temperature is a key feature of habitat complexity that contributes to the movement, resilience, and persistence of cold-water fishes, including salmon; and

WHEREAS, during spawning migration, periods of high river temperatures can block migratory corridors and cause thermal stress and mortality; and

WHEREAS, the Alaska Department of Fish and Game (ADFG) ranks the Susitna River drainage king salmon population as the fourth

largest in the State of Alaska, with the Deshka River providing spawning and rearing habitat for approximately 20 percent of the Susitna River king salmon return on an annual basis; and

WHEREAS, during the 10-year period from 1997-2006 Deshka River king salmon spawning escapements averaged more than 33,000 fish per year and the Deshka River king salmon sport fishery was an important economic driver for the MSB; and

WHEREAS, even with no sport harvest allowed in 2023, 2024, and 2025, not a single king salmon spawning escapement goal was attained anywhere in the Susitna River drainage and the sport fishery is closed again for 2026; and

WHEREAS, unsustainability of the Susitna River drainage king salmon population is a rapidly accelerating problem; and

WHEREAS, the Deshka River has a very productive silver salmon run within the Susitna River drainage, with Deshka River silver salmon escapements used by ADFG as a tool for managing silver salmon stocks throughout the entire Susitna River drainage; and

WHEREAS, local economic studies in 2007 and 2017 show the significant positive economic effect returning salmon have on the MSB economy, that included \$56 million in direct spending benefits to the MSB in 2017 alone, and there are additional economic benefits from healthy wildlife and fish populations; and

WHEREAS, the Fish and Wildlife Commission and the Planning Commission believe it is important the MSB takes every available action to safeguard healthy salmon runs in local water bodies; and

WHEREAS, the MSB can classify these parcels as watershed lands in recognition of the water quality function they provide that protects salmon habitat; and

WHEREAS, a Borough inter-departmental review was conducted, along with 30-day public notice in accordance with Title 23 and Land and Resource Management Policy and Procedures adopted by the Matanuska-Susitna Borough; and

WHEREAS, through land classification, the parcels identified as essential for salmon habitat cannot be changed without Assembly approval.

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby recommends Assembly approval of the land classification contained in Exhibit A.

ADOPTED by the Matanuska-Susitna Borough Planning Commission
this 18th day of May, 2026.

RICHARD ALLEN, Chair

ATTEST

LACIE OLIVIERI, Planning Clerk

(SEAL)

YES:

NO:

DRAFT

Land Classification Casefile MSB008272

Deshka Cold Water Refugia

Exhibit A: Parcels List

#	Tax ID	Acres	TRS	Parcel ID	Existing Classification	Proposed Classification
1	5887S23T00F	12.4	S 19N06W23	88810	Public Rec	Watershed, Public Rec
2	5887S23T00B	37.12	S 19N06W23	68170	Public Rec	Watershed, Public Rec
3	5887S14T00F	81.17	S 19N06W14	33720	Public Rec	Watershed, Public Rec
4	5887S14T00D	46.2	S 19N06W14	76118	Public Rec	Watershed, Public Rec
5	5887S14T00A	148.65	S 19N06W14	80419	Public Rec	Watershed, Public Rec
6	5887S14T00C	90.35	S 19N06W14	43892	Public Rec	Watershed, Public Rec
7	5887S11T00E	55.18	S 19N06W11	59752	Public Rec	Watershed, Public Rec
8	5887S10T00B	87.88	S 19N06W10	38349	Public Rec	Watershed, Public Rec
9	5887S03T00E	12.66	S 19N06W03	7941	Public Rec	Watershed, Public Rec
10	5887S03T00D	135.7	S 19N06W03	84786	Public Rec	Watershed, Public Rec
11	5887S03T00A	57.8	S 19N06W03	9950	Public Rec	Watershed, Public Rec
12	5887S03T00C	158.62	S 19N06W03	87431	Public Rec	Watershed, Public Rec
13	20N06W34A001	356.53	S 20N06W34	62376	Land Bank	Watershed, Land Bank
14	20N06W34B001	253.18	S 20N06W34	82343	Land Bank	Watershed, Land Bank
15	20N06W27A001	284.4	S 20N06W27	2962	Land Bank	Watershed, Land Bank
16	20N06W27B002	306.1	S 20N06W27	63092	Land Bank	Watershed, Land Bank

Public Hearing: Quasi-Judicial Matters

Resolution 26-05

A Conditional Use Permit In Accordance With MSB 17.30 Conditional Use Permit For Earth Materials Extraction Activities To Extract Approximately 360,000 Cubic Yards Of Gravel Over 10 Years Located at 20254 West Susitna Parkway (Tax ID# 16N04W03A009), Within Township 16 North, Range 4 West, Section 3, Seward Meridian.
Staff: Wade Long, Development Services Manager

Staff Report



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue, Palmer, AK 99645

Phone (907) 861-7822

www.matsu.gov

DEVELOPMENT SERVICES DIVISION STAFF REPORT

Date: May 4, 2026

File Number: EARTH 2023-010265


**Applicant/
Property Owner:** Rick Antonio, on behalf of Ficklin Gravel Products, LLC


Request: Request for Earth Materials Extraction Conditional Use Permit in accordance with MSB Chapter 17.30 – Conditional Use Permit (CUP) for Earth Materials Extraction Activities

Location: 20254 W. Susitna Parkway, Tax ID #16N04W03A009, within Township 16 North, Range 4 West, Section 3, Seward Meridian

Size of Property: 22.08 acres

Size of Mining Site: Approximately 17 acres

Staff: Mark Whisenhunt, Current Planner 

Reviewed By: Wade Long, Development Services Manager 

Staff Recommendation: Approval with conditions

EXECUTIVE SUMMARY

The Conditional Use Permit will allow the removal of approximately 280,000-360,000 cubic yards of earth material for up to 10 years from the date of permit issuance. The total area of earth material extraction activity will occur on approximately 17 acres within the 22.08-acre parcel. A Conditional Use Permit for material extraction is required under MSB 17.30 – Conditional Use Permit for Earth Materials Extraction Activities.

LAND USE

Background:

On July 6, 2023, the Borough issued Ficklin Gravel Products a 2-year Administrative Permit (173020230001) for earth material extraction activities of up to approximately 60,000 cubic yards, valid through July 6, 2025.

On August 14, 2025, the Borough approved a 6-month extension to the Ficklin Gravel Products Administrative Permit, valid through January 6, 2026.

Existing Land Use:

The subject parcel is 22.08 acres in size, has uneven terrain, and is heavily wooded. It consists mostly of spruce and birch trees, with one commercial structure, a shop for the material extraction operation, constructed around 2024. Aerial imagery taken of the subject property between 2022 and 2025 suggests that earth material extraction activities occurred on approximately 5 acres on the northeast and eastern portions of the property, where access to the site is made from West Susitna Parkway. Approximately 15 acres in the western, central, and southern portions of the subject property remain mostly undisturbed and are heavily wooded with uneven terrain. The site is located within the Big Lake Road Service Area, Assembly District 5, and the Big Lake Community Council area.

Surrounding Land Uses:

Three 5-acre parcels with residential uses abut a majority of the subject parcel's northern lot line. West Susitna Parkway and a vacant parcel 1.03 acres in size abuts the remainder of the northeastern portion of the subject property. A vacant parcel 22.94 acres in size abuts most of the subject parcel's eastern lot line. The southern lot line abuts a vacant parcel measuring 360 acres. Three parcels abut the subject parcel's western lot line, the smallest being 4.06 acres in size. Of these three, two are residential use and one was previously used as a material extraction site from April 2017 to April 2019.

Parcels within a half mile of the subject parcel range in both size, use, and ownership, from .34 to 360 acres of vacant, residential, commercial, private and Borough ownership. Properties located to the southwest, southeast, and east of the subject property are vacant and undeveloped. Properties located to the west, northwest, and northeast of the subject property are predominantly residential. Big Lake is located approximately one-half mile to the northeast of the subject parcel.

Matanuska-Susitna Borough Economic Development Strategic Plan (2010 Update):

The MSB Economic Development Strategic Plan offers the following information beginning on page 29.

Strategy 1G, in part, states: *“Promote the sustainable development of Mat-Su’s natural resources for economic development. The MSB should support sustainable natural resource development and the natural resource industries with an emphasis on meeting local needs and local value-added product manufacturing, as well as ensuring compatibility with other parts of the local economy. Indeed, natural resource development is a high priority for the Borough Assembly. The main natural resources in Mat-Su, in addition to agricultural land, include coal, gravel, timber, some gold mining, and some metallic mineral potential.”*

Action 1G-3, in part, states: *“Work with the gravel mining industry to balance the need for the sector’s growth with other economic development considerations, as well as environmental and resource protection. The MSB is developing gravel operations while addressing community and other economic development concerns regarding buffers from roadways, water protection, and reclamation. These regulations should balance the concerns of gravel mining businesses with the need to protect the environment and visual beauty of the Borough.”*

REVIEW OF APPLICABLE CRITERIA AND FINDINGS

Section 17.03 Public Notification

On April 3, 2026, a total of 66 notices were mailed to all property owners within a ½ mile radius of the subject properties, and to the Big Lake Community Council. The permit application notification was published in the April 3, 2026, issue of the Frontiersman newspaper. The application notice was posted on the Borough website for public review on March 25, 2026. A request for comment was also emailed to various agencies and the Big Lake Community Council on March 25, 2026. One comment was received from the public, noting concerns with the condition and width of Susitna Parkway and Big Lake Road.

Section 17.30.030 Types of Permits Available

(A) There are two types of permits available for earth material extraction:

- (1) Administrative permit – a use permit approved by the director with public notification may be issued if the proposed development meets the minimum thresholds for an administrative decision.*
- (2) Conditional use permit – a conditional use permit granted by the Planning Commission after a public hearing, when the proposed development goes beyond the minimum threshold for an administrative permit.*

Findings of Fact:

1. The applicant submitted a Conditional Use Permit application to the Borough on April 7, 2023.
2. The applicant proposes the removal of approximately 280,000-360,000 cubic yards of earth material for up to 10 years from the date of permit issuance.
3. The total area of earth material extraction activity will occur on approximately 17 acres within the 22.08-acre parcel.
4. According to the application material, a batch plant is not proposed at this site.
5. According to the application material, extraction activities on the subject parcel are anticipated to conclude by the end of the 2036 operational season.

Conclusion of Law: Based on the above findings, the applicant meets the criteria to qualify for a Conditional Use Permit for earth material extraction activities (MSB 17.30.030(A)(2)).

Section 17.30.055 Required Compliance With State And Federal Laws

(A) All applicants for permits for earth material extraction are required to demonstrate compliance with state and federal law. Prior to final approval of the permit, the applicant or agent shall provide written documentation of compliance with the following:

- (1) mining license as required by the Alaska State Department of Revenue, pursuant to A.S. 43.65;*
- (2) mining permit as required by the Alaska State Department of Natural Resources (ADNR) if extraction activities are to take place on state land;*
- (3) reclamation plan as required by ADNR, pursuant to A.S. 27.19;*
- (4) notice of intent (NOI) for construction general permit or multi-sector general permit and stormwater pollution prevention plan, and other associated permits or plans*

*required by the Environmental Protection Agency (EPA) pursuant to the National Pollutant Discharge Elimination System (NPDES) requirements; and
(5) United States Army Corps of Engineers permit pursuant to Section 404 of the Clean Water Act, 33 U.S.C. 1344, if material extraction activity is to take place within wetlands, lakes and streams.*

Findings of Fact:

1. An Alaska State Department of Revenue mining license is not required for this application because Alaska law was amended in 2012, and rock, sand, and gravel quarries are now exempt from the requirement.
2. An Alaska State Department of Natural Resources (ADNR) mining permit is not required for this application because the extraction activities will not occur on state land.
3. According to the application material, the operation on the subject parcel is exempt from the Alaska State Department of Natural Resources requirements for a reclamation plan because the total disturbed area will be less than 5 acres, less than 50,000 cubic yards of material will be extracted on an annual basis, and less than five acres of the un-reclaimed area will exist.
4. According to the application material, the applicant filed a Letter of Intent to the Alaska State Department of Natural Resources Commissioner's office, citing the operations exemption from state reclamation requirements.
5. The applicant is required to file an annual reclamation statement with the Alaska State Department of Natural Resources at the end of each year.
6. According to the application material, the proposed operation on the subject parcel is exempt from State of Alaska requirements for a notice of intent for a construction general permit, a multi-sector general permit, a storm water pollution prevention plan, and other associated permits or plans required by the Department of Environmental Conservation (DEC) pursuant to the Alaska Pollutant Discharge Elimination System (APDES).
7. According to the application material, a United States Army Corps of Engineers permit pursuant to Section 404 of the Clean Water Act is not required for this application as the applicant is not proposing any extraction activity to take place within any identified wetlands, lakes, streams, or other water bodies.

Discussion: Comments from ADNR noted that it still needed permission from one of the property owners before it can process the reclamation plan submitted by Ficklin Construction, LLC. Staff recommends a condition that this be resolved prior to operation.

Conclusion of Law: The applicant has demonstrated compliance with state and federal laws listed in MSB 17.30.055(A).

Section 17.30.060 General Standards for Approval

(B) In granting a conditional use permit, the commission must make the following findings:

- (1) that the use is not inconsistent with the applicable comprehensive plan;*

Findings of Fact:

1. The subject property is located within the boundary of the Big Lake Community Council area.
2. The Big Lake Comprehensive Plan classifies the area where the subject property is located as “dispersed residential”, which is defined as a rural residential area where lots are larger, and the natural setting is more dominant.
3. The Big Lake Comprehensive Plan does not specifically address natural resource development or sand and gravel extraction activities.
4. The Economic Development Strategic Plan Strategy 1G in part, states: Promote the sustainable development of Mat-Su’s natural resources for economic development. The MSB should support sustainable natural resource development and the natural resource industries with an emphasis on meeting local needs and local value-added product manufacturing, as well as ensuring compatibility with other parts of the local economy. Indeed, natural resource development is a high priority for the Borough Assembly. The main natural resources in Mat-Su, in addition to agricultural land, include coal, gravel, timber, some gold mining, and some metallic mineral potential.
5. The Economic Development Strategic Plan Action 1G-3, in part, states: Work with the gravel mining industry to balance the need for the sector’s growth with other economic development considerations, as well as environmental and resource protection. The MSB is developing gravel regulations and guidelines to provide for continued commercial gravel operations while addressing community and other economic development concerns regarding buffers from roadways, water protection, and reclamation. These regulations should balance the concerns of gravel mining businesses with the need to protect the environment and visual beauty of the Borough.
6. According to the application material, topsoil, gravel, and screened gravel will be extracted from the subject parcel.

Conclusion of Law: Based on the above findings, the proposed use is consistent with the applicable comprehensive plans (MSB 17.30.060(A)(1)).

(2) that the use will preserve the value, spirit, character, and integrity of the surrounding area;

Findings of Fact:

1. According to the application material, the total area of earth material extraction activity will occur on approximately 17 acres within the 22.08-acre parcel.
2. According to the application material, extraction activities on the subject parcel are anticipated to conclude by the end of the 2036 construction season.
3. Three residential parcels 5 acres in size abut most of the subject parcel’s northern lot line.
4. West Susitna Parkway and a vacant parcel 1.03 acres in size abuts the northeastern portion of the subject property.
5. A section line easement exists along most of the eastern lot line on the subject parcel.
6. A vacant parcel 22.94 acres in size abuts a majority of the subject parcel’s eastern lot line.
7. The subject parcel’s southern lot line abuts a vacant parcel 360 acres in size that is owned by the Matanuska-Susitna Borough.

8. Three residential parcels abut the subject parcel's western lot line, the smallest being 4.06 acres in size.
9. Parcels within a half mile of the subject parcel range in size from .34 to 360 acres.
10. Surrounding land uses within a half mile of the subject parcel vary from vacant, residential, and commercial.
11. According to the application material, a combination of visual screening methods has been incorporated into the operating plan on the subject parcel such as the use of natural topography, and the retention of vegetative buffers measuring at least 50 feet in width.
12. According to the application material, water trucks will be used as needed during operations as a dust control measure.
13. According to the application material, topsoil, gravel, and screened gravel will be extracted from the subject parcel.
14. According to the application material, the applicant is not proposing to mine below or within four feet of the seasonal high-water table.
15. According to the application material, test holes and monitoring tubes will be used to verify the absence of groundwater.
16. According to the application material, well logs closest to the subject parcel indicate groundwater is approximately 50 feet below the lowest final proposed grade.
17. According to the application material, slopes will be left at 2:1 (H:V) which meets the standards of MSB 17.28.067(D) that requires a maximum 50 percent (2:1) slope or the natural stabilized angle of repose of the existing earth material.
18. Based on the application material, the operation will shut down during winter months and closure will be determined by frozen ground conditions, borough roadway weight restriction limits, and the needs of ongoing road construction projects.
19. According to the application material, operations will occur seasonally, seven days a week, between the hours of 7:00 a.m. and 7:00 p.m.
20. According to the application material, the proposed peak hour of operations will be approximately 2:00 p.m. to 3:00 p.m.; with an estimated 24 trucks per hour to serve local projects.
21. According to the application material, non-peak hour operations will generate approximately 8-10 truckloads of gravel.
22. According to the application material, the operation will not use asphalt or concrete plants.
23. According to the application material, the extraction operation will employ an excavator, loaders, and a mobile screening plant for daily use. Additional dozers, loaders, and excavators will be available for increased workloads.
24. Earth material extraction activities are a commercial use that can cause excessive noise, dust, and heavy truck traffic.
25. According to ADEC's website tracking tool, the proposed use is not within the "drinking water protection area" for a public water system.

Conclusion of Law: Based on the above findings, the proposed use will not detract from the value, spirit, character, and integrity of the surrounding area (MSB 17.30.060(A)(2)).

(3) that the applicant has met all other requirements of this chapter pertaining to the use in question;

Finding of Fact:

1. According to the application material, the reclamation plan includes stabilization of the site slopes by placing unusable soil material to flatten the slope to 2'H to 1'V.
2. According to the application material, the disturbed areas will be reclaimed with 4" of compacted topsoil and seeded with a certified seed mix suitable for Alaska conditions and free of noxious weeds or other undesirable species.
3. According to the application material, the pit will be reclaimed in stages, and slopes will be stabilized during extraction.
4. According to the application material, during extraction, the bottom of the pit will be graded to a -0.5% slope to the north; this slope will be maintained after reclamation.
5. According to the application material, upon reclamation, the site will be unpaved, covered in topsoil, and seeded.
6. According to the application material, reclamation will be completed no later than 2037.
7. All site plans and site development requirements have been provided.
8. The designated application fee has been paid by the applicant.

Conclusion of Law: Based on the above findings, the applicant has met all the requirements of this chapter per MSB 17.30.060(A)(3).

(4) that granting the permit will not be harmful to the public health, safety and general welfare;

Findings of Fact:

1. According to the application material, slopes will be left at 2:1 (H:V) which meets the standards of MSB 17.28.067(D) that requires a maximum 50 percent (2:1) slope or the natural stabilized angle of repose of the existing earth material.
2. According to the application material, the proposed operation incorporates a combination of visual screening methods, such as natural topography, vegetative buffer retention, and the phasing design, which uses the working face to screen the operation from neighboring uses.
3. According to the application material, the operation will extract earth material from the bottom of the cut slope, also known as the working face, working from south to north in the middle of the subject properties. This will allow the slope to mitigate noise and provide visual buffering to adjacent properties.
4. According to the application material, a combination of visual screening methods has been incorporated into the operating plan on the subject parcel such as the use of natural topography, constructed berms, and the retention of vegetative buffers measuring at least 50 feet in width.

5. Access to the subject parcel is made from West Susitna Parkway, via an existing driveway for which the applicant is working with the public works department and the permit center to obtain a commercial driveway permit.
6. According to the application material, water trucks will be used as needed during operations as a dust control measure.
7. The applicant is not proposing to mine below or within four feet of the water table.
8. According to the application material, test holes and monitoring tubes will be used to verify the absence of groundwater.
9. According to the application material, well logs closest to the subject parcel indicate groundwater is approximately 50 feet below the lowest final proposed grade.
10. According to the application material, the applicant filed a Letter of Intent to the Alaska State Department of Natural Resources Commissioner's office, citing the operations exemption from state reclamation requirements.
11. According to the application material, a batch plant is not proposed at this site.
12. Based on the application material, the operation will shut down during winter months and closure will be determined by frozen ground conditions, borough roadway weight restriction limits, and the needs of ongoing road construction projects.
13. According to the application material, extraction activities on the subject parcel are anticipated to conclude by the end of the 2036 operational season.
14. West Susitna Parkway is classified as a Major Collector roadway.
15. According to the application material, the operation will use track-out best management practices at the site entrance to help vibrate loose soils before trucks enter the roadway.

Conclusion of Law: Based on the above findings, the proposed use with conditions, will not be harmful to public health, safety, convenience, and welfare (MSB 17.30.060(A)(4)).

(5) that the sufficient setbacks, lot area, buffers or other safeguards are being provided to meet the conditions listed in MSB 17.30.050(B).

Findings of Fact:

1. According to the application material, the total area of earth material extraction activity will occur on approximately 17 acres within the 22.08-acre parcel.
2. According to the application material, semi-permanent structures and/or equipment will not be constructed or placed within setbacks or section line easements.
3. According to the application material, an encroachment exists on the subject parcel caused by a vacant and dilapidated structure belonging to the owner of lot A4.
4. According to the application material, slopes will be left at 2:1 (H:V) which meets the standards of MSB 17.28.067(D) that requires a maximum 50 percent (2:1) slope or the natural stabilized angle of repose of the existing earth material.
5. According to the application material, the proposed operation incorporates a combination of visual screening methods, such as natural topography, vegetative buffer retention, and

the phasing design, which uses the working face to screen the operation from neighboring uses.

6. According to the application material, the operation will extract earth material from the bottom of the cut slope, also known as the working face, working from south to north in the middle of the subject properties. This will allow the slope to mitigate noise and provide visual buffering to adjacent properties.
7. According to the application material, a combination of visual screening methods has been incorporated into the operating plan on the subject parcel such as the use of natural topography, and the retention of vegetative buffers measuring at least 50 feet in width.
8. Access to the subject parcel is made from West Susitna Parkway, via an existing permitted driveway.
9. The closest residential structure is approximately 225 feet from the subject property's western lot line.

Discussion: The application indicates that a vacant, dilapidated structure owned by the owner of Lot A4 encroaches into the flag portion of the northeastern area of the subject property. Staff conducted a site visit on April 23, 2026, and observed a vacant, dilapidated structure on the east side of the driveway entrance. Based on 2022 aerial imagery, the structure appears to encroach onto the subject property. The Borough cannot require the applicant to remove the structure; however, the applicant may pursue removal independently.

An as-built survey dated August 3, 2025, shows a shop structure encroaching into the required 25-foot setback from the section line easement to the east. Most corrective work has been completed to address the violation. Specifically, an interior wall has been constructed to comply with setback requirements. The applicant has indicated that the remaining exterior wall will be removed prior to operation. A subsequent as-built survey dated April 17, 2026, prepared by Lavender Survey & Mapping, indicates the building is now in compliance. Staff recommend a condition requiring the applicant to provide evidence that the remaining portion of the building (the east-side exterior wall) has been removed from the setback area.

Bradley Ficklin Sr. co-owns the subject property and owns the three lots abutting the north and west property lines. Earthwork to cut a hill and fill a low area has occurred across a common lot line. Although a permit to extract material is in place, this work is not authorized outside the permitted area. The applicant has acknowledged this issue and agreed to ensure it does not recur. Staff recommend a condition requiring property lines to be surveyed and marked with lath at 50-foot intervals to ensure that no earth material extraction occurs beyond the boundaries of the subject parcel.

Conclusion of Law: Based on the above findings, with conditions, sufficient setbacks, lot area, buffers, or other safeguards are being provided (MSB 17.30.060(A)(5)).

Section 17.28.060 Site Development Standards

(A) Standards for the earth materials extraction site development plan are as follows:

- (1) identification of surrounding property owners, existing land uses, and wetlands and waterbodies within one-quarter mile of the site;*

Findings of Fact:

1. Maps are included in the record identifying surrounding property ownership, existing land uses, wetlands, and waterbodies within one-quarter mile of the proposed site.
2. According to the application material, earth material extraction activities will not take place within one-quarter mile of any identified wetlands or waterbodies.

Conclusion of Law: The surrounding property ownership, existing land uses, wetlands, and water bodies within the notification area are identified (MSB 17.28.060(A)(1)).

(2) phases of proposed mining activities including a map showing the area to be mined, a description of the topography and vegetation, approximate time sequence for mining at particular locations, and general anticipated location of semi-permanent equipment such as conveyer belts, crushers, dredges, batch plants, etc.;

Findings of Fact:

1. The applicant proposes the removal of approximately 280,000-360,000 cubic yards of earth material for up to 10 years from the date of permit issuance.
2. The total area of earth material extraction activity will occur on approximately 17 acres within the 22.08-acre parcel.
3. A site plan is included in the record showing the location of the earth materials extraction site.
4. A topographic contour map, bare earth map, and aerial photography are included in the record. These items show topographic features and vegetation of the subject property and adjacent properties.
5. According to the application material, semi-permanent structures and/or equipment will not be constructed or placed within setbacks or section line easements.
6. According to the site plan, a portable screening plant will be positioned on the subject parcel centrally located on the west side of the proposed mining area.
7. According to the application material, a batch plant is not proposed at this site.
8. The record includes a site plan showing the location of the earth materials extraction site, including phases of mining within the subject parcels.
9. The record includes a topographic contour map, bare earth map, aerial photography, and photos from staff's site visit. These items show the topographic features and vegetation of the subject property and adjacent properties.
10. According to the application material, the proposed operation includes 4 phases through 2036, with the final phase in the west portion of the subject parcel.
11. According to the application material, approximately 30,000-50,000 cubic yards of earth material will be extracted annually during the permitted period.
12. According to the application material, the operation will not use asphalt or concrete plants.
13. According to the application material, slopes will be left at 2:1 (H:V) which meets the standards of MSB 17.28.067(D) that requires a maximum 50 percent (2:1) slope or the natural stabilized angle of repose of the existing earth material.

14. According to the application material, the operation's phasing plan utilizes the existing topography and vegetation to minimize any visual and noise effects on adjacent uses.

Conclusion of Law: The phases of proposed mining activities, a description of the topography and vegetation, and an approximate time sequence for the duration of the mining activity are identified. Permanent, semi-permanent, or portable equipment is not anticipated to be located within the required setbacks (MSB 17.28.060(A)(2)).

(3) The road and access plan shall include anticipated routes and traffic volumes, and shall be approved by the director. If the level of activity exceeds the minimum levels specified in MSB 17.61.090, traffic standards, a traffic control plan consistent with state regulations may be required

Findings of Fact:

1. Access to the subject parcel is made from West Susitna Parkway, via an existing permitted driveway.
2. According to the application material, the proposed operation will not generate traffic of more than 100 vehicles during the morning or afternoon peak hours or more than 750 vehicles per day.
3. According to the application material, the proposed peak hour of operations will be approximately 2:00 p.m. to 3:00 p.m. with a maximum of 24 truckloads of gravel to serve local projects.
4. According to the application material, non-peak hour operations will generate approximately 8-10 truckloads of gravel.

Conclusion of Law: The operation will utilize West Susitna Parkway for access/egress for the delivery of earth materials to project sites throughout the area. Traffic generated from the proposed use will not exceed 100 vehicles during the morning or afternoon peak hours or more than 750 vehicles a day, as specified in MSB 17.61.090, Traffic Standards (MSB 17.28.060(A)(3)).

(4) visual screening measures shall include a detailed description of the type of visual screening to be utilized, and shall be maintained as necessary during the course of extraction activities. Visual screening may include, but is not limited to, berms, natural vegetation, solid fences, walls, evergreen hedges or other means as approved by the commission. If mining is planned to be conducted within 300 feet of the property line, berms or other visual screening methods shall be a minimum of ten feet in height. If mining is planned to be conducted greater than 300 feet from the property line, the applicant shall utilize commission-approved screening methods to minimize visual impacts of the mining operation. The commission shall adopt policies and procedures to assist applicants in developing screening plans. In its discretion, the commission may waive screening requirements where the topography of the property or the placement of natural barriers makes screening not feasible or not necessary. Screening requirements shall be required in consideration of and in accordance with existing uses of adjacent property at the time of designation of the interim materials district. An interim materials district shall not be required to screen the district from uses which arise after the designation of the interim materials district;

Finding of Fact:

1. According to the application material, the proposed operation incorporates a combination of visual screening methods, such as natural topography, vegetative buffer retention, and the phasing design, which uses the working face to screen the operation from neighboring uses.
2. According to the application material, the operation will extract earth material from the bottom of the cut slope, also known as the working face, working from south to north in the middle of the subject properties. This will allow the slope to mitigate noise and provide visual buffering to adjacent properties.
3. According to the application material, a combination of visual screening methods has been incorporated into the operating plan on the subject parcel such as the use of natural topography and the retention of vegetative buffers measuring at least 50 feet in width.
4. According to the application material, the total area of earth material extraction activity will occur on approximately 17 acres within the 22.08-acre parcel.

Conclusion of Law: A combination of topography, vegetative buffer retention, and phasing design methods will be utilized and maintained to meet the visual screening measures (MSB 17.28.060(A)(4)).

(5) noise mitigation measures shall include a description of measures to be taken by the applicant to mitigate or lessen noise impacts to surrounding properties and shall include, but not be limited to, hours of operation of noise-producing equipment, erecting noise barriers (i.e., berms a minimum of ten feet in height) between noise-producing equipment and adjacent uses, location of noise-producing equipment (i.e., below grade in excavated pit areas), and measures to utilize equipment with noise reduction features.

(a) no sound resulting from the earth materials extraction activities shall create a sound level that exceeds the limits set forth for the existing receiving land use category in Table 1 when measured at or within the property boundary of the receiving land use:

Table 1. Sound Levels by Receiving Land Use

<i>Receiving Land Use Category</i>	<i>Time</i>	<i>Sound Level Limit (dB(A))</i>
<i>Residential Use</i>	<i>7 a.m. – 10 p.m.</i>	<i>60</i>
	<i>10 p.m. – 7 a.m.</i>	<i>50</i>
<i>Commercial Use</i>	<i>7 a.m. – 10 p.m.</i>	<i>70</i>
	<i>10 p.m. – 7 a.m.</i>	<i>60</i>
<i>Industrial Use or Undeveloped Land</i>	<i>At all times</i>	<i>80</i>

(b) [Repealed by Ord. 08-150, § 2, 2008]

- (c) for any sound that is of short duration, between the hours of 7 a.m. and 7 p.m. the levels established in Table 1 may be increased by:
- (i) five dB(A) for a total of 15 minutes in any one hour; or
 - (ii) ten dB(A) for a total of five minutes in any hour; or
 - (iii) fifteen dB(A) for a total of one and one-half minutes in any one-hour period.
- (d) an interim materials district or a conditional use permit for earth materials extraction activities shall not be required to provide noise mitigation measures to mitigate or lessen noise impacts if a land use requiring lesser noise levels than for an industrial area arises on properties adjacent to earth materials extraction sites after the designation of the interim materials district or the effective date of the conditional use permit.

Findings of Fact:

1. According to the application material, the total area of earth material extraction activity will occur on approximately 17 acres within the 22.08-acre parcel.
2. The closest residential structure is located approximately 225 feet to the west of the proposed extraction area.
3. According to the application material, operations will occur seasonally, seven days a week, between the hours of 7:00 a.m. and 7:00 p.m.
4. According to the application material, the proposed peak hour of operations will be approximately 2:00 p.m. to 3:00 p.m. with a maximum of 24 truckloads of gravel to serve local projects.
5. According to the application material, non-peak hour operations will generate approximately 8-10 truckloads of gravel.
6. Based on the application material, the operation will shut down during winter months and closure will be determined by frozen ground conditions, borough roadway weight restriction limits, and the needs of ongoing road construction projects.
7. According to the application material, a batch plant is not proposed at this site.
8. According to the application material, the operation will extract earth material from the bottom of the cut slope, also known as the working face, working from south to north in the middle of the subject properties. This will allow the slope to mitigate noise and provide visual buffering to adjacent properties.
9. According to the application material, a combination of visual screening methods has been incorporated into the operating plan on the subject parcel such as the use of natural topography and the retention of vegetative buffers measuring at least 50 feet in width.
10. According to the application material, the operator may utilize muffler wraps, muffler silencers, or other add-on equipment to reduce heavy equipment noise impacts on adjacent residential uses and to remain within limits defined by the code.
11. According to the Rutgers Noise Technical Assistance Center, heavy trucks produce approximately 90 decibels (dB) when operating, which is considered “very loud.”
12. According to Rutgers Noise Technical Assistance Center, a quiet to noisy home produces sounds around 30-60 decibels (dB), which falls in the “faint” and “moderate” categories.

13. Earth material extraction activities are a commercial use that can cause excessive noise, dust, and heavy truck traffic.
14. Noise levels exceeding the levels in MSB 17.28.060 and 17.61.080 are prohibited.

Discussion: According to the application material a crusher may be used at the site. Staff recommend limiting the hours and location of the crusher to ensure it does not create a public nuisance to the adjacent residential uses.

Conclusion of Law: Noise mitigation measures, including hours of operation, retaining vegetative buffers, operating below grade level, existing topography, and phasing design methods will ensure that sounds generated from earth material extraction activities do not exceed sound levels set forth in MSB 17.28.060(A)(5)(a) and 17.61.080. Noise levels exceeding the levels in 17.28.060(A)(5)(a) and 17.61.080 are prohibited.

(6) lighting standards are:

- (a) exterior lighting shall be located and shielded to direct the light towards the ground, in order to minimize light spillage onto adjacent properties and upward into the night sky.*
- (b) illumination or other fixtures mounted higher than 20 feet or 150 watts or more shall have downward directional shielding.*

Finding of Fact:

1. According to the application material, no site lighting is proposed.

Conclusion of Law: Based on the above finding, the proposed operation meets lighting standards in accordance with MSB 17.28.060(A)(6).

(7) Except as permitted by MSB 17.30.037, the following restrictions shall apply: an undisturbed buffer shall be left and no earth material extraction activities shall take place within 100 linear feet from a lake, river, stream, or other water body, including wetlands (unless permitted by U.S. Army Corps of Engineers 404 Permit, MSB 17.28.040(A)(5)). This regulation shall not apply to manmade water bodies being constructed during the course of the materials extraction activities.

- (a) an undisturbed buffer shall be left and no earth material extraction activities shall take place within 100 linear feet from a lake, river, stream, or other water body, including wetlands (unless permitted by United States Army Corps of Engineers 404 Permit, MSB 17.28.040(A)(5)).*
- (b) a four-foot vertical separation between all excavation and the seasonal high water table shall be maintained.*

Findings of Fact:

1. According to the site plan, earth materials extraction activities will not take place within 100 feet of any identified wetlands or waterbodies.
2. The record includes maps identifying surrounding property ownership, existing land uses, wetlands, and waterbodies within one-half mile of the proposed site.

3. According to the application material, the applicant is not proposing to mine below or within four feet of the seasonal high-water table.
4. According to the application material, test holes and monitoring tubes will be used to verify the absence of groundwater.

Conclusion of Law: Based on the above findings, the applicant will not conduct earth material extraction activities within 100 linear feet of any identified wetland, stream, river, or other waterbodies per MSB 17.28.60(A)(7).

STAFF RECOMMENDATIONS

Staff recommends approval of a Conditional Use Permit for Earth Materials Extraction Activity to commercially extract approximately 360,000 cubic yards through the year 2036, from 20254 W. Susitna Parkway, Tax ID #16N04W03A009, within Township 16 North, Range 4 West, Section 3, Seward Meridian. The application meets all the standards of MSB 17.30 and 17.28 and staff recommends approval of this permit with the following conditions:

1. The operation shall comply with all applicable federal, state, and local regulations.
2. All extraction activities, including all activities that cause noise, dust, or traffic, shall be limited to 7:00 a.m. to 7:00 p.m., daily.
3. Operation of an earth materials crusher shall be limited to Monday through Friday, 8:00 a.m. to 5:00 p.m. and shall be centrally located in phase 2 or within the southern portion of phase 1. Furthermore, an earth materials crusher is prohibited from operating within phases 3 and 4 shown on the site plan of the application material.
4. All aspects of the operation shall comply with the description detailed in the application material. An amendment to the permit shall be required prior to any alteration or expansion of the material extraction operation.
5. The property boundary of phases 2, 3, and 4 of the extraction area shall be surveyed and marked with lath at 50-foot intervals to ensure that no earth material extraction occurs beyond the boundaries of the subject parcel, prior to operating within each phase.
6. Material extraction shall be limited to the area identified in the applicant's site plan.
7. A four-foot vertical separation shall be maintained between all excavations and the seasonal high-water table.
8. Dust control shall be achieved on the subject parcel at the material extraction and vehicular access sites.
9. Neither a batch plant nor a hot mix plant shall be used at the site.
10. Per MSB 17.28(A)(4), visual screening measures shall be maintained in accordance with the application material.
11. Per MSB 17.28.060(A)(5), berms, constructed or natural, shall be installed and/or maintained at a minimum height of 10 feet on the subject property surrounding areas where material extraction activities will occur to mitigate or lessen noise impacts to adjacent land uses.

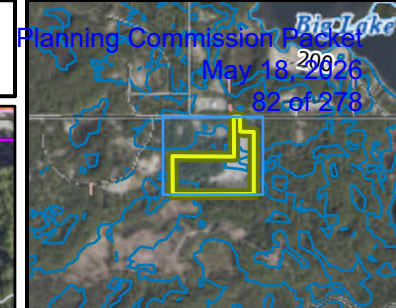
12. The operation shall comply with the maximum permissible sound level limits allowed per the requirements of MSB 17.28.060(A)(5)(a) – Site Development Standards, and MSB 8.52 – Noise, Amplified Sound, and Vibration.
13. The operation shall comply with the reclamation standards of MSB 17.28.067.
14. Prior to operating, proof shall be provided to the Planning Department showing all applicable requirements of the Alaska Department of Natural Resources reclamation plan process have been met.
15. If reclamation information is updated with the Alaska Department of Natural Resources, a copy of the updated information shall be provided to the MSB Development Services Division.
16. Junk vehicles, junk vehicle parts, and trash shall be removed in accordance with MSB 8.50.
17. Vehicles and equipment shall be staged at a designated location, and all equipment shall be inspected for leaks at the end of each day.
18. On-site maintenance of vehicles shall be done in an area where all leaks can be contained with drip pans or other discharge prevention devices.
19. Any hazardous materials, drips, leaks, or spills shall be promptly attended to and properly treated.
20. All construction exits shall comply with standard Alaska Pollutant Discharge Elimination System requirements to minimize off-site vehicle tracking of sediments and discharges to stormwater.
21. All track-out sediments from the site shall be removed from the right-of-way daily.
22. If cultural remains are found during material extraction activities, the MSB Planning Department shall be contacted immediately so the remains can be documented.
23. The applicant shall correct any existing structural encroachments on the subject parcel and provide notice to the borough upon completion prior to operating.
24. A copy of the approved permit shall be provided to each contractor company working at the site, and a copy of the permit shall be posted on the subject property in a location and manner clearly visible to the public for the duration of the permitted activities.
25. Borough staff shall be permitted to enter any portion of the property to monitor compliance with permit requirements. Such access will at minimum be allowed on demand when activity is occurring and, with prior verbal or written notice, and at other times as necessary to monitor compliance. Denial of access to Borough staff shall be a violation of this Permit.
26. Authorization for earth material extraction activities approved by this Conditional Use Permit shall expire on December 31, 2036.

If the Planning Commission chooses to deny this permit, findings for denial must be prepared by the Commission.

Maps



Parcel Map



Legend

- Medium Road
- Minor Road
- Not Constructed
- Mat-Su Borough Boundary
- Address Numbers
- Parcels
- Lot and Block Numbers
- Government Lot Numbers

Layer

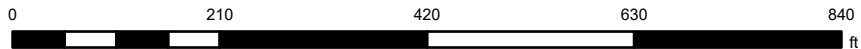
- ROW Easement
- Easement
- Section Line Easement
- Section Lines

RGB

- Red: Band_1
- Green: Band_2
- Blue: Band_3

Notes
 Generated on 11.02.2026 (dd/mm/yyyy)
 2025 Aerial and 2019 Contours Map

THIS MAP IS NOT TO BE USED FOR NAVIGATION



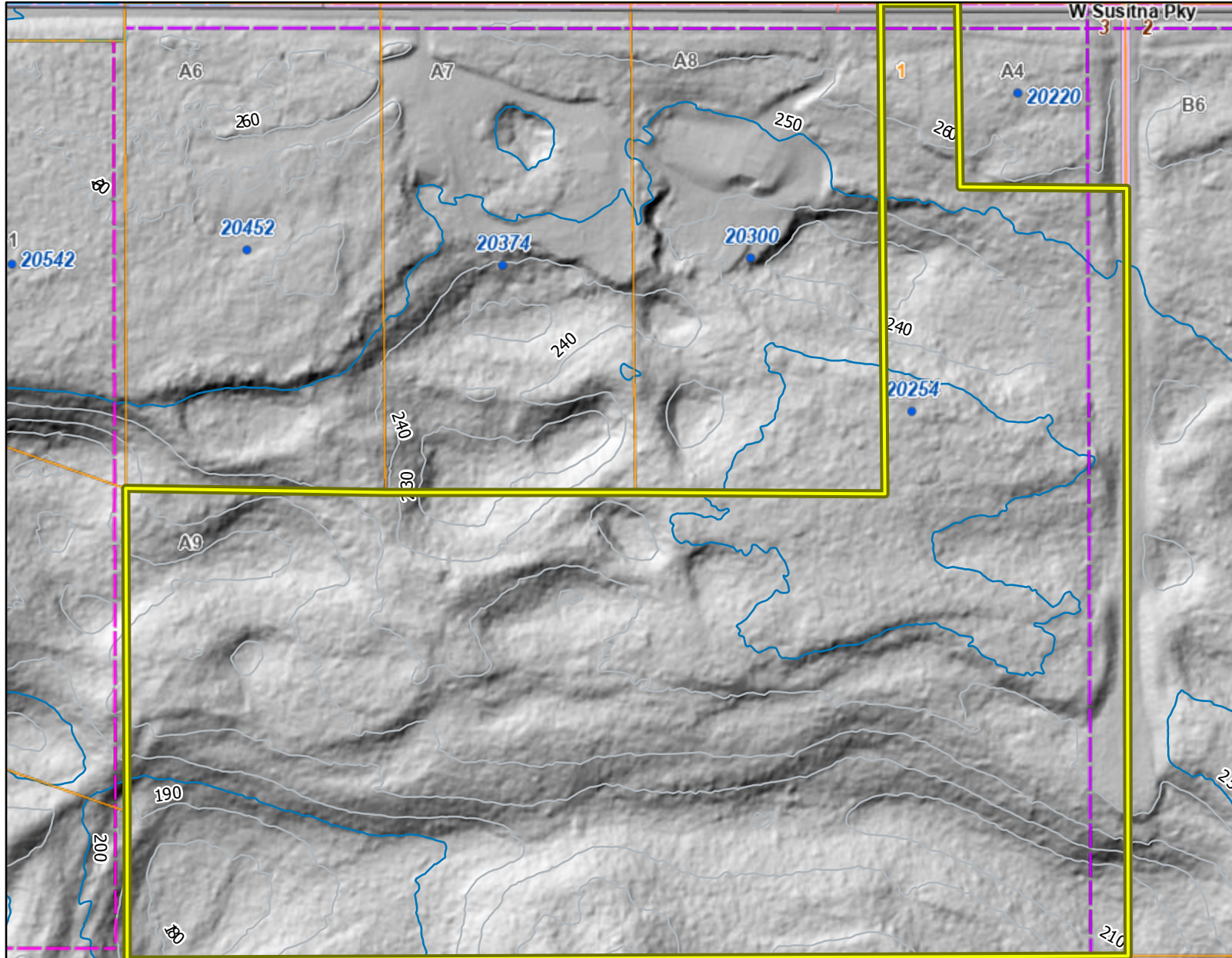
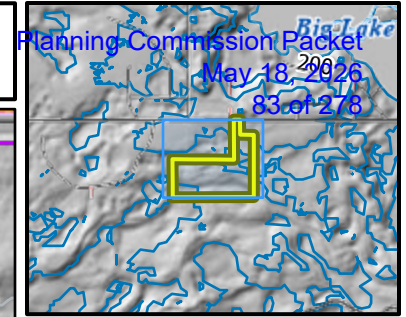
NAD 1983 State Plane Alaska 4 FIPS 5004 Feet



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Parcel Map



Legend

- Medium Road
- Minor Road
- Not Constructed
- Mat-Su Borough Boundary
- Address Numbers
- Parcels
- Lot and Block Numbers
- Government Lot Numbers

Layer

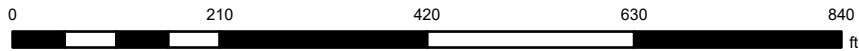
- ROW Easement
- Easement
- Section Line Easement
- Section Lines

Value

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- 0

Notes
 Generated on 11.02.2026 (dd/mm/yyyy)
 2019 Hillshade and Contours

THIS MAP IS NOT TO BE USED FOR NAVIGATION



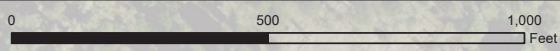
NAD 1983 State Plane Alaska 4 FIPS 5004 Feet



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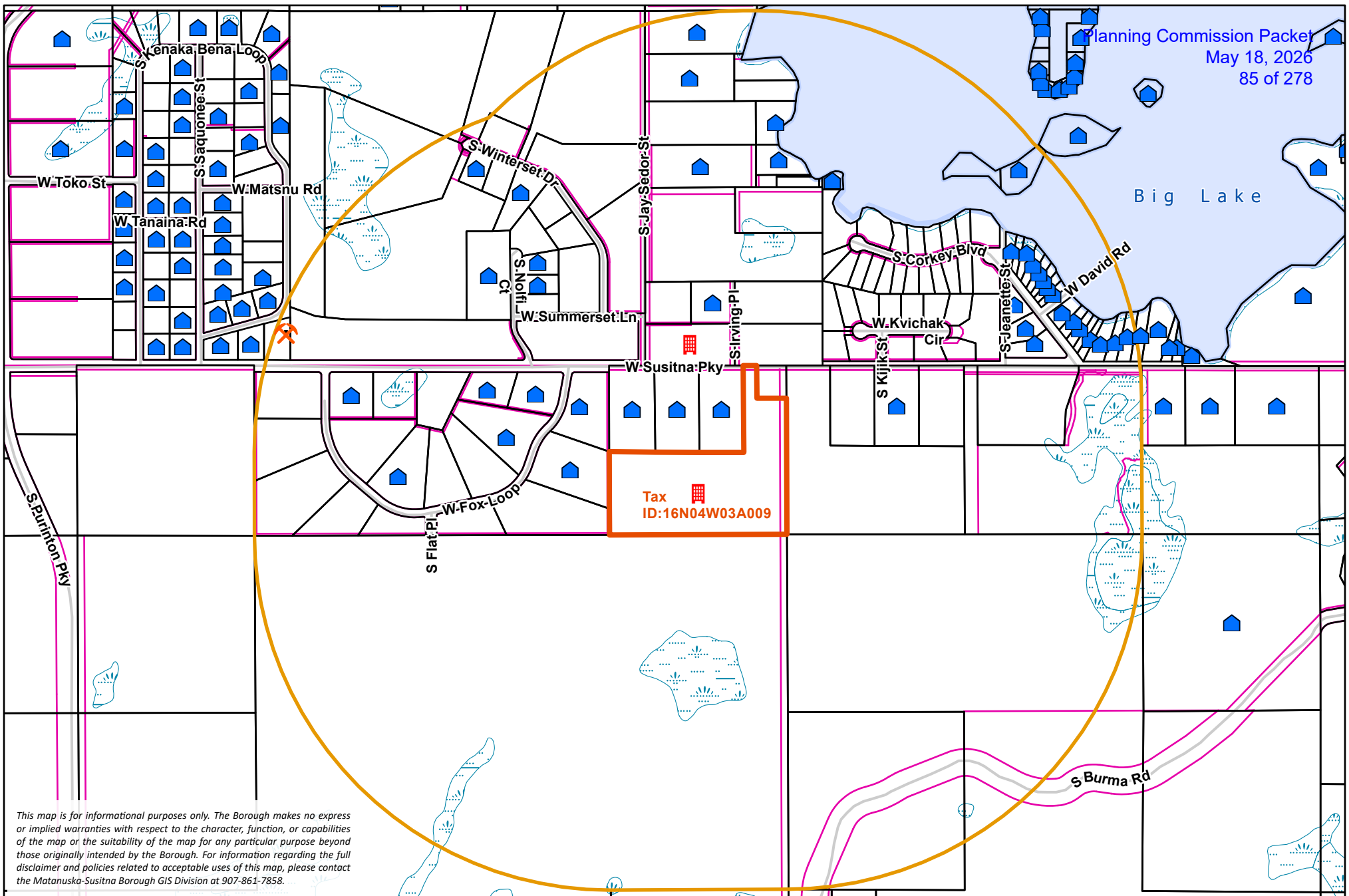


Susitna Parkway Extraction Area



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Map Produced by MSB IT/GIS Division: 4/24/2026



Tax ID: 16N04W03A009

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Land Use Map

MSB Tax ID#16N04W03A009

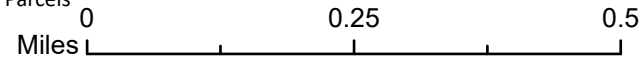
Building Use

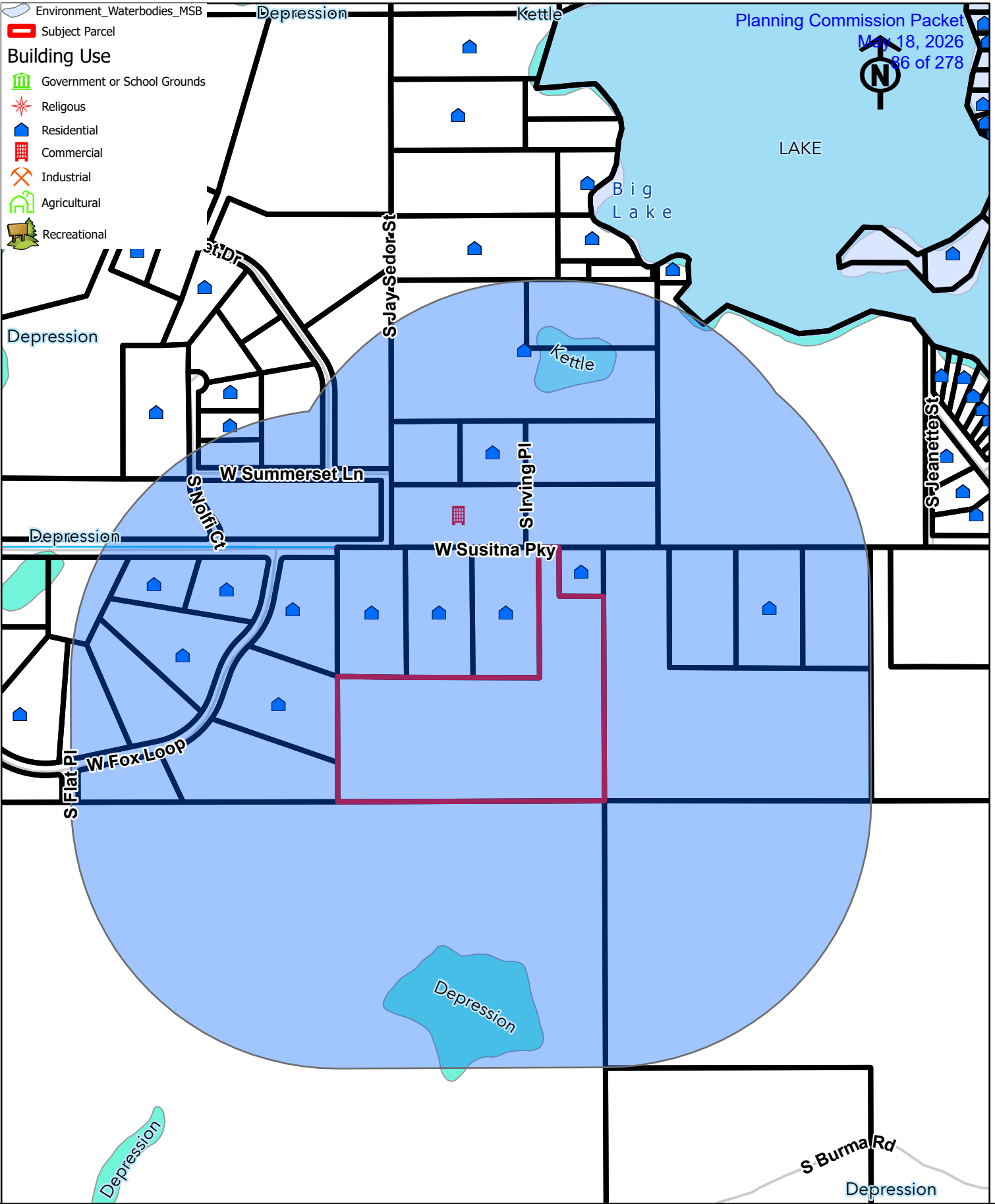
- Residential
- Commercial
- Industrial

- Roads
- ROW and Easements

- Lake
- River
- Wetland

- Subject Parcel Half Mile Buffer
- Subject Parcel
- Parcels



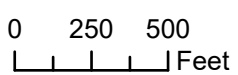


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1/4 Mile Surrounding Land Use and Waterbody/Wetland

Identification Tax ID #16N04W03A009



Application



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

Email: permitcenter@matsugov.us

APPLICATION FOR A CONDITIONAL USE PERMIT FOR EARTH MATERIALS EXTRACTION – MSB 17.30

NOTE: Carefully read instructions and applicable borough code. Fill out forms completely. Attach information as needed. Borough staff will not process incomplete applications.

Application fee must be attached, check one:

\$1000 for Administrative Permit (Less than two years or less than 7,000cy annually)

\$1,500 for Conditional Use Permit (More than two years and more than 7,000cy annually)

Required Attachments:

Site plan as detailed on Page 2

Narrative with operational details and all information required on Page 2

Reclamation Plan

Subject Property:

MSB Tax Account ID#(s): 16N04W03A009

Street Address: 20254 West Susitna Parkway, Big Lake, Alaska

Facility/Business Name: Ficklin Gravel Products LLC

Name of Property Owner

Bradley Ficklin Sr and Bryan Ficklin

Mailing: PO Box 520808

Big Lake, Alaska 99652

Phone: Cell 907-715-9109

Wk _____ Hm _____

E-mail: _____

Name of Agent / Contact for application

Ficklin Gravel Products LLC

Mailing: PO Box 521281

Big Lake, Alaska 99652

Phone: Cell 907-715-9109

Wk _____ Hm _____

E-mail: bficklin@ficklinllc.com

Attach a narrative describing the proposed extraction activities.	Attached
Describe the types of material being extracted.	Appx A 2a
Provide total acreage of all parcels on which the activity will occur.	Appx A 1c
Provide total acreage of earth material extraction activity.	Appx A 2b
Provide total cubic yards to be extracted.	Appx A 2c
Provide the estimated final year extraction will occur.	Appx A 2d
Provide seasonal start and end dates.	Appx A 3a
Provide hours of operation.	Appx 3b
Provide days of the week operations will take place.	Appx 3c
Provide proposed peak hour and traffic volume at the peak hour	Appx A 3d
Provide estimated end date of extraction.	Appx A 2e
Provide estimated end date of reclamation.	Appx A 4a
Describe all other uses occurring on the site.	Appx A 5a
Describe methods used to prevent problems on adjacent properties, such as lateral support (steep slopes), water quality, drainage, flooding, dust control, and maintenance of roads.	Appx A 6a-d
Describe how the operation will monitor the seasonal high water table.	Appx A 6e
Provide quantity estimates and topographical information such as cross section drawings depicting depth of excavation, slopes, and estimated final grade.	
Provide Reclamation Plan in accordance with MSB 17.28.063 and 17.28.067.	Appx A 4b

Submit a detailed site plan, <i>drawn to scale</i>. Drawings under the seal of an engineer or surveyor are recommended but not required.	Attached
Identify location of permanent and semi-permanent structures on the site for verification of setback requirements. Include wells and septic systems.	Appx A 7a & Site Plan Map
Depict buffer areas, driveways, dedicated public access easements, noise buffers (such as fences, berms or retained vegetated areas), and drainage control such as ditches, settling ponds, etc.	Appx A 7b & Site Plan Map
Identify the entire area intended for gravel/material extraction activity.	Site Plan Map
Identify the property boundary containing the operation.	Site Plan Map
Identify ADEC Drinking Water Protection Areas wherever proposed project area boundaries fall within drinking water protection area buffer zones.	Appx A 7c & Appx C
Identify areas used for past and future phases of the activity.	Site Plan Map
Provide road and access plan that includes anticipated vehicle routes and traffic volumes. If the level of activity exceeds the minimum levels specified in MSB 17.61.090, Traffic Standards, a traffic control plan consistent with state regulations may be required.	Appx A 7b & Site Plan Map
Provide detailed description of the proposed visual screening.	Appx A 7b&f & Site Plan Map
Provide measures to mitigate or lessen noise impacts on surrounding properties.	Appx A 7g
Provide proposed lighting plan.	Appx A 7h

Submit documentation showing compliance with borough, state, and federal laws.	Applied for (list file #)	Attached (list file #) or N/A
Submit mining permit as required by the Alaska State Department of Natural Resources (ADNR) if extraction activities are to take place on state land.		N/A Appx A 8a
Provide reclamation plan as required by ADNR, pursuant to AS 27.19. Provide copy of reclamation financial assurance filed with the State of Alaska (If exempt, provide qualifying documents for exemption).		Appx A 8b
Provide Notice of Intent (NOI) for construction general permit or multi-sector general permit and storm water pollution prevention plan, and other associated permits or plans required by the Environmental Protection Agency (EPA) pursuant to the National Pollutant Discharge Elimination System (NPDES) requirements.		N/A Appx A 8c
Provide United States Army Corps of Engineers permit pursuant to Section 404 of the Clean Water Act, 33 U.S.C. 1344, if material extraction activity is to take place within wetlands, lakes, and streams.		N/A Appx A 8d
Provide any other applicable permits, such as driveway/access permits; list as appropriate.		Appx A 8e

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Staff will provide applicant with a statement of advertising and mailing charges. Payment must be made **prior** to the application presentation at the public hearing.

OWNER'S STATEMENT: I am owner or authorized agent of the following property:

MSB Tax Account ID #(s) 16N04W03A009 and, I hereby apply for approval of conditional use permit for earth material extraction activities on the property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.28, MSB 17.30, and with all other applicable borough, state, and federal laws, including but not limited to, air quality, water quality, and use and storage of hazardous materials, waste and explosives, per MSB 17.30.055.


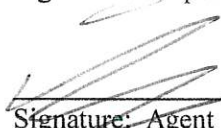
I understand that other rules such as local, state, and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorizations may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety, and welfare, and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I understand that this permit may transfer to subsequent owners of this land and that it is my responsibility to disclose the requirements of this status to operators on this property, and to the buyer when I sell the land. Additionally, I agree to comply with MSB 17.30.120, Transfer of Conditional Use Permit, in the event this permit is transferred to a subsequent property owner.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, and at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

	Bradley Ficklin Sr	4-7-23
Signature: Property Owner	Printed Name	Date
	Bryan Ficklin	4-7-23
Signature: Agent	Printed Name	Date

PERMIT CENTER – FEE RECEIPT FORM

Property Location: 16N04W03A009

Applicant: Ficklin Gravel

	USE PERMITS {100.000.000.341.300}	Fee
<input type="checkbox"/>	8.35 Public Display of Fireworks	\$25.00
<input type="checkbox"/>	8.40.010 Liquor License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
<input type="checkbox"/>	8.41.010 Marijuana License - Alcohol & Marijuana Control Office (AMCO) Referrals for Matanuska Susitna Borough Review of Issuance, renewal or transfer (location, owner)	\$100.00
<input type="checkbox"/>	8.52 Temporary Noise Permit	\$1000.00
<input type="checkbox"/>	8.55 Special Events Permit 500 – 1000 Attendees	\$500.00
<input type="checkbox"/>	1000+ Attendees	\$1,000.00
<input type="checkbox"/>	8.55 Special Events Permit Site Matanuska Susitna Borough	\$300.00
<input type="checkbox"/>	17.02 Mandatory Land Use Perm Commercial	\$25.00
	Payment Date Friday, April 7, 2023	\$150.00
<input type="checkbox"/>	17.04 Nancy Lake Special Land U Deposit Number 49222	\$1,500.00
	Operator buck1936	
<input type="checkbox"/>	17.06 Electrical Generating & Del Real 2023 (Total) \$0.00	\$500.00
<input type="checkbox"/>	17.08 Hay Flats Special Land Us MCR (Planning/Platting) \$1,500.00	\$1000.00
	Misc Rec	
<input type="checkbox"/>	17.17 Denali State Park Condition Tax Map # 2MISC	\$1500.00
<input type="checkbox"/>	17.18 Chickaloon Special Land U Use District CUP	\$1500.00
<input type="checkbox"/>	17.19 Glacier View Special Land Total Paid \$1,500.00	\$1500.00
<input type="checkbox"/>	17.23 Port MacKenzie Developm Cash \$1,500.00	\$1000.00
	Change \$0.00	
<input type="checkbox"/>	17.25 Talkeetna Conditional Use Permit	\$1500.00
<input type="checkbox"/>	17.25 Talkeetna Conditional Use Receipt Number msb91865476	\$1500.00
<input type="checkbox"/>	17.27 Sutton Special Land Use C 4/7/2023 2:32:14 PM	\$1500.00
<input type="checkbox"/>	17.29 Flood Damage Prevention Paid By FICKLIN GRAVEL	\$100.00
	Cashier Id. buck1936	
<input type="checkbox"/>	17.29 Flood Damage Prevention Development Permit - Variance	\$500.00
<input type="checkbox"/>	17.30.040 Earth Materials Extrac on Activity Permit	\$1000.00
<input checked="" type="checkbox"/>	17.30.050 Earth Materials Extrac	\$1500.00
<input type="checkbox"/>	17.36 Residential Planned Unit I Application – Concept F	\$500.00
	Additional Lots or tracts	\$100.00
<input type="checkbox"/>	17.48 Mobile Home Park Permit	\$500.00
<input type="checkbox"/>	17.52 Residential Land Use Dist	\$1,000.00
<input type="checkbox"/>	17.52 Conditional Use Permit Ap	\$1,500.00
<input type="checkbox"/>	17.55 Shoreline Setback Except	\$300.00
<input type="checkbox"/>	17.60 Conditional Use Permit Ap	\$1500.00
<input type="checkbox"/>	17.61 Commercial/Industrial Cor Use Conditional Use Permit	\$1500.00
<input type="checkbox"/>	17.62 Coal Bed Methane	\$1500.00

<input type="checkbox"/>	17.63 Conditional Use Permit for Racetracks	\$1500.00
<input type="checkbox"/>	17.65 Variance	\$1500.00
<input type="checkbox"/>	17.67 Tall Structures - Network Improvement Permit Nonconforming Use Administrative Permit Conditional Use Permit	\$100.00 \$200.00 \$500.00 \$1500.00
<input type="checkbox"/>	17.70 Regulation of Alcoholic Beverage Use Permit Application	\$1500.00
<input type="checkbox"/>	17.73 Multi-Family Land Use Permit – add \$25.00 for each additional unit beyond 5 units.	\$500.00
<input type="checkbox"/>	17.75 Single-Family Residential Land Use District	\$500.00
<input type="checkbox"/>	17.76 Large Lot Single-Family Residential Land Use District	\$1000.00
<input type="checkbox"/>	17.80 Nonconforming Structures (Amnesty) Pre-Existing Legal Nonconforming (Grandfather)	\$300.00
<input type="checkbox"/>	17.90 Regulation of Adult Businesses – Conditional Use Permit	\$1500.00

RIGHT-OF-WAY FEES:		
<input type="checkbox"/>	Driveway	\$50.00
<input type="checkbox"/>	Driveway Deposit {100.226.100}	\$150.00
<input type="checkbox"/>	Construction	\$200.00
<input type="checkbox"/>	Utility (Application Fee = \$100 ~ Distance Fee \$0.25/per lineal foot)	
<input type="checkbox"/>	Encroachment	\$150.00
<input type="checkbox"/>	Construction Bond {100.227.000}	

PLATTING PRE-APPLICATION CONFERENCE:		
<input type="checkbox"/>	Pre-Application Fee	\$50.00

FEES:		
<input type="checkbox"/>	Flood Plain Development Survey CD	\$10.00
<input type="checkbox"/>	CD/DVD/DVD-R	\$7.50
<input type="checkbox"/>	Construction Manual/Title 43	\$5.00
<input type="checkbox"/>	Plat Map/Tax Map Copies/Mylar	\$5.00
<input type="checkbox"/>	Color Maps	\$12.00
<input type="checkbox"/>	Xerox Copies (B/W = \$0.25 ~ Color \$1.00/page 11X17 Color \$1.75/page)	
<input type="checkbox"/>	Advertising Fees	
<input type="checkbox"/>	Cultural Resources Books or Maps	
<input type="checkbox"/>	Citation Payment (If sent to collections – use total due from Courtview)	
<input type="checkbox"/>	Thumb Drive 2GB = \$5, 4GB = \$8, 8GB = \$10; 16GB = \$15; 32GB = \$20	

\$ 1500.00 Amount Paid Date: 4/07/23 Receipt # 91865476 By: AB



Real Property Detail for Account: 216N04W03A009

Site Information

Account Number	216N04W03A009	Subdivision	
Parcel ID	78207	City	None
TRS	S16N04W03	Map GB03	
Abbreviated Description (Not for Conveyance)	TOWNSHIP 16N RANGE 4W SECTION 3 LOT A9	Tax Map	

Site Address 20254 W Susitna Pky

Ownership

Owners	FICKLIN PROPERTIES LLC	Buyers	
Primary Owner's Address	PO BOX 521281 WASILLA AK 99652	Primary Buyer's Address	

Appraisal Information

Appraisal Information				Assessment			
Year	Land Appraised	Bldg. Appraised	Total Appraised	Year	Land Assessed	Bldg. Assessed	Total Assessed ¹
2026	\$76,200.00	\$645,000.00	\$721,200.00	2026	\$76,200.00	\$645,000.00	\$721,200.00
2025	\$66,200.00	\$469,900.00	\$536,100.00	2025	\$66,200.00	\$469,900.00	\$536,100.00
2024	\$66,200.00	\$0.00	\$66,200.00	2024	\$66,200.00	\$0.00	\$66,200.00

Building Information

Structure 0 of 1			
Residential Units	0	Use	Warehousing & Storage
Condition	Standard	Design	Commercial
Basement	None	Construction Type	Frame
Year Built		2024 Grade	None
Foundation	Poured Concrete	Well	Well 1 - Drilled Well
Septic	Septic - 1 - Septic Tank		

Building Item Details

Building Number	Description	Area	Percent Complete
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Tax/Billing Information

Year	Certified	Zone	Mill	Tax Billed	Recorded Documents	Recording Info (offsite link to DNR)	
					Date	Type	
2026	No	0032	::	::	4/8/2025	QUITCLAIM DEED (ALL TYPE)	Palmer 2025-005768-0
2025	Yes	0034	11.843	\$6349.03	6/2/2020	WARRANTY DEED (ALL TYPES)	Palmer 2020-011867-0
2024	Yes	0034	11.928	\$789.64	11/26/2018	TRANSFER ON DEATH	Palmer 2018-024931-0

Tax Account Status ²

Status	Tax Balance	Farm	Disabled Veteran	Senior	Total ³	LID Exists
PLEASE CALL	\$3,218.79		\$0.00	\$0.00	\$0.00	\$0.00 No

Land and Miscellaneous

Gross Acreage	Taxable Acreage	Assembly District	Precinct	Fire Service Area	Road Service Area
22.08	22.08	Assembly District 005	<u>30-555</u>	136 WEST LAKES FSA	021 Big Lake RSA

¹ Total Assessed is net of exemptions and deferments, rest, penalties, and other charges posted after Last Update Date are not reflected in balances.

² If account is in foreclosure, payment must be in certified funds.

³ If you reside within the city limits of Palmer or Houston, your exemption amount may be different.

From: [Bryan Ficklin](#)
To: [Rick Benedict](#); [Rick Antonio](#)
Subject: Ficklin Gravel Products
Date: Thursday, May 22, 2025 12:44:44 PM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Rick,

We are going to have Rick Antonio handle all of the remaining extensions and additional permitting for Ficklin Gravel Products located at 20254 W Susitna Parkway. Feel free to reach out to us if you need anything.

Thank you,

Bryan Ficklin

Contact Information

Phone: 907-376-9109

Fax: 907-376-9108

Mailing Address:

P.O. Box 521281

Big Lake, AK 99652

From: [Rick Antonio](#)
To: [Rick Benedict](#)
Cc: [Bryan Ficklin](#)
Subject: Re: Ficklin Gravel Permit 20254 W. Susitna Parkway
Date: Sunday, February 22, 2026 8:40:47 PM
Attachments: [Ficklin Gravel Appendix A 2-22-26.pdf](#)
[DNR Reclamation Plan Attachment.pdf](#)
[Revision Notes 2-22-26.docx](#)
[Ficklin Gravel Memo 8-23-2023.pdf](#)
[reclamation_infographic.png](#)
[Infographic_1_overall.png](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Rick,

Thank you for the comments. Please find the attached revised narrative, reclamation plan, and additional attachments, including infographics, for your review.

I have also included my notes for the revisions to Appendix A for your convenience. Please let us know if any further information is needed to move forward.

Regards,

Rick Antonio
907-841-5815

On Wed, Feb 11, 2026 at 3:30 PM Rick Benedict <rick.benedict@matsugov.us> wrote:

Rick,

I've had the opportunity to review the updated materials provided on January 21st and February 9th. Based on that review, attached is a request for additional information.

Let me know if you have any questions.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Rick Antonio <streamlinealaska@gmail.com>
Sent: Monday, February 9, 2026 7:35 AM
To: Rick Benedict <rick.benedict@matsugov.us>
Cc: Bryan Ficklin <bficklin@ficklinllc.com>
Subject: Re: Ficklin Gravel Permit 20254 W. Susitna Parkway

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick,

Thank you for the update. Please find the site plan with phases and notes, the grading map, and the section drawings attached for your review.

We look forward to moving forward with the process.

Best regards,

Rick Antonio
907-841-5815

On Thu, Feb 5, 2026 at 11:35 AM Rick Benedict <rick.benedict@matsugov.us> wrote:

Rick,

I was out yesterday and unable to respond. I began reviewing the updated submittals on Tuesday.

Off the bat, the January 21st narrative mentioned a site plan with phases and notes, a grading map, and section drawings. However, these items were not included as attachments in your email.

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

From: Rick Antonio <streamlinealaska@gmail.com>
Sent: Wednesday, February 4, 2026 11:06 AM
To: Rick Benedict <rick.benedict@matsugov.us>
Cc: Bryan Ficklin <bficklin@ficklinllc.com>
Subject: Re: Ficklin Gravel Permit 20254 W. Susitna Parkway

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Rick,

I hope all is well.

I know you are probably busy but was wondering if if you had gotten to look at the permit application.

Even if it's not a complete review if you see anything we should be working on please let us know.

Thanks,

Rick Antonio 907-841-5815

On Wed, Jan 21, 2026, 10:27 AM Rick Benedict <rick.benedict@matsugov.us> wrote:

Good morning Rick,

Received the updated materials. I'll conduct a review as soon as possible. Afterwards, a meeting sounds like a good plan to clear up any outliers that may arise.

Respectfully,

Rick Benedict – Current Planner

Development Services Division

Matanuska-Susitna Borough

(907)861-8527 direct

From: Rick Antonio <streamlinealaska@gmail.com>

Sent: Wednesday, January 21, 2026 7:46 AM

To: Rick Benedict <rick.benedict@matsugov.us>

Subject: Ficklin Gravel Permit [20254 W. Susitna Parkway](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Dear Mr Benedict,

Please find the attached submittal package regarding the conditional use permit for gravel extraction at [20294 W. Susitna Parkway](#).

The included documents contain the necessary information required for the application process. Please let me know if any additional details or clarifications are needed to move forward with the review.

I hope that the revised narrative and drawings satisfy all the requirements from your Nov. 12 2024 RFAI.

Upon initial review, if you think a meeting would be beneficial, please reach out.

Thank you for your assistance.

Best regards,

Rick Antonio

907-841-5815

Appendix A

Ficklin Gravel
West Susitna Parkway Development
MSB Conditional Use Permit
Earth Material Extraction

Ficklin Gravel Products, LLC
Rick Antonio, Contact Agent
907-841-5815
Streamlinealaska@gmail.com

1. Parcel information

- a. Tax ID Number is 16N04W03A009
- b. The physical address is 20254 W Susitna Parkway, Big Lake, Alaska
- c. Legal description is as follows:
 - i. All of US Government Lot 1, Section 3, Township 16 North, Range 04 West, Seward Meridian, Palmer Recording District, Third Judicial District, State of Alaska, Excepting therefrom the following described property:
 - 1. Point of beginning U.S. Cadastral Survey, BLM, 1960 Monument, Section Two (2) and Three (3), T16N, R4W; hence 200' South; hence at right angle 225' West; hence at right angle 200' North; hence at right angle 225' East to point of beginning; and,
The West nine hundred-ninety feet (990') of the north six hundred-sixty feet (660'), US Government Lot 1, Section 3, Township 16N, Range 4 West, Seward Meridian, Palmer Recording District, Third Judicial District, State of Alaska.
- d. Total gross parcel acreage is 22.08 acres.

2. Background-

- a. Development of the subject property began in 2021 with exploratory excavation and grading. In 2023 the landowners (Bryan Fickin and Brad Ficklin Sr.) applied for an 'Administrative' gravel extraction permit and operated under said permit for the maximum of 2 years with a six-month extension ending in Dec. of 2025 (3 seasons).
- b. During the operational period a commercial shop was built in the northeast corner of the developed area. Estimated extraction quantities were 35,000 cy in 2023, 15,000 cy in 2024 and 24,000 cy in 2025. Extraction activity primarily occurred in the northern "panhandle" area to the east of lot A8 (20300 W. Susitna).
- c. Upon applying for extension to the administrative permit the MSB noted that the newly erected shop structure was not in compliance with section-line-easement (SLE) setbacks and thus conditions of the permit. It appeared the building was a few feet from the SLE boundary. Through additional research and as-built survey performed through a professional land surveyor, the setback encroachment was confirmed to be approximately 3' on the northeast corner of the building or 22' setback versus the 25' required. With no options for variance or quick options for vacation of the SLE, the owner volunteered to modify the building in order to comply with conditions and keep the operation going and employees working through the season. Modifications will be reflected in an updated as-built once completed. Correction of the confirmed 3-foot Section Line Easement (SLE) setback violation is currently underway. Physical modifications to the commercial shop are scheduled for completion in April 2026, once weather permits construction. An updated as-built survey will be commissioned immediately following completion to verify the required 25-foot setback is met.
- d. Additional staff recommendations related to compliance included slope stabilization and ensuring development was limited to the permitted parcel. Encroachments onto 20300 W. Susitna Pkwy were authorized and requested by the joint owner to provide material for their personal projects and provide fill on the common property line. Slopes have been shaped and stabilized as required in **7. Reclamation** (below).

3. Existing and Future Land Use

- a. The current use of the property is a shop with administrative offices, yard for construction related storage, and gravel operations to the south. The existing commercial shop is a 6000-sf structure consisting of 2 levels and is wood frame construction. Owner has initiated a State of Alaska Fire Marshal Building permit (2/17/2026).
- b. Future plans for the property after extracting the earth materials are unknown at this time, but the property will be primed for potential residential or commercial development. The goal for the property is the development of a single or multi-family residential subdivision featuring 40,000-square-foot lots. As shown on Grading Plan G1, the extraction is a land-leveling operation designed to reach a final base grade of approximately 214' elevation. This elevation provides a stable subgrade for future residential road networks and ensures the 4-foot vertical separation from the water table required for on-site septic systems
- c. The section-line-easement is currently not being utilized but appears that an approach was constructed for future development if needed.
- d. A semi-mobile "scale-house" is located near the eastern boundary approximately 10'x12' in size and 60' offset from the SLE. The supporting scale runs parallel to the eastern boundary and is approx. 120' in length by 12' wide. Offset 47' from SLE. (see "scale-house" aerial imagery attachment)

4. Surrounding Land Use

- a. The surrounding land use is a mix of residential and undeveloped public land. A radius of ½ mile is depicted on the attached "land use viewer" map. While not an official land regulation, the 2009 Big Comprehensive Plan provides for consideration that gravel extraction provides for economic development and supports private property rights generally. The subject property is surrounded by parcels on the Northwest side of the northern boundary that are 5-acre parcels and are owned by the subject property owner's family. The parcel is bordered by a subdivision on the southwest boundary that has approximately 5-acre lots. The southern boundary of the subject parcel is a Matanuska-Susitna Borough owned parcel that is 360-acres and undeveloped, with a 230-acre Matanuska-Susitna Borough owned parcel to the southeast that is also undeveloped. Most of the Eastern boundary of the subject parcel is a privately owned, 22.94-acre, undeveloped parcel. The Northeastern boundary has an acre parcel that abuts Susitna Parkway and is at a higher elevation than the majority of the subject parcel. This acre parcel has a dilapidated structure that encroaches on the subject property. The very northern flag of the subject property is bordered by West Susitna Parkway. Across West Susitna Parkway, there is a 5-acre commercial, an assumed marijuana cultivation facility and another privately owned 5-acre, undeveloped parcel. It does not appear that any major changes have occurred on the adjacent properties in the past few years.

5. Extraction

- a. The type of materials being extracted will be topsoil, gravel, and screened gravel.
- b. The acreage of earth material extraction activity will be approximately 17 acres under the conditional use permit.
- c. It is estimated that the remaining 17 acres contain approximately 280,000-360,000 cubic yards of mineable material. The highest point of the property at West Susitna Parkway is approximately 264' in elevation. The lowest point in the south/west corner is

approximately 178' in elevation. The anticipated final lowest cut grade will be approximately 214' elevation as to leave a base for road construction and future development. All cut slopes will be a 2 horizontal to 1 vertical as necessary for stabilization. Final grades will remain at least 4' higher than the water table as observed seasonally. The closest well logs available indicate the ground water is about 50' below the proposed grades. Monitoring pits/tubes will be located at the lowest elevation to monitor seasonal ground water changes and potential changes due to modification to the pre-development drainage patterns and volumes.

- d. The estimated end date of extraction would be 6-10 years from initiation or 2032-2036.
- e. Phases are depicted in the attached map. Generally, development would progress east to west with each phase occurring over 2-3 years with overlapping progress.

6. Operations

- a. The seasonal start and end date every year will follow spring break-up and Borough and State guidelines for roadway weight restrictions. These dates will be approximately April 1 until November 1. Mobilization will begin before weight restrictions as soon as the ground thaws. Winter operations will be determined by frozen ground and typically match road construction (November). Winter operations may include supplying traction sand and septic rock as needed in the community.
- b. Anticipated operations will take place between 7:00am to 7:00pm. Business hours will be adjusted within stated times depending on demand.
- c. Operations will take place in some capacity seven days a week.
- d. Proposed peak hour will depend on the project served but should be about 2pm. Maximum traffic volume expected at peak hour serving a project within a few miles will be 14 total trucks entering and exiting (28 trips). Typical peak hour volumes during normal operations would be approx. 24 trips per hour. Signage will be placed in advance of the driveway during operations similar to "trucks entering roadway". Operations during the previous Administration Permit period confirmed these estimates. Normal operations often consisted of one truck serving local projects throughout the day.

7. Reclamation

- a. Reclamation will be ongoing as property is leveled and slopes are contoured. Due to future development plans, a traditional deep "pit" is not desired. Stockpiled overburden and topsoil will be utilized to reclaim slopes throughout development. Land will be reclaimed as required by MSB 17.28.067 and AS 27.19. Previous disturbance during the 2023-2025 Administrative Permit duration has been stabilized using dozer "track-walking" and hydroseeded. Permanent stabilization will require a full growing season and maintenance as required. Reclamation "phases" are not shown as slopes will be stabilized after extraction is completed. Reclamation is typically not performed where subsequent phases will overlap.
- b. Only slopes and waste material sites are planned to be reclaimed during development. Waste material sites would be material that is not marketable material, such as overburden. Reclamation will include shaping slopes to the natural angle of repose (50% slope) and the removal of any junk and debris. All reclamation requirements set forth in MSB 17.28.067 will be followed, including re-vegetation of all disturbed areas, cover of 4 inches of topsoil

and 60% live growth establishment. Any areas of infrastructure including roads and pads will follow MSB 17.28.067(1) exemption of re-vegetation. All gravel pathways and pads (pit floor) will be topped with clean gravel and shaped as to be non-erodible. Reclamation standard shall comply with AS 27.19.020. Applicant has filed a DNR reclamation plan Reclamation equipment list: excavator, dozer, skid-steer, dump-truck, hydro-seed rig. Reclamation techniques will follow best practice guidance and primarily consist of topsoil redistribution, track-walking, and revegetation of slopes which protect water quality by reducing sediment transportation. Per DNR reclamation permit application, an estimated 30,000-50,000 cubic yards will be mined over 6-10 acres yearly with 2 acres being reclaimed annually during the development duration. A current Letter of Intent for 'exemption' is pending with the State DNR, since the project does not exceed the permit thresholds of 5 acres of un-reclaimed land or 50,000 cubic yards of annual extraction. If required in the future, a reclamation permit will be obtained with required bonding.

- c. Reclamation will be performed concurrently with extraction at a rate of 2 acres annually. The project consists of four distinct phases moving from east to west over a 10-year term (2026–2036) Final cut slopes will be graded to a maximum 50 percent slope (2:1) and covered with 4 inches of topsoil to achieve 60 percent live plant cover by the end of the fourth growing season following the completion of each phase. Given assumed phasing: Phase 1 (East) would be reclaimed by 2030, Phase (2 East Center) 2032, Phase 3 West Center 2034 and Phase 4 (West) 2036 or within 4 years at the completion of project. (see DNR reclamation packet)

8. Methods to prevent problems on adjacent properties:

- a. Water quality and drainage are not expected to be issues as the subject property has a low spot in the southwest corner. Water will be drained to the low spot and water will remain on the property. Additionally, “Best Management Practices” will be implemented to reduce the transportation of sediment including track-walking (also known as imprinting or soil roughening is a temporary erosion control technique that involves using heavy equipment to create horizontal grooves in bare soil that run parallel to the slope’s contours), grading, mulching, and utilizing a stabilized access route to limit track-out. Drainage considerations will be made throughout development to ensure all future lots and infrastructure are protected. Porous gravel is anticipated to be encountered in excavation. “Best Management Practices” are industry standards from the ADEC User’s Manual Best Management Practices for Gravel/Rock Aggregate Extraction Projects.
- b. Dust control will be achieved by use of best management practices and use of a water truck as needed. Track-out will be minimized using stable gravel routes and sweeping will occur as needed.
- c. Maintenance of MSB or AKDOT roads, is not anticipated. Access will be from West Susitna Parkway. The driveway approach apron is paved and connects to the paved road and any repairs or sweeping of the approach will be completed during operations. The owner operator has a good track record of maintaining MSB roads and will keep the high standards of road maintenance
- d. Seasonal high-water table level is not anticipated to be encountered on the property. During each phase of operations, test holes will be installed in order to verify the absence of groundwater. If groundwater is found, the cut will be adjusted to leave developable area with adequate septic depth, which is generally four feet separation from leach field

depth to water table per standard practices. The closest well logs available indicate the ground water is about 50' below the proposed grades. Additional confirmation of ground water levels will be achieved by test pits and/or monitoring tubes installed at the lowest elevations. These areas will also serve as stormwater detention/infiltration areas to keep any surface runoff on site. To ensure compliance with the 4-foot vertical separation requirement, at least two groundwater monitoring systems (pits or tubes) will be installed. One system will be located in the low area to the southeast and another to the west as necessary to track seasonal data. These systems will be installed by May 2026.

- e. The remaining existing vegetation is a mix of native birch, spruce, and alders and is anticipated to provide additional visual and sound barrier when left as a buffer along the property boundary. Vegetation has previously been cleared from the Section Line Easement (SLE) to the east but has re-grown with alders and small trees since. The operation will utilize existing natural topography and engineered cut slopes of at least 10 feet in height to provide visual and noise screening for adjacent residential uses to the north and west. All screening features will be located entirely within the subject parcel boundaries. No man-made walls or fences are proposed as screening.

9. Site Plan Narrative

- a. There are no immediate plans for construction the property beyond existing structure. The 2025 as-built shows the proximity to the SLE and referenced the 25' setback. Modifications to the building will place the exterior walls just outside the setback and ensure compliance with MSB code and permit conditions.
- b. A general buffer layout is depicted on the site map with topography (slopes) primarily buffering activity from neighboring property.
 - i. The grading map (G1) shows cut slopes along all boundaries and additional buffer to the west where slopes will be shorter. The combination of retained vegetation, topography and proximity to adjacent development should adequately protect the neighbors from adverse effect.
 - ii. Access will be within a constructed approach from West Susitna Parkway and internal paths will be developed as needed. (see CUP Phases and Notes Map)
 - iii. Drainage structures and settling ponds are not anticipated and the need will be evaluated throughout construction.
- c. Wetland and water-body identification:
Wetlands are not located within the subject property. Other wetlands within the ½ mile radius of the proposed development appear to be as follows: One small depression approximately 750' to the south, a few small depressions to the north, and a small kettle towards Big Lake. Topography and distance separate all surrounding waterbodies to the point where impact is impossible. The nearest lake is Big Lake, 1/3 of a mile to the north and separated by Susitna Parkway and topography. The subject property drains away from Susitna Parkway. Further, the absence of waterbodies exempts the site from DEC regulations related to stormwater for industrial activities and construction.
- d. There will be no dedicated permanent structures beyond the shop supporting operations during the permit term. The use of dredges is not anticipated. If a small-scale crusher and screening plant or mobile screen plant is used it will be centrally located within the area. The use of a mobile batch plant is not anticipated but would also be centrally located in accordance with applicable regulations. Approximate scale house and processing locations have been displayed on the map.

- e. Areas of visual screening are depicted on the site plan and visible as cut slopes on the section drawings. There is no intention of creating an additional berms to the north, west, and south as topography and existing vegetation create a natural barrier. If the adjacent land has a change in use that is not compatible, accommodation will be made to adjust screening measures.
- f. Noise mitigation will be achieved by the same means as the visual screening. Nuisance mitigation will be on the northern boundary of the parcel along West Susitna Parkway. (As depicted on Site Map and Sections G1,G2) Mufflers will be on all equipment and noise-producing equipment will have limited hours of operation. Hours of operation will support the adherence to the limits set by code.
- g. Lighting is not anticipated. If lighting becomes necessary, downward directional shielded lights will be utilized. All lighting will also be aimed into the project site and arranged behind cut slopes as not to create a nuisance to the residential area.
- h. It is explicitly confirmed that no asphalt or concrete batch plant is proposed for this operation
- i. Reserved (additional Requirements)

10. Additional Documentation

- a. Mining Permit as required by the Alaska State Department of Natural Resources
 - i. Gravel extraction is not taking place on state land. State Statute does not consider sand and gravel as “mining”. No mining permit is required.
- b. Reclamation Plan application is pending as required by ADNR, pursuant to AS 27.19 Letter of Intent (LOI) is pending with Alaska DNR as of 2/22/2026.
- c. Notice of Intent for DEC construction general permit (CGP) or Multi-Sector General Permit (MSGP)
 - i. These activities do not meet the threshold for coverage under the APDES. (This has been certified by a current Alaska Certified Erosion & Sediment Control Lead (AK-CESCL) and Professional Engineer. See Attached WOTUS memo
- d. United States Army Corps of Engineers (USACE) permit
 - i. Permit not applicable as there is no development in wetlands, lakes, or streams within the subject property.
- e. Other applicable permits
 - i. High-volume driveway permit approved by MSB

Attachments:

Updated Site Plan (Phases and Notes)
Grading Map and Section Drawings (G1-3)
Land Use Map w/ Wetlands
WOTUS Memo (AKCGP exemption)
DNR Reclamation Plan
Scale house details
Building Modification Photos

Updated Appendix A Narrative Revisions

Section 2c: Background (SLE Setback Correction) "Correction of the confirmed **3-foot Section Line Easement (SLE) setback violation** at the northeast corner of the commercial shop is currently underway. **Physical modifications to the structure are scheduled for completion in April 2026**, once weather permits construction. Upon completion, an updated as-built survey will be performed by a professional land surveyor to verify full compliance with the 25-foot setback requirement."

Section 3: Existing and Future Land Use

- **3a (Existing):** "The existing commercial shop is a **6000 square foot structure** consisting of **2 levels** and is wood frame construction."

- **3b (Future Vision):** "The ultimate goal for the property is the development of a **single or multi-family residential subdivision featuring 40,000-square-foot lots**. As shown on **Grading Plan G1**, the extraction is a land-leveling operation designed to reach a **final base grade of approximately 214' elevation**. This elevation provides a stable subgrade for future residential road networks and ensures the **4-foot vertical separation from the water table** required for on-site septic systems."

Section 7: Reclamation Plan "Reclamation will be performed concurrently with extraction at a rate of **2 acres annually**. The project consists of four distinct phases moving from east to west over a 10-year term (2026–2036) Final cut slopes will be graded to a **maximum 50 percent slope (2:1)** and covered with **4 inches of topsoil** to achieve **60 percent live plant cover** by the end of the fourth growing season following the completion of each phase.

Given assumes phasing Phase 1 (East) would be reclaimed by 2030, Phase (2 East Center) 2032, Phase 3 West Center 2034 and Phase 4 (West) 2036 or within 4 years at the completion of project.

Section 8d: Groundwater Monitoring "To ensure compliance with the 4-foot vertical separation requirement, **at least two groundwater monitoring systems** (pits or tubes) will be installed [381, User]. One system will be located in the **low area to the southeast** and another **to the west** as necessary to track seasonal data These systems will be installed by **May 2026**."

Section 8e & 9e: Visual and Noise Mitigation "The operation will utilize **existing natural topography and engineered cut slopes of at least 10 feet in height** to provide visual and noise screening for adjacent residential uses to the north and west. All screening features will be located **entirely within the subject parcel boundaries**. No man-made walls or fences are proposed as screening . **Note: Reference to 'West Stacy Street' has been removed**

Section 9d: Scale House and Batch Plant "The existing scale house is a **10x12 semi-mobile** structure located **60 feet** from the SLE. **It is explicitly confirmed that no asphalt or concrete batch plant is proposed for this operation.**"

Section 10: Regulatory Compliance The applicant believes that **official determination from the ADEC** regarding the necessity of a Notice of Intent (NOI) for a Construction General Permit is not necessary.

A **Fire Marshal plan approval** for the shop is pending and will demonstrate full compliance with fire codes (AS 18.70 and 13 AAC 50) **post-SLE setback correction.**"

Phased Reclamation: Gravel to Residential

2026–2036
DEVELOPMENT PHASES


PHASE 1: 2026–2028
**East Sector
Launch**

PHASE 2: 2029–2031
**East-Central
Stabilization**

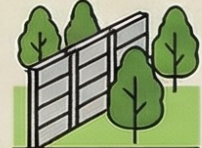
PHASE 3: 2031–2033
**West-Central
Finalization**

PHASE 4: 2034–2036
**West Sector
Grading**




Initial extraction begins with 2-acre annual reclamation cycles.


Ongoing contouring and stabilization of all cut slopes.


Completion of all noise and visual protection barriers.


Final grading to reaching the target 214' base elevation.

RECLAMATION STANDARDS
& FINAL VISION

Technical Compliance
**Environmental
Safeguards**



4-foot water table buffer and 50% (2:1) maximum slopes.

Surface Restoration
**Soil &
Vegetation**



Minimum 4-inch topsoil layer applied to all disturbed areas.

Final Land Use
**Residential
Subdivision**



Preparation for a 40,000 sq ft residential housing development.

22.08
 Total Project Acreage

While the total parcel is 22 acres, the active extraction area is limited to approximately 17 acres to allow for proper buffering and slopes



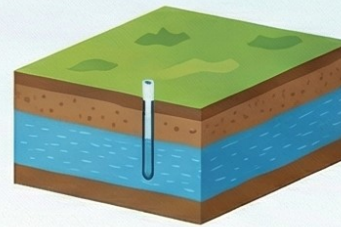
7:00 AM – 7:00 PM
 Operating Window
 Operations are strictly timed to mitigate community impact, with peak traffic typically occurring around 2:00 PM.

Estimated Completion: 2032 – 2036
 Extraction is projected to conclude within 6 to 10 years, depending on community demand and project-specific needs.



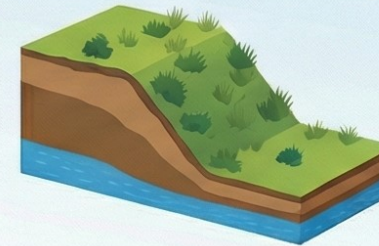
Environmental Protection & Community Buffering

4-Foot Vertical Water Table Separation



on-site monitoring tubes

10-Foot Cut Slope Screening



Preserved Natural Vegetation



Track-Walking Stabilization

Heavy equipment creates horizontal grooves (soil roughening) on slopes to prevent erosion and prepare the ground for hydroseeding.

Concurrent Reclamation



2 Acres Reclaimed Annually

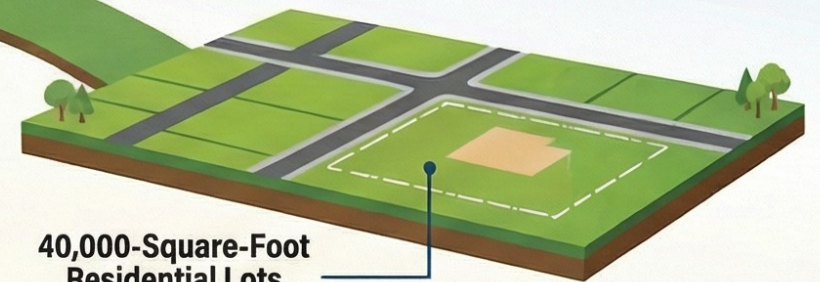
Reclamation occurs concurrently with extraction, ensuring that no more than 5 acres of land remain un-reclaimed at any given time.



4-Inch Topsoil Restoration

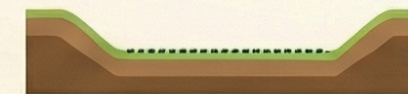
All disturbed areas are covered with a minimum of 4 inches of stockpiled topsoil to facilitate the establishment of a 60% live plant cover.

Final Subdivision Goal



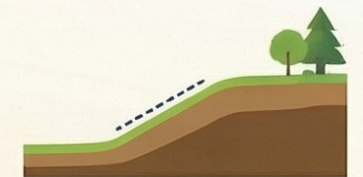
40,000-Square-Foot Residential Lots

The final reclamation layout is specifically designed to accommodate large-scale residential development with ample usable space.



Optimized 214' Elevation Base Grade

The site is leveled to an approximate elevation of 214 feet, providing the ideal foundation for future road networks and functional septic systems.

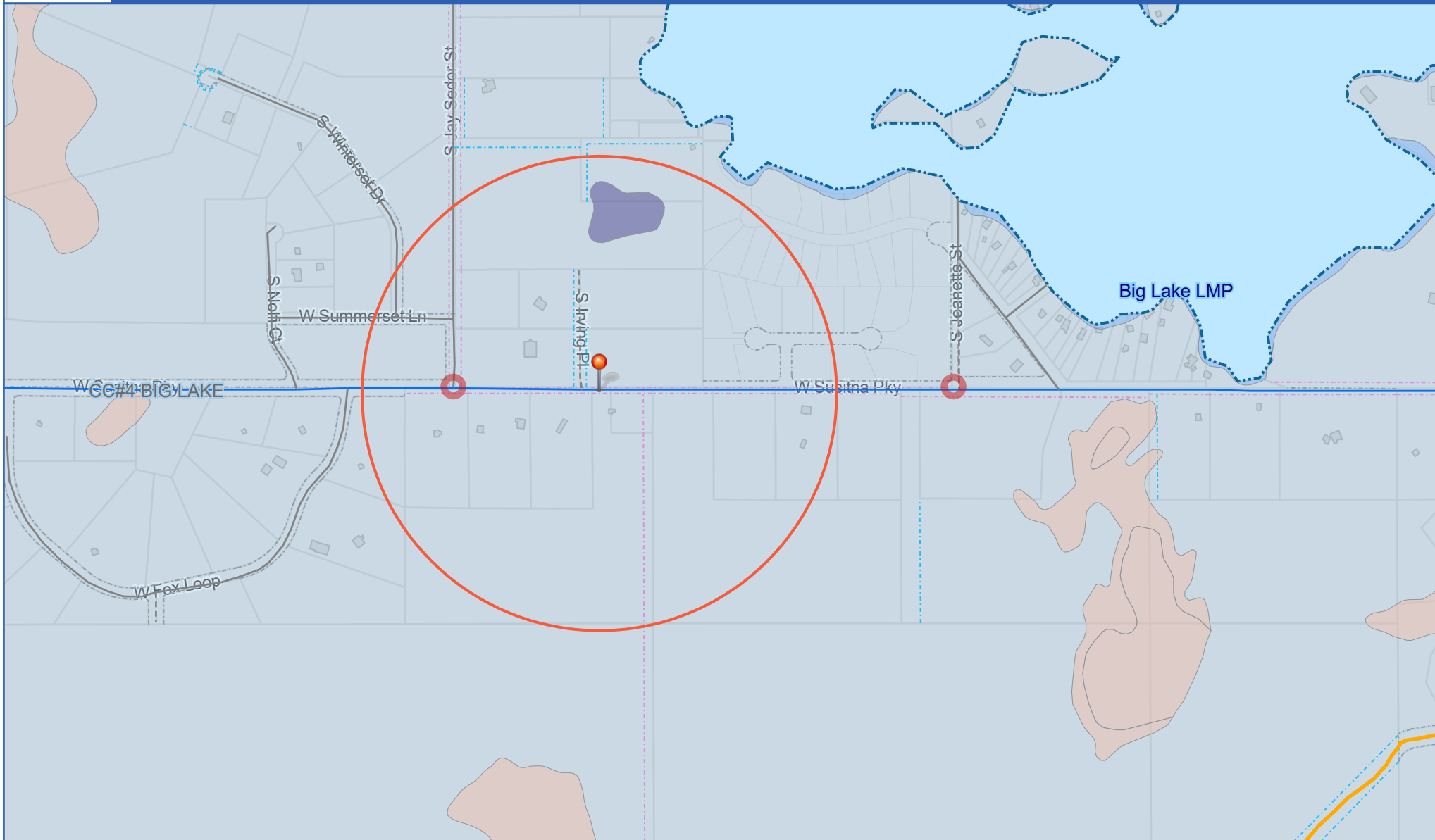


Stabilized 2H:1V Slopes

All final grading utilizes a 2 horizontal to 1 vertical slope ratio to ensure long-term soil stability and a natural appearance.

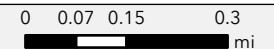


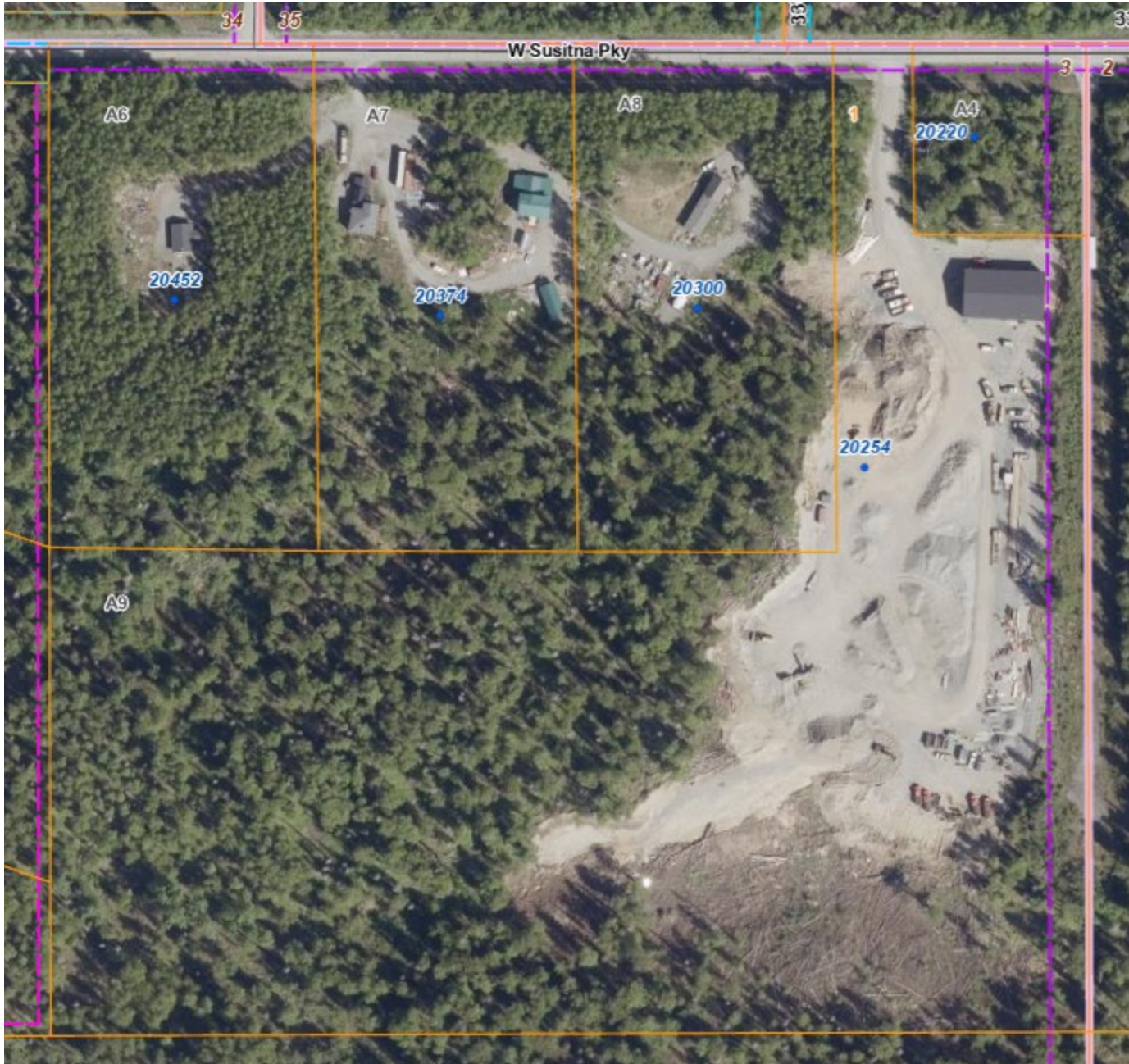
Planning & Land Use Map



- OSHP Primary Intersections
- Official Streets and Highways Plan
- Major Collector
- Minor Arterial
- Local Road
- Local Road (NC)
- Lake Management Plans
- Wetlands
- Depression
- Kettle
- LAKE
- Assembly Districts
- Community Councils
- ROW and Easements
- ROW Road
- ROW Easement
- Section line easement
- MSB General Use Regulations
- Parcels

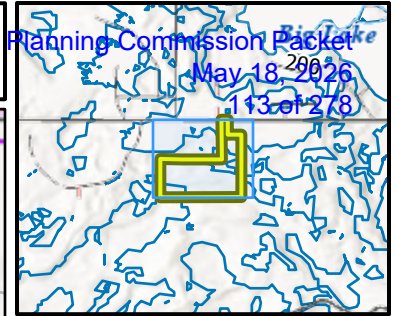
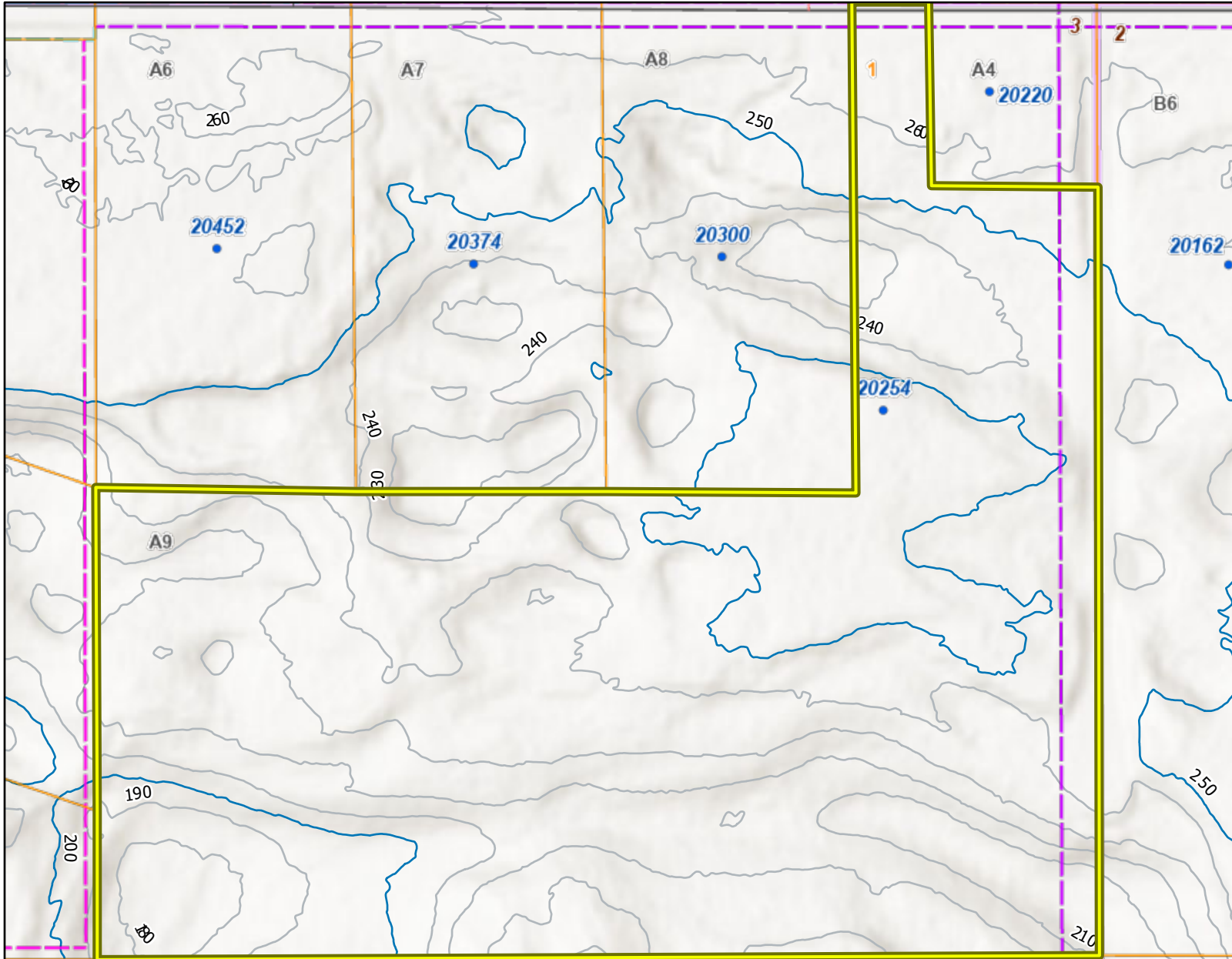
This map is solely for information purposes only. The Borough makes no express or implied warranties with respect to the character, function, or capabilities of the map or the suitability of the map for any particular purpose beyond those originally intended by the Borough. For information regarding the full disclaimer and policies related to acceptable uses of this map, please contact the Matanuska-Susitna Borough GIS Division at 907-861-7858.







Parcel Map



Legend

- Medium Road
- Minor Road
- Not Constructed
- Mat-Su Borough Boundary
- Address Numbers
- Parcels
- Lot and Block Numbers
- Government Lot Numbers

Layer

- ROW Easement
- Easement
- Section Line Easement
- Section Lines

World Hillshade

- World_Hillshade
- Highlighted Polygons
- Highlighted Polygons

Notes

Generated on 11.02.2026 (dd/mm/yyyy)
2019 Contours

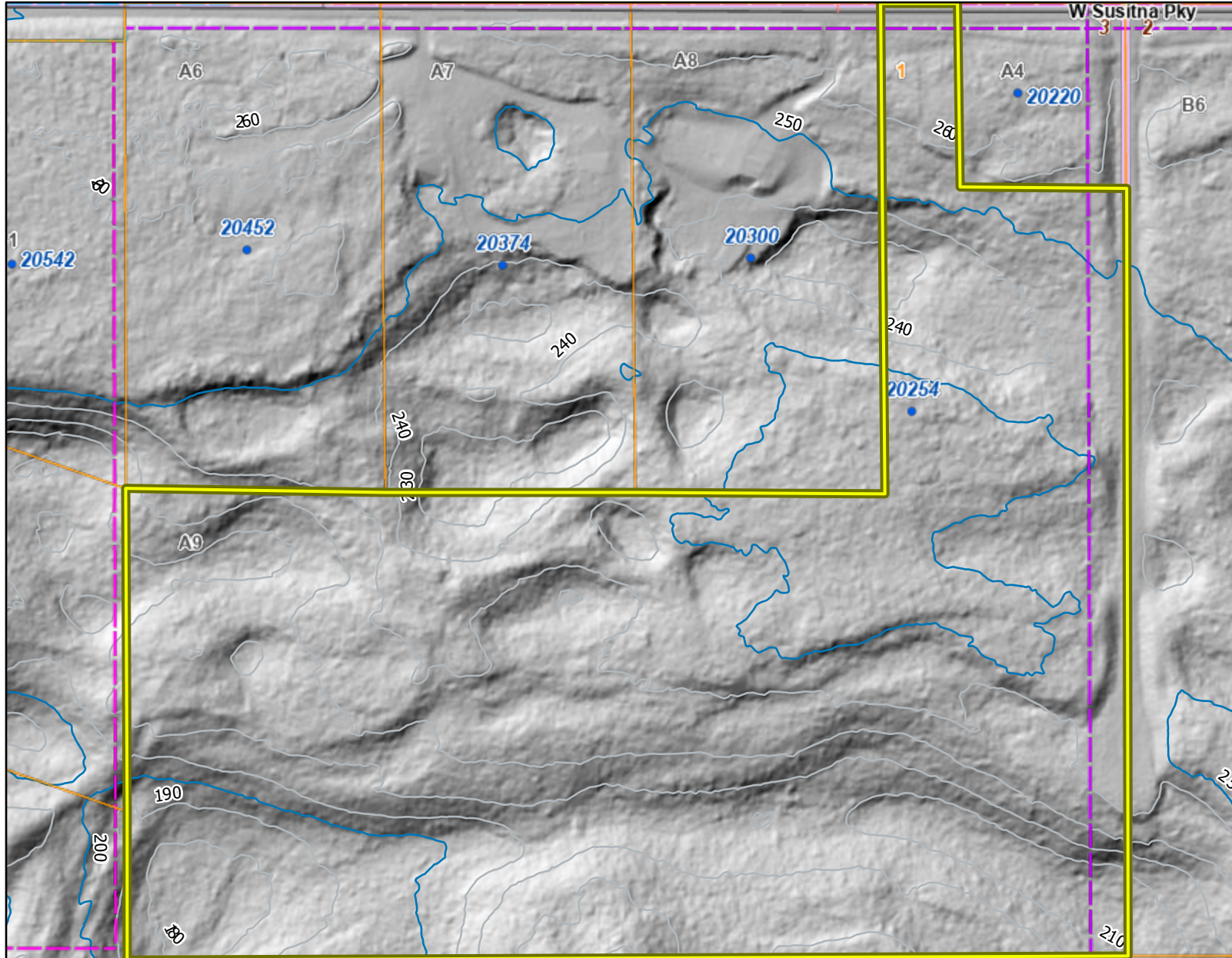
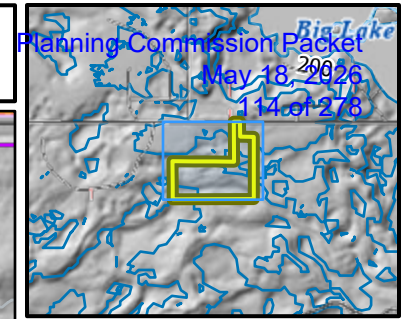
THIS MAP IS NOT TO BE USED FOR NAVIGATION

NAD 1983 State Plane Alaska 4 FIPS 5004 Feet

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Parcel Map



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Layer

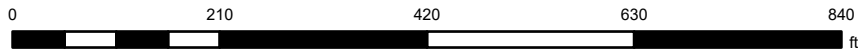
- ROW Easement
- Easement
- Section Line Easement
- Section Lines

Value

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- 0

Notes
 Generated on 11.02.2026 (dd/mm/yyyy)
 2019 Hillshade and Contours

THIS MAP IS NOT TO BE USED FOR NAVIGATION



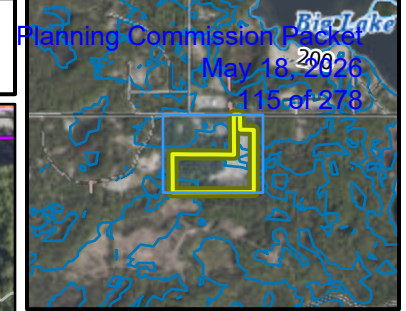
NAD 1983 State Plane Alaska 4 FIPS 5004 Feet



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Parcel Map



Legend

- Medium Road
- Minor Road
- Not Constructed
- Mat-Su Borough Boundary
- Address Numbers
- Parcels
- Lot and Block Numbers
- Government Lot Numbers

Layer

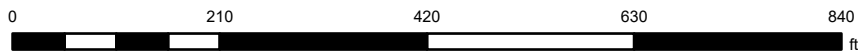
- ROW Easement
- Easement
- Section Line Easement
- Section Lines

RGB

- Red: Band_1
- Green: Band_2
- Blue: Band_3

Notes
 Generated on 11.02.2026 (dd/mm/yyyy)
 2025 Aerial and 2019 Contours Map

THIS MAP IS NOT TO BE USED FOR NAVIGATION



NAD 1983 State Plane Alaska 4 FIPS 5004 Feet



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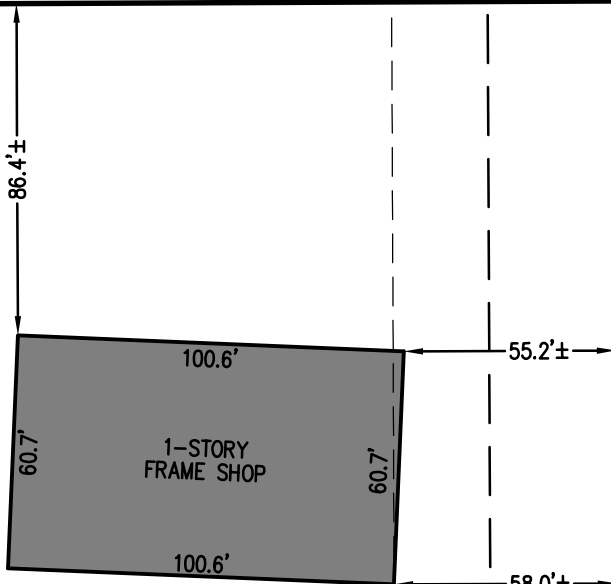
W. SUSITNA PKY

SEC. 35, T17N, R4W

SEC. 3, T16N, R4W

SEC. 2, T16N, R4W

UNSUBDIVIDED



X
TBM

PARCEL #4

MSB WAIVER RESOLUTION
SERIAL No. 98-53-PWm
(BK 966 PG 691)

PARCEL #4

MSB WAIVER RESOLUTION
SERIAL No. 98-54-PWm
(BK 966 PG 694)

25' RIGHT-OF-WAY SETBACK

33' SECTION LINE EASEMENTS

N 00°14'50" W 2575.80'

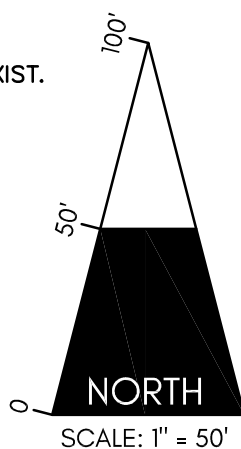
LEGEND

- FOUND BRASS MONUMENT
- SET MAG NAIL
- TBM



NOTES

1. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST.
2. THIS SURVEY DOES NOT CONSTITUTE A BOUNDARY SURVEY AND IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY DISCLOSE. UNDER NO CIRCUMSTANCES SHOULD ANY DATA SHOWN BE USED TO ESTABLISH ANY FENCE, STRUCTURE OR ANY OTHER IMPROVEMENTS.



ASBUILT - NO CORNERS SET THIS DATE

I HEREBY CERTIFY THAT I HAVE PERFORMED A SURVEY OF

PARCEL #4, MATANUSKA SUSITNA BOROUGH WAIVER RESOLUTION SERIAL No. 98-53-PWm, BOOK 966 PAGE 694, PALMER RECORDING DISTRICT, ALASKA,

AND THAT THE IMPROVEMENTS AS DEPICTED HEREON EXIST AS SHOWN IN RELATION TO THE PROPERTY LINES. EASEMENTS OF RECORD OTHER THAN THOSE SHOWN ARE NOT SHOWN HEREON UNLESS OTHERWISE NOTED.

DATE: 8/1/2025	FB: 2025-3
GRID: GB03	DRAWN: DMR/SPK
SCALE: 1" = 50'	FILE: 25-334AB

LAVENDER
SURVEY & MAPPING
720 N. YETI STREET, PALMER, AK 99645
DAYNA@LAVENDERSURVEY.COM (907)301-5177

ORIGINAL SIZE: LEGAL

From: [Bryan Ficklin](#)
To: [Rick Benedict](#)
Subject: Ficklin exemption
Date: Thursday, August 31, 2023 3:49:25 PM
Attachments: [Ficklin Gravel Memo 8-23-2023.pdf](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Rick, please find the exemption. I'm sorry I thought you had this almost a month ago it's been sitting in my file again I apologize also, I am going to be paving the apron this coming week. We're going to be installing it tomorrow for an up-and-coming hall we're trying to get 100% in compliance this week.

If you should have any questions please feel free to contact us via email or phone at [907-892-9109](tel:907-892-9109).

Thank you,

Bryan Ficklin
Owner/Operator



Physical Address:
2790 e lakeveiw dr
wasilla Ak 99654

Phone: [907.376.9109](tel:907.376.9109)
Fax: [907-892-9110](tel:907-892-9110)

Mailing Address:
[P.O. Box 521281](#)
[Big Lake, AK 99652](#)

To: Ficklin Gravel
Bryan Ficklin <b ficklin@ficklinllc.com>

Date: 8-23-2023

Subject: Multi Sector General Permit Evaluation
20254 W. Susitna Parkway (Ficklin Gravel)

MEMORANDUM

Mr. Ficklin,

You have requested that I review the applicability of the Alaska DEC Multi-Sector General Permit for your proposed gravel pit located at 20254 W. Susitna Parkway, Big Lake Alaska, shown below.



Information regarding the Multi Sector General Permit (MSGP) is located at: <https://dec.alaska.gov/water/wastewater/stormwater/multisector/>

Pertaining to your site, the permit information specifically states:

"Determine whether the facility or site discharges to a municipal separate storm sewer system (MS4) or to waters of the United States. If it does not, no permit is required."

The facility does not discharge to a MS4. Furthermore, per my review of the subject parcel, due to the absence of Waters of the U.S. (WOTUS) on the property and the proximity and topography separating the parcel to WOTUS in the area, the proposed activity is not subject to the ADEC Multi-Sector General Permit (MSGP) regulations. MSGP regulations are applicable to industrial activities that have the potential to discharge to WOTUS.

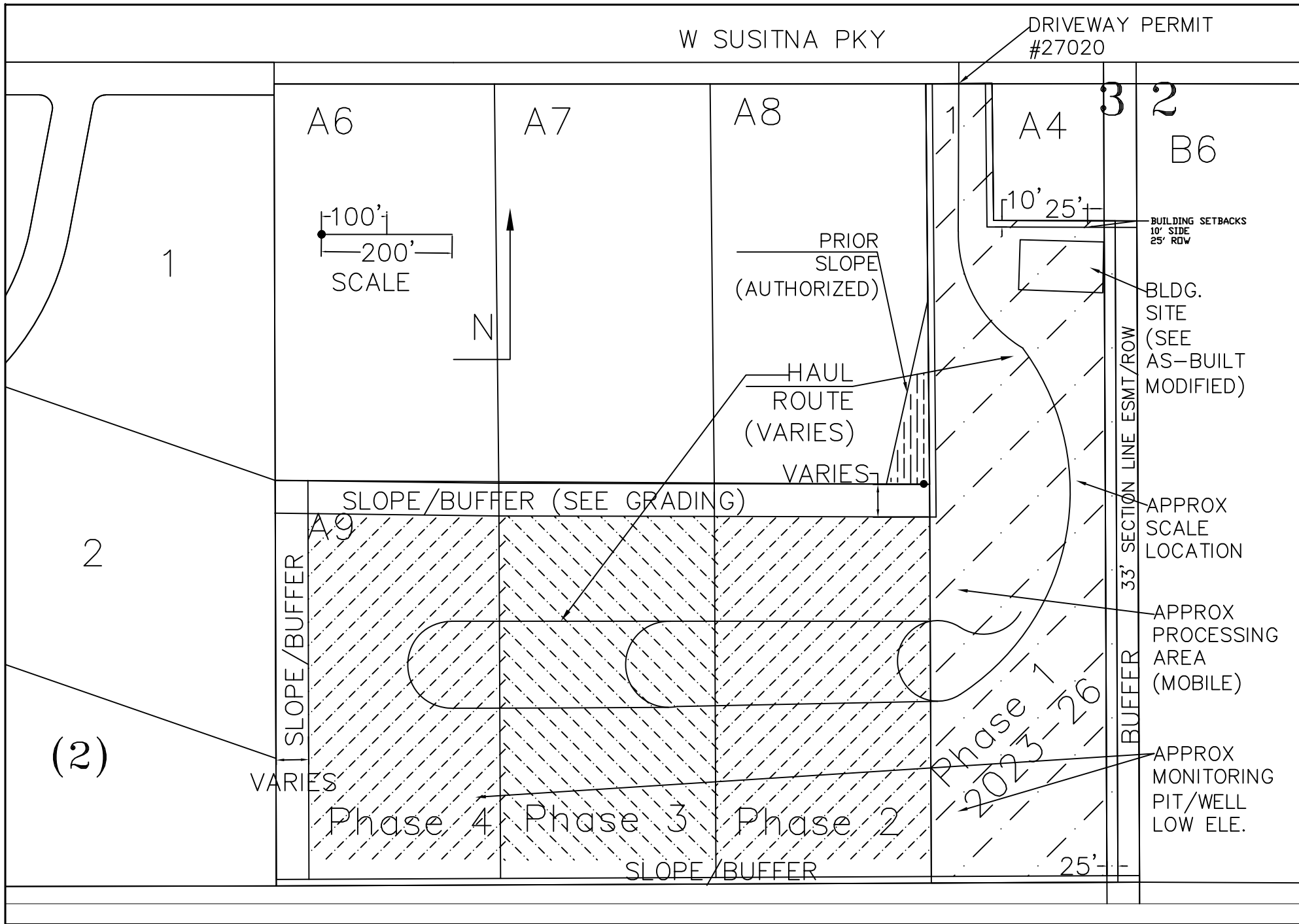
Note that the regulations consider "potential discharges to the Waters of the U.S." very broadly. Thus drainage by including indirect means, such as ditchlines connecting other properties, eventually connecting to Big Lake for example, would require your site to permit. Also dust from construction activities, flying and landing into WOTUS, is also considered a discharge to WOTUS. To ensure compliance during development the following is suggested:

- Ensure pit grading does not continue to leave the site. Do not grade ditchlines offsite
- It is assumed that the material onsite is clean gravel, not prone to dust creation, typical of the area. However, monitor dust creation if pockets of silty material are found. Water any dusty areas and keep site and trucks clean.

Thank you,

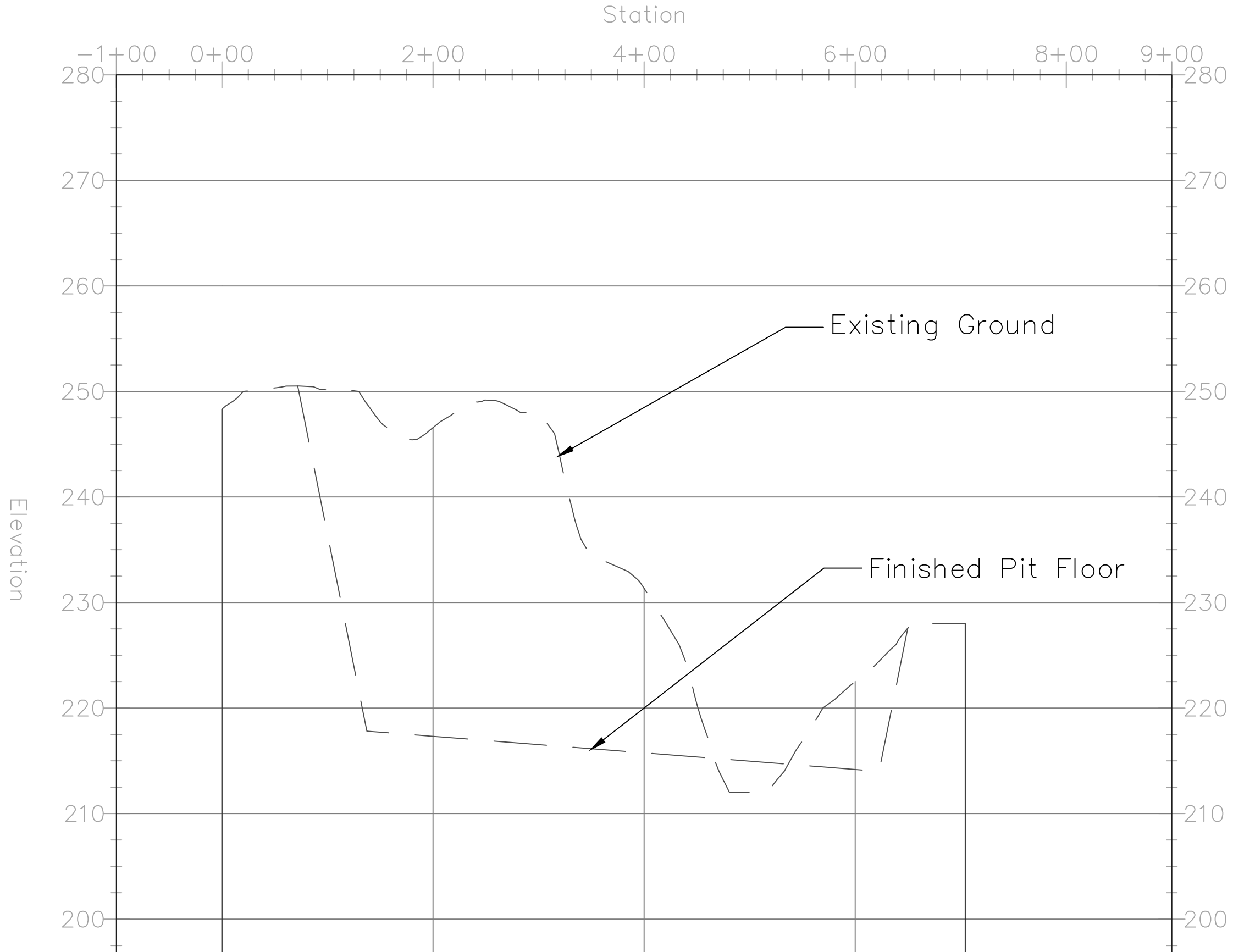


Max Schillinger P.E.
Civil Engineer #12956
AK-CESCL #CC-22-7802



1. Cut slopes 2H:1V @ 62.8° angle of repose.

North to South PROFILE

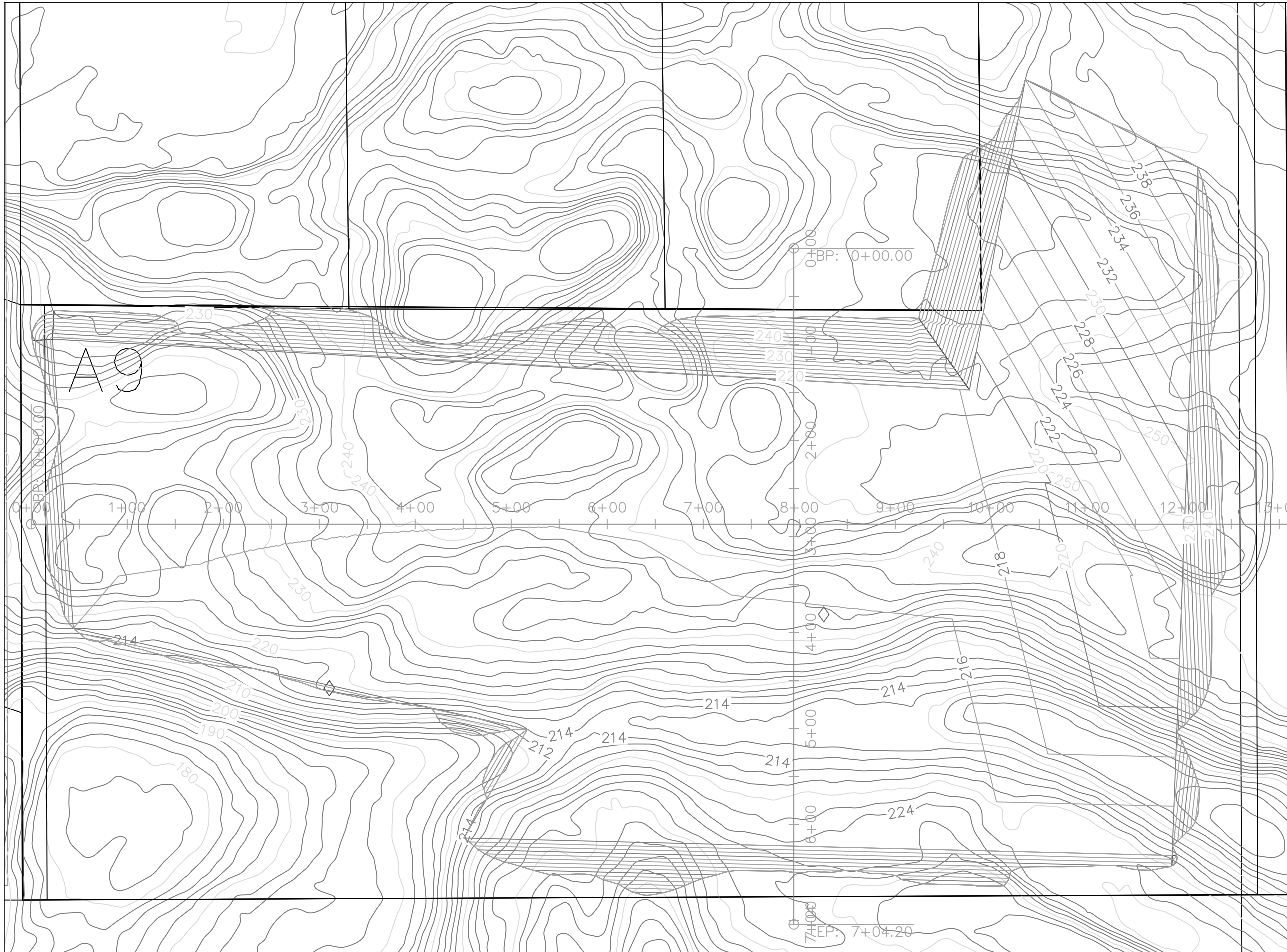


No.	Revision/Issue	Date

Firm Name and Address
 Streamline Alaska
 Consulting &
 Drafting

Project Name and Address
 Ficklin Gravel
 Products LLC
 Susitna Pit @ 20254
 W. Susitna Parkway
 Big Lake, Alaska

Project Ficklin Susitna Pit	Sheet G2
Date 1/11/2026	
Scale 1"=100' @11x17	



1. Cut slopes 2H:1V angle of repose.
2. Contours 2' minor & 10' major
3. Max cut depth approximately 214' Elevation
4. See Phase and Notes Sheet for Additional Detail
5. Final Grading to Follow Proposed Contours. (Approx.)
6. Visual and Sound Buffer via Topo. & Vegetation

No.	Revision/Issue	Date

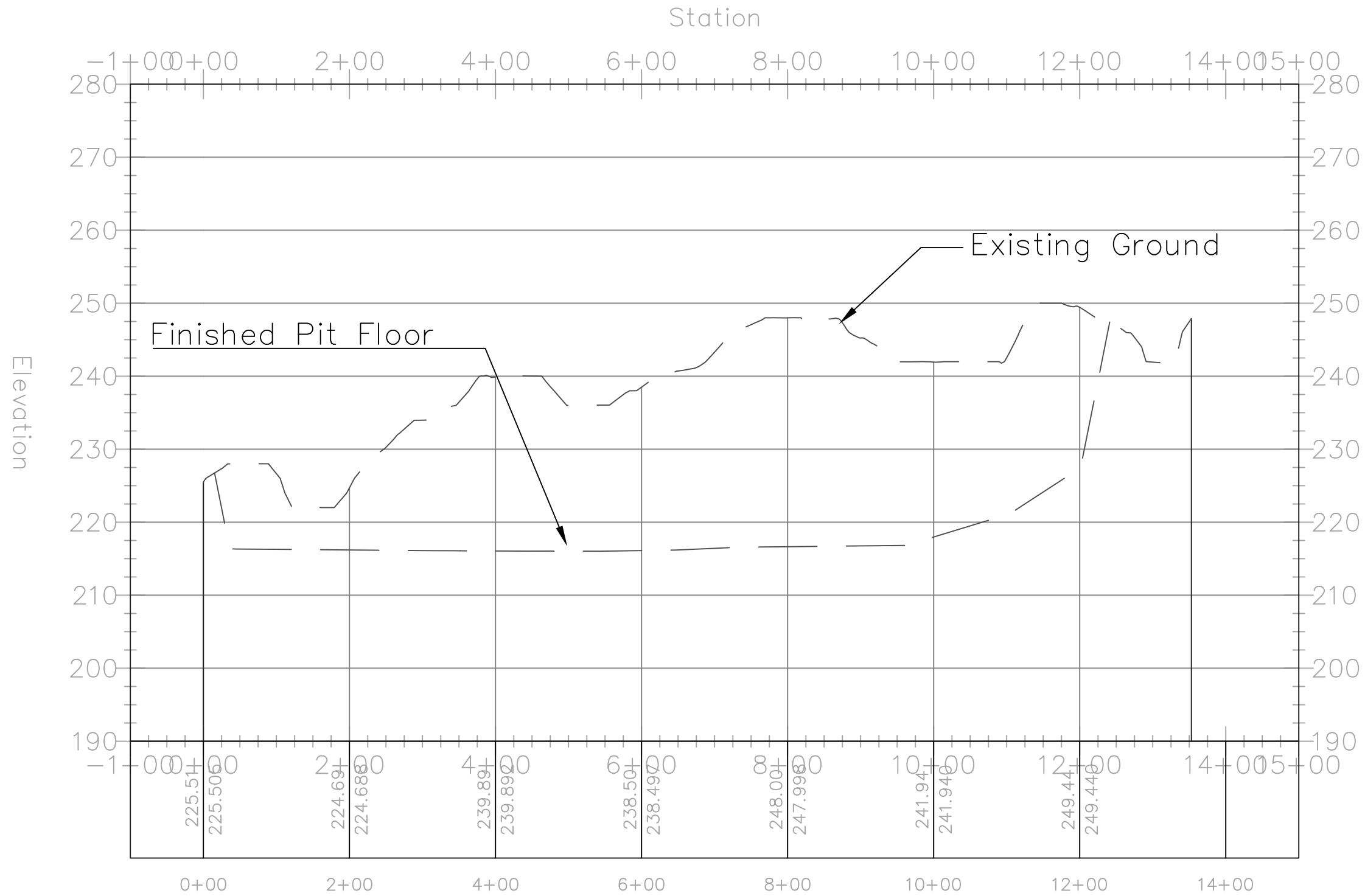
Firm Name and Address
 Streamline Alaska
 Consulting &
 Drafting

Project Name and Address
 Ficklin Gravel
 Products LLC
 Susitna Pit @ 20254
 W. Susitna Parkway
 Big Lake, Alaska

Project Ficklin Susitna Pit	Sheet G1
Date 12/24/2025	
Scale 1"=100' @ 11x17	

1. Cut slopes 2H:1V @ 27.8° angle of repose.

West to East PROFILE



No.	Revision/Issue	Date

Firm Name and Address
 Streamline Alaska
 Consulting &
 Drafting

Project Name and Address
 Ficklin Gravel
 Products LLC
 Susitna Pit @ 20254
 W. Susitna Parkway
 Big Lake, Alaska

Project Ficklin Susitna Pit	Sheet G3
Date 1/11/2026	
Scale 1"=100' @ 11x17	

This updated **Reclamation Plan** for the Ficklin Gravel West Susitna Parkway Development is rewritten to comply with the Alaska Department of Natural Resources (DNR) standards under **AS 27.19 (Reclamation Act)** and **11 AAC 97.200**. (See DNR LOI 8(e))

Ficklin Gravel DNR Reclamation Plan

1. Project Overview & Legal Description

- **Miner Information:** Ficklin Gravel Products, LLC (Contact: Rick Antonio).
- **Legal Description:** US Government Lot 1, Section 3, Township 16 North, Range 04 West, Seward Meridian.
- **Total Disturbed Area:** 17 acres.
- **Annual Volume:** 30,000–50,000 cubic yards.

2. Performance Standards (11 AAC 97.200)

- **Stabilization:** Areas disturbed by mining will be left in a stable condition to prevent waterborne soil erosion from exceeding pre-mining levels within one year of completion.
- **Topsoil Management:** All topsoil, vegetation, and overburden muck not promptly redistributed will be **individually separated, stockpiled, and protected** from erosion and toxic contamination.
- **Slope Grading:** Final cut slopes will be graded to a **maximum 50 percent slope (2:1)** and reshaped to blend with the surrounding natural topography.

3. Reclamation Schedule & Phasing

- **Concurrent Reclamation:** Reclamation will be performed **concurrently with extraction** throughout the 10-year term.
- **Phased Progress:** The site will be reclaimed at a rate of **2 acres annually**, moving from east to west overlapping
- Phase 1 2026-2030, Phase 2 2028-2032, Phase 3 2030-2034, Phase 4 2032-2036
- **Completion Deadline:** Reclamation of each phase will be completed within **four growing seasons** of that phase being finished, exceeding the state's five-year natural revegetation guideline.

4. Alternate Post-Mining Land Use (AS 27.19.030(b))

- **Vision:** The site will be reclaimed to a condition consistent with a **single or multi-family residential subdivision**.
- **Final Grade:** The property will be leveled to a **base grade of approximately 214' elevation** as shown on **Grading Plan G1**.
- **Infrastructure Preparation:** The leveled floor will provide a stable subgrade for **Residential or Residential Sub-collector** roads and ensure a **4-foot vertical separation** from the water table for future septic systems.
- **Exemptions:** Areas designated for future buildings, paved roads, and septic fields are exempt from re-vegetation standards per MSB 17.28.067(I).

5. Reclamation Measures & Equipment

- **Measures:** Techniques include topsoil redistribution, track-walking for erosion control, and seeding with certified weed-free native species to achieve **60% live plant cover**.
 - **Cleanup:** All junk vehicles, equipment, fuel tanks, and general debris will be removed or properly disposed of at closure.
 - **Equipment:** The operation will utilize a wheel loader (Cat 930+), excavator with hydraulic thumb (Cat 318+), dozers, and a hydro-seed rig.
-

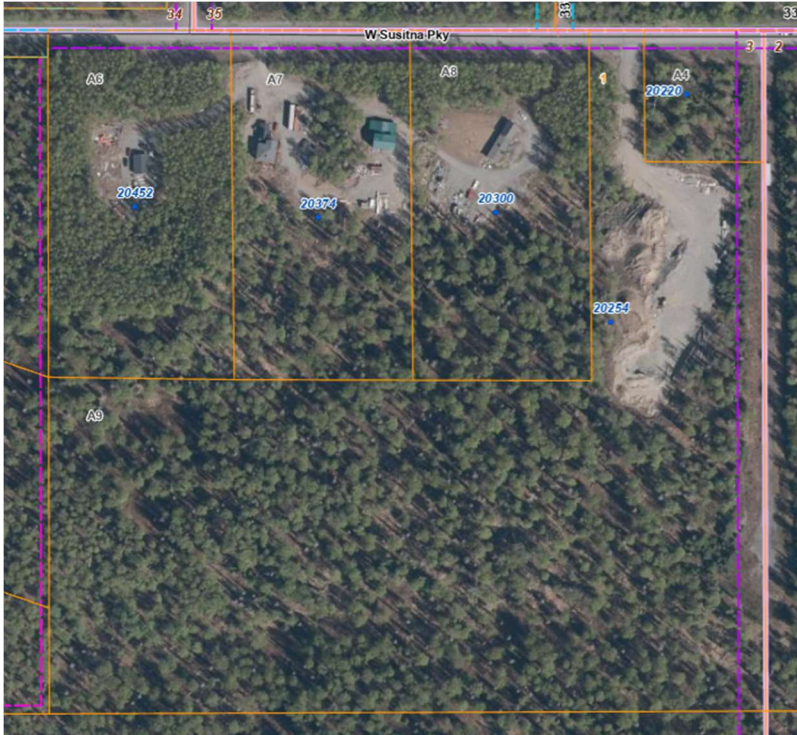


Figure 1 2022 Conditions

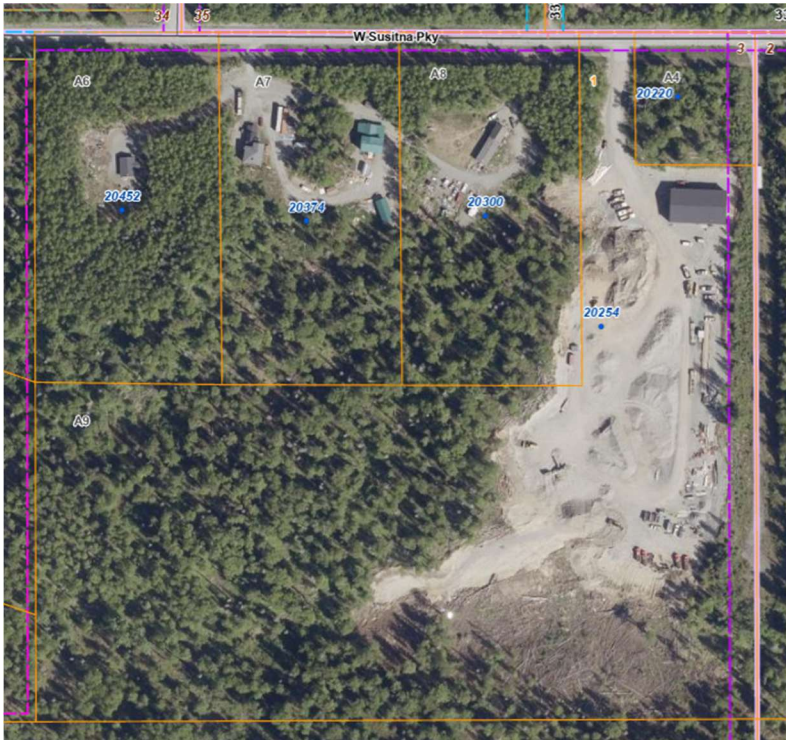


Figure 2 2025 Conditions



Figure 3 Phase 1 West Boundary Aug '25



Figure 4 Phase 1 East Boundary Nov '25



Figure 5 Vision Infographic

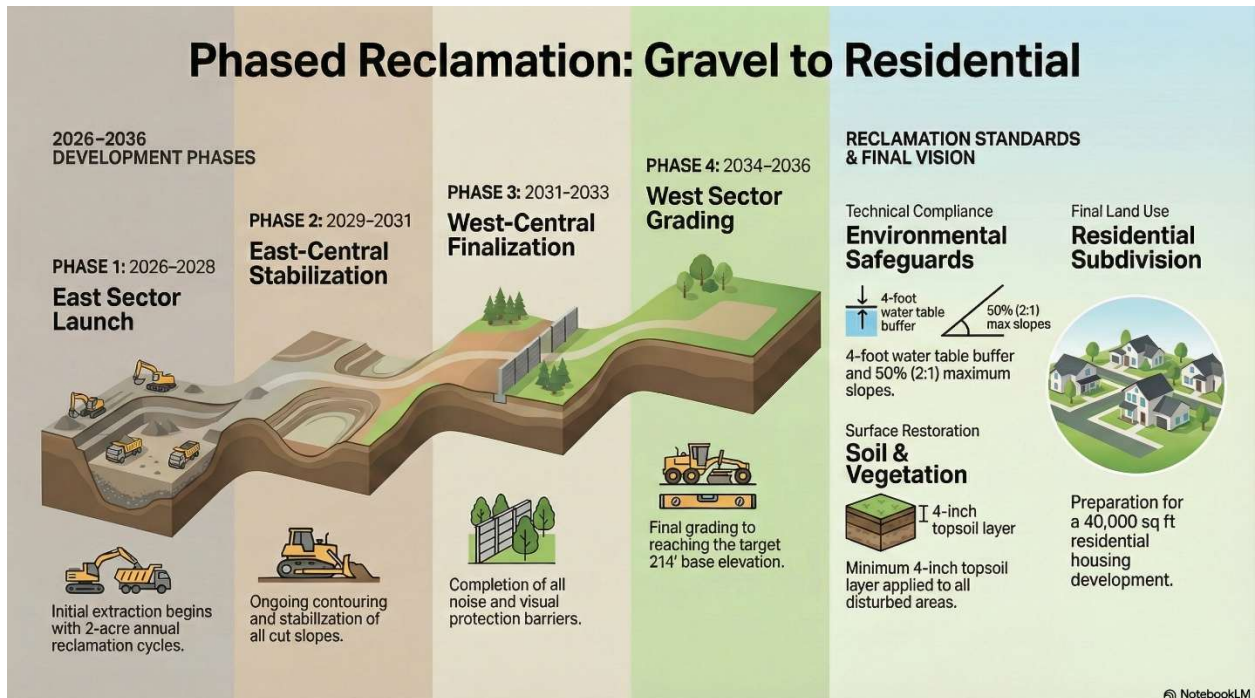


Figure 6 phase infographic

From: [Rick Antonio](#)
To: [Rick Benedict](#)
Subject: Fwd: Fw: Ficklin Construction - pictures
Date: Tuesday, March 17, 2026 9:07:22 AM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Rick,

Please see more current photos. The exterior work will start soon.

Best regards,

Rick Antonio

----- Forwarded message -----

From: Jaylene Thompson <jthompson@ficklinllc.com>
Date: Mon, Mar 16, 2026, 1:19 PM
Subject: Fw: Ficklin Construction - pictures
To: Rick Antonio <streamlinealaska@gmail.com>
Cc: Jaylene Thompson <jthompson@ficklinllc.com>

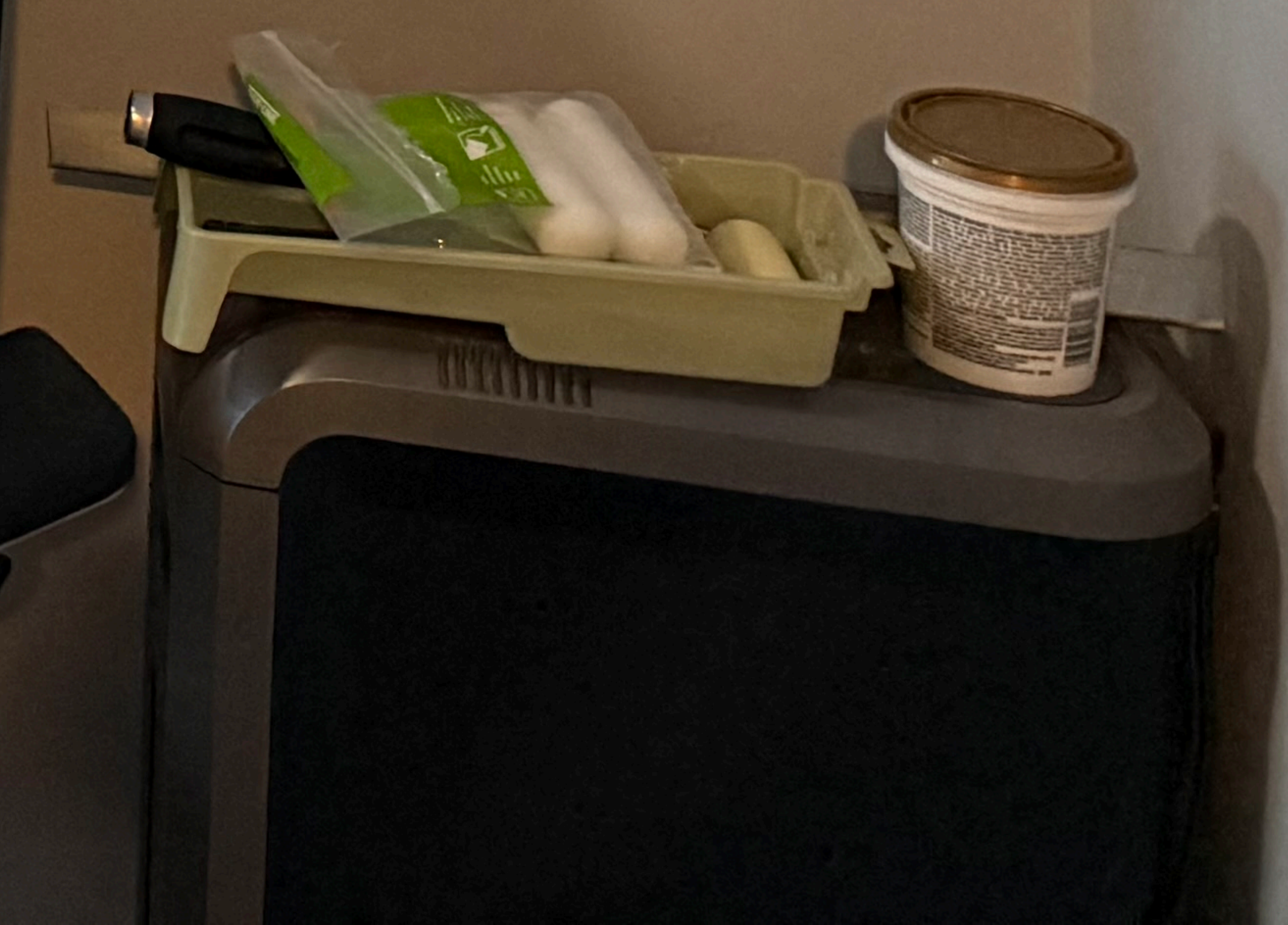
Hello Rick,

This are updated as of today. Painting tomorrow.

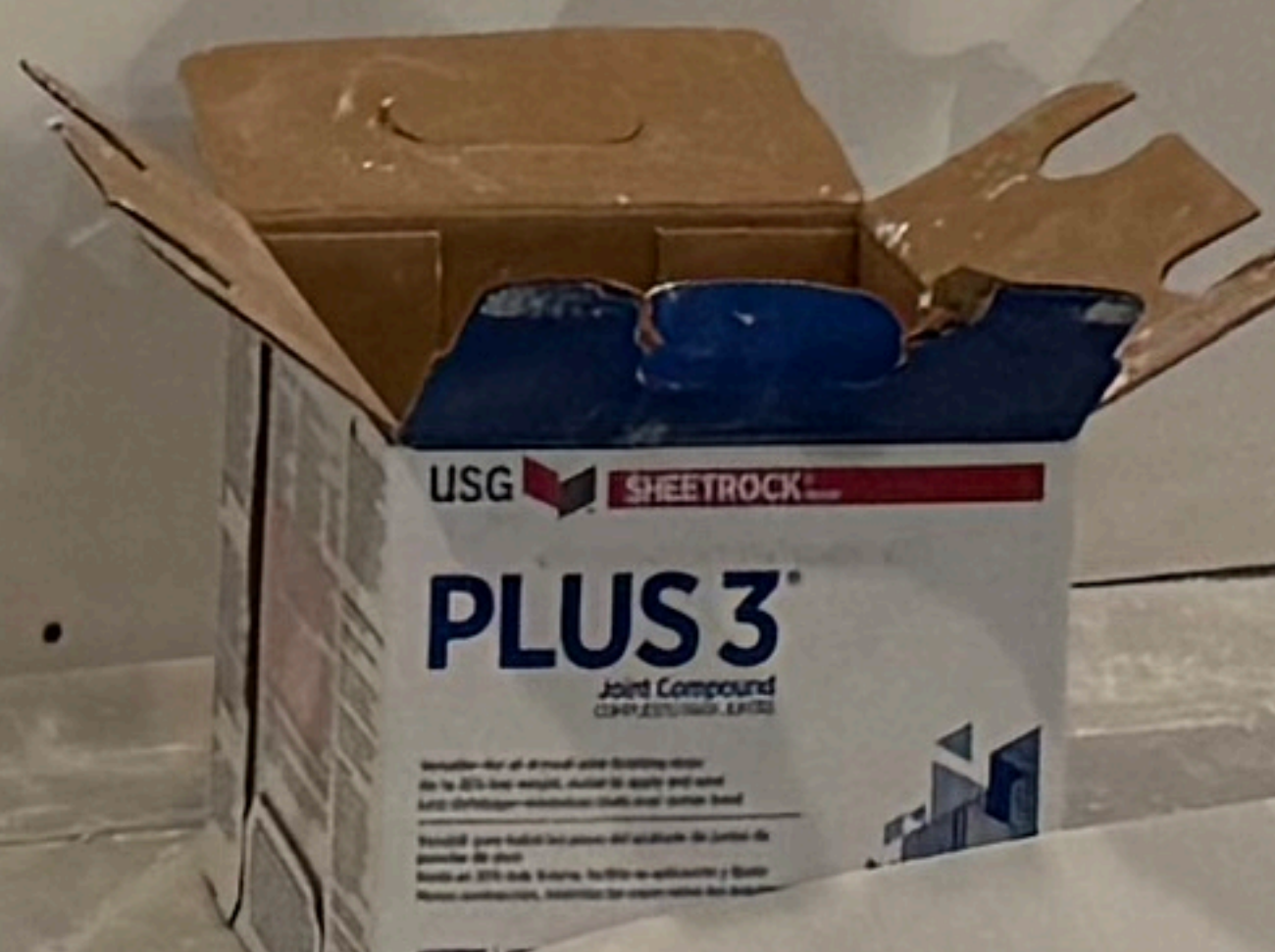
Thank you,
Jaylene

Get [Outlook for iOS](#)











BIRCHWOOD
2502





ESC
BIRCHWOOD





20x80 Right
Hanging all
2/22/22

PRIVACY
GLAZED DOOR

Pantry

2021/12
24177056

2/26 R



PRIVACY
GLAZED DOOR



Agency Comments

From: [Permit Center](#)
To: [Rick Benedict](#)
Subject: RE: Request for Comments: MSB 17.30 - Earth Materials Extraction Activities
Date: Wednesday, March 25, 2026 2:52:56 PM

No comments from the Permit Center.

Brandon Tucker

Permit Technician

[Matanuska-Susitna Borough Permit Center](#)

350 E Dahlia Ave

Palmer AK 99645

P (907) 861-7871

F (907) 861-8158

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Wednesday, March 25, 2026 1:04 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: Request for Comments: MSB 17.30 - Earth Materials Extraction Activities

APPLICANT: Rick Antonio, for Ficklin Gravel Products, LLC

LOCATION: 20254 West Susitna Parkway, Big Lake, AK 99652
Tax ID 16N04W03A009, within Township 16 North, Range 4 West, Section 3,
Seward Meridian, RSA 21

An application for a Conditional Use Permit under MSB 17.30 - Earth Materials Extraction Activities. The Conditional Use Permit would allow for the removal of approximately 360,000 cubic yards of earth materials through 2036.

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing to consider the application, tentatively scheduled for **Monday, May 18, 2026, at 6:00 p.m.**

Application materials may be viewed online at www.matsu.gov via the "Announcements & Public Notices" link. A direct link to the application material is here:

[MSB - MSB 17.30 - Application for Earth Materials Extraction Activities \(Tax ID#16N04W03A009\)](#)

Comments are due on or before **May 1, 2026**, and will be included in the packet. Please be advised that comments received after that date will not be included in the staff report but will be provided to the Planning Commission as a handout at the meeting.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: [Fred Wagner](#)
To: [Rick Benedict](#)
Subject: RE: Request for Comments: MSB 17.30 - Earth Materials Extraction Activities
Date: Wednesday, March 25, 2026 1:22:37 PM

Platting has no comment.

Sincerely,

Fred Wagner, PLS
MSB Platting Officer
(907)861-7870 Office
(907)355-8507 Cell

From: Rick Benedict <Rick.Benedict@matsugov.us>
Sent: Wednesday, March 25, 2026 1:04 PM
To: Rick Benedict <Rick.Benedict@matsugov.us>
Subject: Request for Comments: MSB 17.30 - Earth Materials Extraction Activities

APPLICANT: Rick Antonio, for Ficklin Gravel Products, LLC

LOCATION: 20254 West Susitna Parkway, Big Lake, AK 99652
Tax ID 16N04W03A009, within Township 16 North, Range 4 West, Section 3,
Seward Meridian, RSA 21

An application for a Conditional Use Permit under MSB 17.30 - Earth Materials Extraction Activities. The Conditional Use Permit would allow for the removal of approximately 360,000 cubic yards of earth materials through 2036.

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[MSB - MSB 17.30 - Application for Earth Materials Extraction Activities \(Tax ID#16N04W03A009\)](#)

Comments are due on or before **May 1, 2026**, and will be included in the packet. Please be advised that comments received after that date will not be included in the staff report but will

be provided to the Planning Commission as a handout at the meeting.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: [Newcomb, Grace R \(DNR\)](#)
To: [Rick Benedict](#)
Cc: [Matsumiya, Naelene S \(DNR\)](#); [Micelotta, Cinnamon A \(DNR\)](#)
Subject: RE: Request for Comments: MSB 17.30 - Earth Materials Extraction Activities
Date: Thursday, March 26, 2026 8:40:17 AM
Attachments: [image001.png](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

Thank you for including us in this review.

The Material Sales program would like the Planning Commission and applicant to be aware that under AS 27.19 all material extraction projects must file a reclamation plan with the state, which may include bonding. We have received an initial application from Ficklin Gravel Products, LLC, however we have not yet received proof of landowner permission; I see that may be dependent on the decision made by the commission May 18th. The application will not be accepted until proof of permission is received.

Best,

Grace Newcomb

Natural Resource Specialist

Department of Natural Resources
Division of Mining, Land, and Water
Material Sales Program
550 W 7th Ave Ste 900c
Anchorage, AK 99501-3577

Ph: (907) 269-8560

F: (907) 269-8913



From: Rick Benedict <Rick.Benedict@matsugov.us>

Sent: Wednesday, March 25, 2026 1:04 PM

To: Rick Benedict <Rick.Benedict@matsugov.us>

Subject: Request for Comments: MSB 17.30 - Earth Materials Extraction Activities

CAUTION: This email originated from outside the State of Alaska mail system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

APPLICANT: Rick Antonio, for Ficklin Gravel Products, LLC

LOCATION: 20254 West Susitna Parkway, Big Lake, AK 99652
Tax ID 16N04W03A009, within Township 16 North, Range 4 West, Section 3,
Seward Meridian, RSA 21

An application for a Conditional Use Permit under MSB 17.30 - Earth Materials Extraction Activities. The Conditional Use Permit would allow for the removal of approximately 360,000 cubic yards of earth materials through 2036.

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing to consider the application, tentatively scheduled for **Monday, May 18, 2026, at 6:00 p.m.**

Application materials may be viewed online at www.matsu.gov via the “Announcements & Public Notices” link. A direct link to the application material is here:

[MSB - MSB 17.30 - Application for Earth Materials Extraction Activities \(Tax ID#16N04W03A009\)](#)

Comments are due on or before **May 1, 2026**, and will be included in the packet. Please be advised that comments received after that date will not be included in the staff report but will be provided to the Planning Commission as a handout at the meeting.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct



30 April 2026

Matanuska-Susitna Borough, Platting Division
350 East Dahlia Avenue
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed the following Public Notice and has no comments or recommendations.

- **Application for Earth Materials Extraction Activities (Tax ID#16N04W03A009) (MSB 17.30)**

If you have any questions, please feel free to contact me at (907) 334-7944 or by email at brandon.echols@enstarnaturalgas.com.

Sincerely,

A handwritten signature in black ink that reads "Brandon Echols". The signature is written in a cursive style with a large initial "B".

Brandon Echols
Right of Way & Permitting Agent
ENSTAR Natural Gas Company, LLC

Public Comments

Matanuska-Susitna Borough
Development Services Division
350 E. Dahlia Avenue
Palmer, Alaska 99645

Planning Commission Packet
May 18, 2026
147 of 278

44

NOLFI-DODGE NANCY A
DODGE GEORGE P III
PO BOX 520667
BIG LAKE AK 99652-0667

The Matanuska-Susitna Borough Planning Commission will consider the following:

Rick Antonio, on behalf of Ficklin Gravel Products LLC, applied for a Conditional Use Permit under MSB 17.30—Conditional Use Permit (CUP) for Earth Materials Extraction Activities to extract approximately 360,000 cubic yards of earth material for a period of 10 years. The proposed extraction site is located at 20254 W. Susitna Parkway (Tax ID#16N04W03A009 within Township 16 North, Range 4 West, Section 3, Seward Meridian.

The Matanuska-Susitna Borough Planning Commission will conduct a public hearing concerning the application on **Monday, May 18, 2026**, at 6:00 p.m. in the Borough Assembly Chambers at 350 E. Dahlia Avenue in Palmer. This may be the only presentation of this item before the Planning Commission, and you are invited to attend. Planning Commission members may not receive or engage in ex-parte contact with the applicant, other interested parties in the application, or members of the public concerning the application or issues presented in the application.

Application materials may be viewed online at www.matsu.gov. For additional information, you may contact the Development Services Division by phone at (907) 861-7822. Written comments can be provided by e-mail to permit.center@matsugov.us, or by mail to the attention of **MSB Development Services Division, 350 E. Dahlia Avenue, Palmer, AK 99645**.

The public may provide verbal testimony at the meeting or telephonically by calling 1-855-290-3803. To be eligible to file an appeal from a Planning Commission decision, a person must be designated an interested party. See MSB 15.39.010 for the definition of an interested party. The procedures governing appeals to the Board of Adjustment and Appeals are contained in MSB 15.39.010-250, which is available on the Borough home page at www.matsu.gov, in the Borough Clerk's office, and at various libraries within the borough.

Comments are due on or before **May 1, 2026**, and will be included in the Planning Commission packet. Please be advised that comments received after that date will not be included in the staff report but will be provided to the Commission at the meeting.

George P. Dodge III

Name: Nancy NOLFI-Dodge Mailing Address: P.O. Box 520667, Big Lake, AK 99652
Location/Legal Description of your property: 5863 S. NOLFI Court, Big Lake
Comments: Please see attached letter + photos.

Note: Vicinity Map Located on Reverse Side

RECEIVED

APR 22 2026

PLATTING

To: MSB Development Services Division

From: George Dodge and Nancy Nolfi-Dodge

Date: April 21, 2026

Re: Ficklin Gravel Products Conditional Use Permit

We are writing in regard to the Ficklin Gravel Products LLC, Conditional Use Permit under MSB 17.30-Conditional Use Permit (CUP) for Earth Materials Extraction Activities to extract approximately 360,000 cubic yards of earth materials for a period of 10 years.

We request that our comments and photos be included in the packet for the Planning Commission to view before granting approval of this conditional use permit.

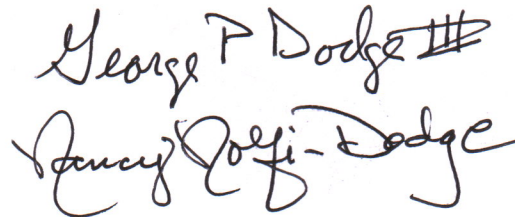
Our primary concern is the high number of large gravel hauling vehicles on South Big Lake Road and West Susitna Parkway. There are two active gravel pits within a half-mile radius of our home in JANA Estates. There is a third active gravel pit within one mile.

South Big Lake Road and most of West Susitna Parkway are old, in disrepair and deteriorating. In most places the roads are narrow and have no shoulders as well as numerous blind hills and curves. We have enclosed photos of some of the areas of concern for those on the planning commission who may never have actually seen these locations in person.

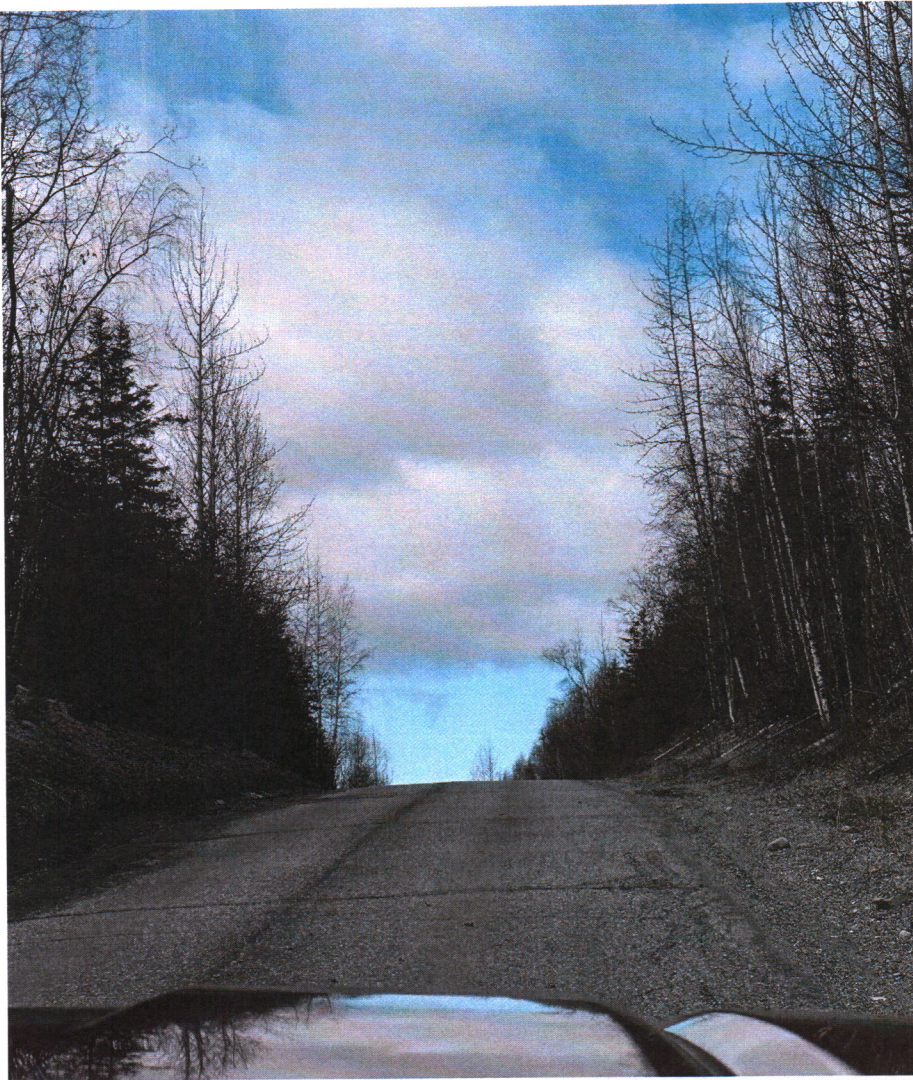
We request that you either do not grant continuation of the operation of this gravel pit, or at the least, consider upgrading these roads and putting safety provisions in place to support this heavy traffic. We believe the Borough has an obligation to consider the safety and quality of life for residents in our area as well as the industrial and financial gains of these gravel operations.

Sincerely,

George P. Dodge III
Nancy Nolfi-Dodge

Handwritten signatures of George P. Dodge III and Nancy Nolfi-Dodge. The signature for George P. Dodge III is written in black ink and includes a stylized 'III' at the end. The signature for Nancy Nolfi-Dodge is also in black ink and is written in a cursive style.







Advertisements & Public Hearing Notices

Communication and Deficient Application Material

From: [Rick Antonio](#)
To: [Mark Whisenhunt](#)
Cc: [Bryan Ficklin](#)
Subject: Re: Public Comments
Date: Tuesday, May 5, 2026 3:16:20 PM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Mark,

I was a little confused by DNR letter. After talking with Naelene, the email might not have been clear. They are just waiting on MSB approval to process the DNR permit. Please call me if you have any questions.

She also sent a follow up email in the original thread.

Rick

On Tue, May 5, 2026, 1:14 PM Mark Whisenhunt <Mark.Whisenhunt@matsugov.us> wrote:

Good Afternoon,

Please see the attached public comment and comments from ADNR. Please let me know if you have any questions.

Respectfully,

Mark Whisenhunt

Current Planner

Planning Department

Matanuska-Susitna Borough

(907) 861-7839

From: [Rick Benedict](#)
To: [Mark Whisenhunt](#)
Subject: Fw: Ficklin Construction - Revised As-Built
Date: Tuesday, May 5, 2026 1:00:57 PM
Attachments: [Outlook-d03djhpk.png](#)
[Revised As-Built.pdf](#)

Wade Long

Development Services Manager
Matanuska-Susitna Borough
350 E. Dahlia Ave
Palmer, AK 99645
office: 907-861-7865
cell: 907-707-4741

From: Jaylene Thompson <jthompson@ficklinllc.com>
Sent: Friday, April 17, 2026 12:14 PM
To: Rick Antonio <streamlinealaska@gmail.com>; Rick Benedict <rick.benedict@matsugov.us>
Cc: Jaylene Thompson <jthompson@ficklinllc.com>
Subject: Ficklin Construction - Revised As-Built

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

I wanted to get you the revised As-built. Let me know if you need anything else.

Jaylene Thompson
Project Coordinator



Office # 907-376-9109

Office:
20254 W Susitna Parkway
Big Lake, AK. 99652

Mailing Address:
P.O. Box 521281
Big Lake, AK 99652

From: [Kendra Johnson](#)
To: [Alex Strawn](#)
Cc: [Wade Long](#); [Rick Benedict](#)
Subject: Ficklin Gravel Pit - CUP 2023-010265
Date: Friday, March 20, 2026 2:22:23 PM

Alex,

After our discussion this morning – I telephoned Mr. Ficklin –
He provided me a run down of his haul log and they are at approximately 500 cy since Jan 1,
2026: well under the allowable 2,000 w/out a permit.

He is also going to check with his Admin staff about the FB add that was reported to you – as he
said they haven't created anything new that he knows about – and it may be a routine one they
have used before that cycled back up.

It appears that their CUP will be on the agenda to be heard May 18th, 2026

Kendra Johnson, CFM

Senior Code Compliance Officer
(907)861-7861 office
(907)861-7822 Permit Center

From: [Rick Antonio](#)
To: [Rick Benedict](#)
Subject: Fwd: Ficklin LOI 20254 W. Susitna
Date: Friday, March 20, 2026 1:37:55 PM

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick,

Please see the email thread below regarding the DNR Letter of Intent (LOI) for 20254 W. Susitna. I will forward any updates as soon as they are received.

Regards,

Rick Antonio

----- Forwarded message -----

From: **Matsumiya, Naelene S (DNR)** <naelene.matsumiya@alaska.gov>
Date: Mon, Feb 23, 2026, 8:09 AM
Subject: RE: Ficklin LOI 20254 W. Susitna
To: Rick Antonio <streamlinealaska@gmail.com>
Cc: Newcomb, Grace R (DNR) <grace.newcomb@alaska.gov>

Good morning Rick,

These documents were received. I will be the point of contact for this application moving forward. I will review the application packet you provided and will reach out with any questions, if any.

Thank you,

Naelene Matsumiya

Natural Resource Specialist

DNR | DMLW | Southcentral Regional Office | Material Sales

550 W 7th Ave, Ste 900C Anchorage, AK 99501

Phone: (907) 269-8555 | Fax: (907) 269-8913

From: Rick Antonio <streamlinealaska@gmail.com>
Sent: Sunday, February 22, 2026 5:38 PM
To: Matsumiya, Naelene S (DNR) <naelene.matsumiya@alaska.gov>
Cc: Newcomb, Grace R (DNR) <grace.newcomb@alaska.gov>
Subject: Re: Ficklin LOI 20254 W. Susitna

Hi Grace and Naelene,

Please find the attached Letter of Intent (LOI) for 20254 W. Susitna for your review.

I have also included documentation for the previous year that might have been outstanding.
(annual reclamation statement)

Please let me know if any further information is required or if you have any directions on how to proceed from here.

I think we can stay under the bonding threshold with less than 5 acres unreclaimed annually.

Regards,

Rick Antonio

On Wed, Feb 18, 2026 at 10:08 AM Matsumiya, Naelene S (DNR)
<naelene.matsumiya@alaska.gov> wrote:

Good morning Rick,

Thank you for reaching back out, Grace and I are in the Material Sales team for DNR, you can send new LOIs our way.

Best,

Naelene Matsumiya

Natural Resource Specialist

DNR | DMLW | Southcentral Regional Office | Material Sales

550 W 7th Ave, Ste 900C Anchorage, AK 99501

Phone: (907) 269-8555 | Fax: (907) 269-8913

From: Rick Antonio <streamlinealaska@gmail.com>

Sent: Wednesday, February 18, 2026 10:04 AM

To: Matsumiya, Naelene S (DNR) <naelene.matsumiya@alaska.gov>; Newcomb, Grace R (DNR) <grace.newcomb@alaska.gov>

Subject: Ficklin LOI 20254 W. Susitna

CAUTION: This email originated from outside the State of Alaska mail system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Grace and Naelene,

I am writing to check in and see if this is the correct contact for submitting a new Letter of Intent (LOI). We previously applied approximately two years ago but did not receive a response at that time.

Could you please confirm if we should proceed with sending the new LOI to you, or if there is another individual we should contact?

Thank you for your assistance.

Best regards,

Rick Antonio

From: [Rick Benedict](#)
To: ["Rick Antonio"](#)
Cc: [Bryan Ficklin](#)
Subject: RE: Ficklin Gravel Permit 20254 W. Susitna Parkway
Date: Tuesday, March 10, 2026 10:26:00 AM

Hi Rick,

What was the date the DNR LOI was filed at the state? I have the DNR Reclamation Plan attachment. However, do you have a copy of the LOI Exemption request submitted to the state that we can include in the CUP application?

Thanks,

Rick

From: Rick Antonio <streamlinealaska@gmail.com>
Sent: Monday, March 9, 2026 11:40 AM
To: Rick Benedict <rick.benedict@matsugov.us>
Cc: Bryan Ficklin <bficklin@ficklinllc.com>
Subject: Re: Ficklin Gravel Permit 20254 W. Susitna Parkway

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick,

Please find the attached exhibit showing the setback for the scale house. (Dimensions aren't exactly precise on parcel viewer) It appears some of my previous attachments may not have gone through correctly.

Hopefully, this provides the Scale House Details you were looking for. Please let me know if you need more building modification photos or any other items so we can finalize the application and set a hearing date.

The DNR is pending but they don't send anything for the LOI. I can ask for some sort of verification if that helps.

Regards,

Rick Antonio
907-841-5815

On Mon, Mar 9, 2026, 9:25 AM Rick Benedict <rick.benedict@matsugov.us> wrote:

Good morning Rick,

I'm reviewing the additional materials you provided on February 22nd. Appendix A lists Scale House Details and Building Modification Photos as attachments. However, the Scale House Details was not attached, and I only received one photo, internal, of the building modification.

Was there an additional email sent with these attachments?

I think we're close to a final application and can set a hearing date once the above items are resolved.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Rick Antonio <streamlinealaska@gmail.com>
Sent: Sunday, February 22, 2026 8:38 PM
To: Rick Benedict <rick.benedict@matsugov.us>
Cc: Bryan Ficklin <bficklin@ficklinllc.com>
Subject: Re: Ficklin Gravel Permit [20254 W. Susitna Parkway](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Rick,

Thank you for the comments. Please find the attached revised narrative, reclamation plan, and additional attachments, including infographics, for your review.

I have also included my notes for the revisions to Appendix A for your convenience. Please let us know if any further information is needed to move forward.

Regards,

Rick Antonio
907-841-5815

On Wed, Feb 11, 2026 at 3:30 PM Rick Benedict <rick.benedict@matsugov.us> wrote:

Rick,

I've had the opportunity to review the updated materials provided on January 21st and February 9th. Based on that review, attached is a request for additional information.

Let me know if you have any questions.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Rick Antonio <streamlinealaska@gmail.com>

Sent: Monday, February 9, 2026 7:35 AM

To: Rick Benedict <rick.benedict@matsugov.us>

Cc: Bryan Ficklin <bficklin@ficklinllc.com>

Subject: Re: Ficklin Gravel Permit [20254 W. Susitna Parkway](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hi Rick,

Thank you for the update. Please find the site plan with phases and notes, the grading map, and the section drawings attached for your review.

We look forward to moving forward with the process.

Best regards,

Rick Antonio
907-841-5815

On Thu, Feb 5, 2026 at 11:35 AM Rick Benedict <rick.benedict@matsugov.us> wrote:

Rick,

I was out yesterday and unable to respond. I began reviewing the updated submittals on Tuesday.

Off the bat, the January 21st narrative mentioned a site plan with phases and notes, a grading map, and section drawings. However, these items were not included as attachments in your email.

Respectfully,

Rick Benedict – Current Planner
Development Services Division
Matanuska-Susitna Borough
(907)861-8527 direct

From: Rick Antonio <streamlinealaska@gmail.com>
Sent: Wednesday, February 4, 2026 11:06 AM
To: Rick Benedict <rick.benedict@matsugov.us>
Cc: Bryan Ficklin <bficklin@ficklinllc.com>
Subject: Re: Ficklin Gravel Permit [20254 W. Susitna Parkway](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Rick,

I hope all is well.

I know you are probably busy but was wondering if if you had gotten to look at the permit application.

Even if it's not a complete review if you see anything we should be working on please let us know.

Thanks,

Rick Antonio 907-841-5815

On Wed, Jan 21, 2026, 10:27 AM Rick Benedict <rick.benedict@matsugov.us> wrote:

Good morning Rick,

Received the updated materials. I'll conduct a review as soon as possible.
Afterwards, a meeting sounds like a good plan to clear up any outliers that may arise.

Respectfully,

Rick Benedict – Current Planner
Development Services Division

Matanuska-Susitna Borough
(907)861-8527 direct

From: Rick Antonio <streamlinealaska@gmail.com>
Sent: Wednesday, January 21, 2026 7:46 AM
To: Rick Benedict <rick.benedict@matsugov.us>
Subject: Ficklin Gravel Permit [20254 W. Susitna Parkway](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Dear Mr Benedict,

Please find the attached submittal package regarding the conditional use permit for gravel extraction at [20294 W. Susitna Parkway](#).

The included documents contain the necessary information required for the application process. Please let me know if any additional details or clarifications are needed to move forward with the review.

I hope that the revised narrative and drawings satisfy all the requirements from your Nov. 12 2024 RFAI.

Upon initial review, if you think a meeting would be beneficial, please reach out.

Thank you for your assistance.

Best regards,

Rick Antonio
907-841-5815



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

www.matsugov.us

February 11, 2026

Ficklin Gravel Products LLC
C/O Rick Antonio, Contact Agent
7840 Gold Bullion Blvd
Palmer, AK 99645

SUBJECT: Conditional Use Permit Application – Request for Additional Information
LOCATION: 20254 West Susitna Parkway, Tax ID# 16N04W03A009

Dear Mr. Antonio,

Borough staff have reviewed the updated application materials submitted on January 21, 2026, and February 9, 2026, for a conditional use permit for earth material extraction under MSB 17.30 on the above-referenced property. It has been determined that the following information must be provided or clarified to process this request:

1. Required Site Development Plan: MSB 17.28.050 states that an application for an earth materials extraction permit shall include a site development plan. The site development plan shall include the following, as required by the conditions of the site, and shall be consistent with the standards in MSB 17.28.060:
 - a. The updated narrative and as-built depict an SLE setback violation. Please update the narrative to include the estimated timeline for correcting this violation.
 - b. Provide specific details about how the operation will comply with the visual screening and noise mitigation measures. The narrative, as it stands, is vague about how these features will be implemented and their effectiveness, given that residential uses are located on adjacent properties to the north and west.
 - c. In addition, confirm that these features will be located/installed entirely on the subject parcel. A combination of existing vegetation (evergreen hedges), natural topography, berms (man-made and natural), vertical separation between adjacent uses relative to the extraction area, solid fencing, and slopes of at least 10' are acceptable methods used by similar operations permitted by the borough to mitigate and/or eliminate visual and noise concerns generated by material extraction operations. These measures must be described in detail in the application narrative and depicted on the site plans and notes.
2. Detailed Site Plan and Narrative Required:
 - a. The site plan must depict the existing scale house. Please update the narrative and site plans to include specific details about the scale house's size (dimensions), location (setback from ROWs/SLEs/property lines), and type (permanent/mobile/temporary).
 - b. Please update the narrative to include specific details about the shop's size (dimensions/square footage), number of levels, and construction type.
 - c. Update the narrative to confirm that an asphalt/concrete batch plant is not proposed in this operation.

3. The Planning Commission will want to know how the operation will stay 4 feet above the water table at the proposed location as required by MSB 17.28.060(A)(7)(b).
 - a. The updated narrative submitted on January 20, 2026, and site plans submitted on February 9, 2026, describe the use and approximate location of water monitoring pits and/or monitoring tubes. If known, specify how many of these systems will be installed and the installation timeline.
4. Reclamation Plan: MSB 17.28.063 states that a reclamation plan shall be submitted, which clearly defines steps the applicant will take to restore and revegetate the site in accordance with the reclamation standards outlined in MSB 17.28.067. The reclamation plan shall include the following:
 - a. Please provide a timeline for reclamation at specific locations within the phases of the operation. The narrative on page 4, section 7b, mentions that 2 acres will be reclaimed each year during the development phase. However, this information is not shown on the site plans or elaborated upon in the narrative. Please expand the narrative to detail when and where reclamation will occur across the project's phases. Additionally, update the site plans to clearly identify the areas designated for reclamation during the project.
 - b. It would be beneficial to include a detailed plan on the site that illustrates the final result after reclamation is completed across the entire property. This visual will serve as an example for the Planning Commission, showcasing the applicant's vision and goals for future development of the parcel.
 - c. The requirement to meet the MSB standard for reclamation remains even if you do not need to have a reclamation plan with the state. Reference MSB 17.28.063 & 17.28.067 for reclamation standards.
 - d. Provide a copy of the approved reclamation financial assurance filed with the State of Alaska or qualifying documents for exemption from filing a reclamation plan.
5. Pursuant to MSB 17.30.055(A)(4), applicants are to provide a Notice of Intent (NOI) for a Construction General Permit (CGP) or multi-sector general permit and stormwater pollution prevention plan and other associated permits or plans required by the Alaska Department of Environmental Conservation (ADEC) pursuant to the Alaska Pollutant Discharge Elimination System (APDES) requirements:
 - a. A Multi-Sector General Permit Evaluation for the proposed site by an AK-CESCL, dated August 23, 2023, was submitted in the updated application materials. The evaluation stated that the facility does not discharge to an MS4. While this information can be used as supplementary documentation to support that code requirements are being met, an official determination by ADEC is required to demonstrate that regulatory requirements have been met and/or waived.
6. Provide a copy from the fire marshal having jurisdiction that the proposed conditional use is in full compliance with applicable fire code, including but not limited to AS 18.70.010 through 18.70.160, Fire Protection, and 13 AAC 50.025 through 50.080, Fire Code.
 - a. Plan approval from the fire marshal having jurisdiction for the “shop with administrative offices”. The plan approval must demonstrate compliance post-SLE setback correction.

Respectfully,



Rick Benedict, Current Planner
 MSB Development Services Division
 907-861-8527 direct



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

www.matsugov.us

November 12, 2024

Ficklin Gravel Products LLC
PO Box 521281
Big Lake, AK 99652

SUBJECT: Conditional Use Permit Application – Request for Additional Information
LOCATION: 20254 West Susitna Parkway, Tax ID# 16N04W03A009

Dear Mr. Ficklin,

Borough staff has reviewed the application material and site plan(s) submitted on April 7, 2023, for a conditional use permit for earth material extraction under MSB 17.30 on the above-referenced property. It has been determined that the following information must be provided or clarified to process this request:

1. Required Site Development Plan: MSB 17.28.050 states that an application for an earth materials extraction permit shall include a site development plan.
 - a. Please update and re-submit the site development plans narrative. Take into consideration the proposed location has been conducting extraction activities under an administrative extraction permit since the summer of 2023. Changes have occurred on the property due to this activity and an updated site development plan is required (i.e., topography, structures, equipment).
 - b. The site development plan shall include the following, as required by the conditions of the site, and shall be consistent with the standards in MSB 17.28.060:
 - i. Identification of surrounding property owners, existing land uses, and wetlands and waterbodies within the notification area of ¼ mile. Please update this information if necessary to describe any changes to the surrounding area since the approval of the existing administrative permit in 2023.
 - ii. Planned location of permanent and semi-permanent structures to verify setback requirements.
 - iii. Proposed phases of mining activities, to be described in your narrative and included in site plans with cross sections.
 - iv. Roads and access plan. Describe routes trucks will travel to/from the site, where trucks will access the site, how many truckloads per day, peak hours of truckloads, and the operation's annual and weekly schedule
 - v. Visual screening measures. Describe how the entire operation will be screened from the public and surrounding uses.
 - vi. Noise mitigation measures. Describe how berms or existing land features will be used to mitigate noise from the operation.
 - vii. Proposed lighting, if any.

2. Detailed Site Plan Required:

- a. The application requires a detailed site plan.
 - b. A certified site plan for the proposed operation by a State of Alaska licensed engineer or surveyor is strongly encouraged.
 - i. Ensure cross-sections are provided in the submitted site plans. Identify the current and proposed final grades of the extraction areas.
 - ii. Provide the location on the property where the cross-section was extracted from.
 - iii. Provide quantity estimates and current topographical information, such as cross-section drawings depicting the excavation depth, slopes, and estimated final grade as required on page 2 of the application.
 - iv. Provide locations of existing and proposed structures and the operations equipment.
 - v. The site plan must be revised to reflect current conditions on the property, including topographic changes, flood hazard areas, as-built information, etc. It is required to show all items listed on page 2 of the application form.
 - vi. According to MSB 17.28.060 (A) (2), a site plan requires identifying the phases of proposed mining activities and the time sequence for mining at particular locations.
3. There are various ways to monitor the water table, such as installing monitoring wells to monitor the water table or excavating test pits to determine the water table. The Planning Commission will want to know how the operation will stay 4 feet above the water table at the proposed location as required by MSB 17.28.060(A)(7)(b).
- a. Staff recommends installing a monitoring well for the operation. The monitoring well, if planned, should be depicted on the site plans.
4. Reclamation Plan: MSB 17.28.063 states that a reclamation plan shall be submitted, which clearly defines steps the applicant will take to restore and revegetate the site in accordance with the reclamation standards outlined in MSB 17.28.067. The reclamation plan shall include the following:
- a. An approximate times sequence for reclamation at particular locations. Please include updated information in the application narrative and certified site plans.
 - b. The requirement to meet the MSB standard for reclamation remains even if you do not need to have a reclamation plan with the state. Reference MSB 17.28.063 & 17.28.067 for reclamation standards. Address each item of the MSB reclamation standards within the narrative and site plans.
 - c. Provide a copy of the reclamation financial assurance filed with the state of Alaska as stated on Page 3 of the application or qualifying documents for exemption from filing a reclamation plan.
5. Provide more detail about the operation’s noise mitigation measures.
- a. Describe measures to mitigate or lessen noise impacts to surrounding properties.
 - b. Describe any existing or future noise barriers (i.e., berms a minimum of ten feet in height) between noise-producing equipment and adjacent uses.
 - c. Describe the location of noise-producing equipment and measures to utilize equipment with noise reduction features.
6. Provide a Notice of Intent (NOI) for a Construction General Permit (CGP) or multi-sector general permit and stormwater pollution prevention plan and other associated permits or plans required by the Alaska Department of Environmental Conservation (ADEC) pursuant to the Alaska Pollutant Discharge Elimination System (APDES) requirements.
- a. Provide a drainage plan approved by ADEC for the property to show or describe what actions are being taken to prevent stormwater from exiting the property. Discuss the various drainage controls located on the property to retain stormwater.

- b. Determinations issued by an Alaska Certified Erosion & Sediment Control Lead (AK-CRSC) are acceptable.

Once the required information has been submitted and determined to be complete, staff will continue processing the application. Thank you for your time and consideration on this matter.

Respectfully,

Rick Benedict

Rick Benedict
Current Planner
Development Services Division
Matanuska-Susitna Borough
907-861-8527

Planning Commission Resolution

By: Mark Whisenhunt
Introduced: May 4, 2026
Public Hearing: May 18, 2026
Action:

MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. PC 26-05

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION APPROVING A CONDITIONAL USE PERMIT FOR THE EXTRACTION OF APPROXIMATELY 280,000-360,000 CUBIC YARDS OF EARTH MATERIAL FOR UP TO 10 YEARS WITHIN A 22.08-ACRE PARCEL LOCATED AT 20254 WEST SUSITNA PARKWAY, TAX ID #16N04W03A009.

WHEREAS, Rick Antonio, on behalf of Ficklin Gravel Products, LLC submitted a conditional use permit application to extract earth material at 20254 West Susitna Parkway, Tax ID #16N04W03A009; and

WHEREAS, it is the intent of the Borough to recognize the value and importance of promoting the utilization of natural resources within its boundaries; and

WHEREAS, it is the purpose of MSB Chapter 17.30 to allow resource extraction activities while promoting the public health, safety, and general welfare of the Borough through the regulation of land uses to reduce the adverse impacts of land uses and development between and among property owners; and

WHEREAS, it is further the purpose of MSB 17.30 to promote orderly and compatible development; and

WHEREAS, MSB 17.30.020(E) requires a conditional use permit for the annual extraction of more than 2,000 cubic yards of earth materials; and

WHEREAS, the applicant proposes the removal of approximately 280,000-360,000 cubic yards of earth material for up to 10 years from the date of permit issuance; and

WHEREAS, the total area of earth material extraction activity will occur on approximately 17 acres within the 22.08-acre parcel; and

WHEREAS, according to the application material, a batch plant is not proposed at this site; and

WHEREAS, according to the application material, extraction activities on the subject parcel are anticipated to conclude by the end of the 2036 operational season; and

WHEREAS, an Alaska State Department of Revenue mining license is not required for this operation because Alaska law was amended in 2012, and rock, sand, and gravel quarries are now exempt from the requirement; and

WHEREAS, an Alaska State Department of Natural Resources (ADNR) mining permit is not required for this application because the extraction activities will not occur on state land; and

WHEREAS, according to the application materials, a reclamation plan has been developed as required by the Alaska State Department of Natural Resources (ADNR), pursuant to A.S. 27.19; and

WHEREAS, the application material indicates the site is developed to contain storm water runoff. As such, detailed storm water pollution prevention plan (SWPPP) is not required; and

WHEREAS, according to the application material, the applicant filed a Letter of Intent to the Alaska State Department of Natural Resources Commissioner's office, citing the operations exemption from state reclamation requirements; and

WHEREAS, according to the application material, the proposed operation on the subject parcel is exempt from State of Alaska requirements for a notice of intent for a construction general permit, a multi-sector general permit, a storm water pollution prevention plan, and other associated permits or plans required by the Department of Environmental Conservation (DEC) pursuant to the Alaska Pollutant Discharge Elimination System (APDES); and

WHEREAS, according to the application material, the site does not discharge stormwater into the waters of the U.S., including jurisdictional wetlands. Therefore, obtaining Alaska Pollutant Discharge Elimination System (APDES) coverage for site operation is unnecessary; and

WHEREAS, according to the application material, a United States Army Corps of Engineers permit pursuant to Section 404 of the Clean Water Act is not required for this application as the applicant is not proposing any extraction activity to take place

within any identified wetlands, lakes, streams, or other water bodies; and

WHEREAS, the subject property is located within the boundary of the Big Lake Community Council area; and

WHEREAS, Big Lake Comprehensive Plan does not specifically address natural resource development or sand and gravel extraction activities; and

WHEREAS, the Economic Development Strategic Plan Strategy 1G in part, states: Promote the sustainable development of Mat-Su's natural resources for economic development. The MSB should support sustainable natural resource development and the natural resource industries with an emphasis on meeting local needs and local value-added product manufacturing, as well as ensuring compatibility with other parts of the local economy. Indeed, natural resource development is a high priority for the Borough Assembly. The main natural resources in Mat-Su, in addition to agricultural land, include coal, gravel, timber, some gold mining, and some metallic mineral potential; and

WHEREAS, the Economic Development Strategic Plan Action 1G-3, in part, states: Work with the gravel mining industry to balance the need for the sector's growth with other economic development considerations, as well as environmental and resource protection. The MSB is developing gravel regulations and guidelines to provide for continued commercial gravel operations while addressing

community and other economic development concerns regarding buffers from roadways, water protection, and reclamation. These regulations should balance the concerns of gravel mining businesses with the need to protect the environment and visual beauty of the Borough; and

WHEREAS, according to the application material, topsoil, gravel, and screened gravel will be extracted from the subject parcel; and

WHEREAS, three residential parcels 5 acres in size abut most of the subject parcel's northern lot line; and

WHEREAS, West Susitna Parkway and a vacant parcel 1.03 acres in size abuts the northeastern portion of the subject property; and

WHEREAS, a section line easement exists along most of the eastern lot line on the subject parcel; and

WHEREAS, a vacant parcel 22.94 acres in size abuts a majority of the subject parcel's eastern lot line; and

WHEREAS, the subject parcel's southern lot line abuts a vacant parcel 360 acres in size that is owned by the Matanuska-Susitna Borough; and

WHEREAS, three residential parcels abut the subject parcel's western lot line, the smallest being 4.06 acres in size; and

WHEREAS, parcels within a half-mile of the subject parcel range in size from .34 to 360 acres; and

WHEREAS, surrounding land uses within a half mile of the subject parcel vary from vacant, residential, and commercial; and

WHEREAS, according to the application material, a combination of visual screening methods has been incorporated into the operating plan on the subject parcel such as the use of natural topography, and the retention of vegetative buffers measuring at least 50 feet in width; and

WHEREAS, according to the application material, water trucks will be used as needed during operations as a dust control measure; and

WHEREAS, according to the application material, the applicant is not proposing to mine below or within four feet of the seasonal high-water table; and

WHEREAS, according to the application material, test holes and monitoring tubes will be used to verify the absence of groundwater; and

WHEREAS, according to the application material, slopes will be left at 2:1 (H:V) which meets the standards of MSB 17.28.067(D) that requires a maximum 50 percent (2:1) slope or the natural stabilized angle of repose of the existing earth material; and

WHEREAS, according to the application material, operations will occur seasonally, seven days a week, between the hours of 7:00 a.m. and 7:00 p.m.; and

WHEREAS, according to the application material, the proposed peak hour of operations will be approximately 2:00 p.m. to 3:00 p.m.; with an estimated 24 trucks per hour to serve local projects; and

WHEREAS, according to the application material, non-peak hour operations will generate approximately 8-10 truckloads of gravel; and

WHEREAS, according to the application material, the operation will not use asphalt or concrete plants; and

WHEREAS, according to the application material, the extraction operation will employ an excavator, loaders, and a mobile screening plant for daily use. Additional dozers, loaders, and excavators will be available for increased workloads; and

WHEREAS, according to ADEC's website tracking tool, the proposed use is not within the "drinking water protection area" for a public water system; and

WHEREAS, according to the application material, the disturbed areas will be reclaimed with 4" of compacted topsoil and seeded with a certified seed mix suitable for Alaska conditions and free of noxious weeds or other undesirable species; and

WHEREAS, according to the application material, the pit will be reclaimed in stages, and slopes will be stabilized during extraction; and

WHEREAS, according to the application material, during extraction, the bottom of the pit will be graded to a -0.5% slope to the north; this slope will be maintained after reclamation; and

WHEREAS, according to the application material, upon reclamation, the site will be unpaved, covered in topsoil, and seeded; and

WHEREAS, all site plans and site development requirements have been provided; and

WHEREAS, according to the application material, the proposed operation incorporates a combination of visual screening methods, such as natural topography, vegetative buffer retention, and the phasing design, which uses the working face to screen the operation from neighboring uses; and

WHEREAS, according to the application material, the operation will extract earth material from the bottom of the cut slope, also known as the working face, working from south to north in the middle of the subject properties. This will allow the slope to mitigate noise and provide visual buffering to adjacent properties; and

WHEREAS, according to the application material, a combination of visual screening methods has been incorporated into the operating plan on the subject parcel such as the use of natural topography, constructed berms, and the retention of vegetative buffers measuring at least 50 feet in width; and

WHEREAS, access to the subject parcel is made from West Susitna Parkway, via an existing driveway for which the applicant is working with the public works department and the permit center to obtain a commercial driveway permit; and

WHEREAS, based on the application material, the operation will shut down during winter months and closure will be determined by frozen ground conditions, borough roadway weight restriction limits, and the needs of ongoing road construction projects; and

WHEREAS, West Susitna Parkway is classified as a Major Collector roadway; and

WHEREAS, according to the application material, the total area of earth material extraction activity will occur on approximately 17 acres within the 22.08-acre parcel; and

WHEREAS, according to the application material, semi-permanent structures and/or equipment will not be constructed or placed within setbacks or section line easements; and

WHEREAS, the closest residential structure is approximately 225 feet from the subject property's western lot line; and

WHEREAS, maps are included in the record identifying surrounding property ownership, existing land uses, wetlands, and waterbodies within one-quarter mile of the proposed site; and

WHEREAS, according to the application material, earth material extraction activities will not take place within one-quarter mile of any identified wetlands or waterbodies; and

WHEREAS, according to the application material, the proposed operation will not generate traffic of more than 100 vehicles during the morning or afternoon peak hours or more than 750 vehicles per day; and

WHEREAS, according to the application material, the operator may utilize muffler wraps, muffler silencers, or other add-on equipment to reduce heavy equipment noise impacts on adjacent residential uses and to remain within limits defined by the code; and

WHEREAS, according to the Rutgers Noise Technical Assistance Center, heavy trucks produce approximately 90 decibels (dB) when operating, which is considered "very loud"; and

WHEREAS, according to Rutgers Noise Technical Assistance Center, a quiet to noisy home produces sound around 30-60 decibels (dB), which falls in the "faint" and "moderate" categories; and

WHEREAS, earth material extraction activities are a commercial use that can cause excessive noise, dust, and heavy truck traffic; and

WHEREAS, noise levels exceeding the levels in MSB 17.28.060 and 17.61.080 are prohibited; and

WHEREAS, according to the application material, no site lighting is proposed; and

WHEREAS, the Planning Commission has reviewed this application with respect to standards set forth in MSB 17.30 and MSB 17.28; and

WHEREAS, the Planning Commission conducted a public hearing on May 18, 2026, on this matter.

NOW, THEREFORE, BE IT RESOLVED, the Matanuska-Susitna Borough Planning Commission hereby adopts the aforementioned findings of fact and makes the following conclusions of law supporting approval of Planning Commission Resolution 26-05:

1. All the requirements to demonstrate compliance with state and federal laws have been met (MSB 17.30.055(A)).
2. The proposed use is consistent with the applicable comprehensive plans (MSB 17.30.060(A)(1)).
3. The proposed use will not detract from the value, spirit, character, and integrity of the surrounding area (MSB 17.30.060(A)(2)).
4. The applicant has met all the requirements of this chapter (MSB 17.30.060(A)(3)).
5. The proposed use will not be harmful to the public health, safety, convenience, and welfare (MSB 17.30.060(A)(4)).
6. Sufficient setbacks, lot area, buffers, or other safeguards are being provided (MSB 17.30.060(A)(5)).

7. The surrounding property ownership, existing land uses, wetlands, and water bodies within the notification area have been identified (MSB 17.28.060(A)(1)).
8. Phases of proposed mining activities, description of the topography and vegetation, and approximate time sequence for the duration of the mining activity have been identified. No permanent, semi-permanent, or portable equipment is expected to be located within the required setbacks (MSB 17.28.060(A)(2)).
9. The proposed traffic route and traffic volumes have been identified. Traffic generated from the use will not exceed 100 vehicles during the morning or afternoon peak hours or more than 750 vehicles a day (MSB 17.28.060(A)(3)).
10. The operation will make use of earthen berms, vegetation, and below-grade excavation to provide visual screening measures (MSB 17.28.060(A)(4)).
11. Noise mitigation measures, including retaining vegetative buffers and constructing earthen berms, will ensure that sounds generated during earth material extraction activities will not exceed the levels specified in MSB 17.28.060(A)(5)(a). Noise levels exceeding the levels in 17.28.060(A)(5)(a) are prohibited.

12. The proposed use satisfies the lighting standards (MSB 17.28.060(A)(6)).
13. The operation will not conduct earth material extraction activities within 100 linear feet of any wetland, stream, river, or other waterbody, and the operation will not mine below or within four feet of the seasonal high water table (MSB 17.28.060(A)(7)).

BE IT FURTHER RESOLVED, the Planning Commission finds this application does meet the standards of MSB 17.30 and MSB 17.28 and does hereby approve the conditional use permit for earth material extraction activities with the following conditions:

1. The operation shall comply with all applicable federal, state, and local regulations.
2. All extraction activities, including all activities that cause noise, dust, or traffic, shall be limited to 7:00 a.m. to 7:00 p.m., daily.
3. Operation of an earth materials crusher shall be limited to Monday through Friday, 8:00 a.m. to 5:00 p.m. and shall be centrally located in phase 2 or within the southern portion of phase 1. Furthermore, an earth materials crusher is prohibited from operating within phases 3 and 4 shown on the site plan of the application material.

4. All aspects of the operation shall comply with the description detailed in the application material. An amendment to the permit shall be required prior to any alteration or expansion of the material extraction operation.
5. The property boundary of phases 2, 3, and 4 of the extraction area shall be surveyed and marked with lath at 50-foot intervals to ensure that no earth material extraction occurs beyond the boundaries of the subject parcel, prior to operating within each phase.
6. Material extraction shall be limited to the area identified in the applicant's site plan.
7. A four-foot vertical separation shall be maintained between all excavations and the seasonal high-water table.
8. Dust control shall be achieved on the subject parcel at the material extraction and vehicular access sites.
9. Neither a batch plant nor a hot mix plant shall be used at the site.
10. Per MSB 17.28(A) (4), visual screening measures shall be maintained in accordance with the application material.
11. Per MSB 17.28.060 (A) (5), berms, constructed or natural, shall be installed and/or maintained at a minimum height of 10 feet on the subject property surrounding areas

where material extraction activities will occur to mitigate or lessen noise impacts to adjacent land uses.

12. The operation shall comply with the maximum permissible sound level limits allowed per the requirements of MSB 17.28.060(A) (5) (a) - Site Development Standards, and MSB 8.52 - Noise, Amplified Sound, and Vibration.
13. The operation shall comply with the reclamation standards of MSB 17.28.067.
14. Prior to operating, proof shall be provided to the Planning Department showing all applicable requirements of the Alaska Department of Natural Resources reclamation plan process have been met.
15. If reclamation information is updated with the Alaska Department of Natural Resources, a copy of the updated information shall be provided to the MSB Development Services Division.
16. Junk vehicles, junk vehicle parts, and trash shall be removed in accordance with MSB 8.50.
17. Vehicles and equipment shall be staged at a designated location, and all equipment shall be inspected for leaks at the end of each day.
18. On-site maintenance of vehicles shall be done in an area where all leaks can be contained with drip pans or other discharge prevention devices.

19. Any hazardous materials, drips, leaks, or spills shall be promptly attended to and properly treated.
20. All construction exits shall comply with standard Alaska Pollutant Discharge Elimination System requirements to minimize off-site vehicle tracking of sediments and discharges to stormwater.
21. All track-out sediments from the site shall be removed from the right-of-way daily.
22. If cultural remains are found during material extraction activities, the MSB Planning Department shall be contacted immediately so the remains can be documented.
23. The applicant shall correct any existing structural encroachments on the subject parcel and provide notice to the borough upon completion prior to operating.
24. A copy of the approved permit shall be provided to each contractor company working at the site, and a copy of the permit shall be posted on the subject property in a location and manner clearly visible to the public for the duration of the permitted activities.
25. Borough staff shall be permitted to enter any portion of the property to monitor compliance with permit requirements. Such access will at minimum be allowed on demand when activity is occurring and, with prior verbal or written notice, and at other times as necessary to

monitor compliance. Denial of access to Borough staff shall be a violation of this Permit.

26. Authorization for earth material extraction activities approved by this Conditional Use Permit shall expire on December 31, 2036.

ADOPTED by the Matanuska-Susitna Borough Planning Commission this ___ day of _____, 2026.

RICHARD ALLEN, Chair

ATTEST

LACIE OLIVIER, Planning Clerk

(SEAL)

YES:

NO:

Public Hearing: Quasi-Judicial Matters

Resolution 26-07

A Variance in Accordance With MSB 17.65 - Variances To Construct A Residential Structure Approximately 32 Feet From Middle Caswell Lake Located At 49562 South Lure Circle (Tax ID# 6070000L1051), Within Township 22 North, Range 4 West, Section 14, Seward Meridian.

Staff: Natasha Grover, Current Planner

Staff Report



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

Development Services Division

350 East Dahlia Avenue • Palmer, AK 99645

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DEVELOPMENT SERVICES DIVISION STAFF REPORT

Date: May 18, 2026

File Number: VARY-2025-010065

Applicant: Paul and Elizabeth Knecht

Property Owner: Paul and Elizabeth Knecht

Request: Planning Commission Resolution
Request for a Variance – MSB 17.65

Location: Middle Caswell Lake Alaska, Tax ID# **6070000L1051**; within Township 4 North, Range 14 West, Section 22, Seward Meridian

Size of Property: .39 acres

Reviewed By: Alex Strawn, Planning and Land Use Director
Wade Long, Development Services Manager

Staff: Rebecca Skjothaug – Current Planner

Staff Recommendation: Denial

EXECUTIVE SUMMARY

Paul and Elizabeth Knecht, property owners, have applied for a variance under MSB 17.65 for a parcel located on Middle Caswell Lake, Alaska (Tax ID# **6070000L1051**). The structure is proposed to be as close as 32 feet from Middle Caswell Lake. The structure will total approximately 1,132 square feet with covered decks and subsequently be located within the 75-foot waterbody setback area. Per borough code 17.55.020, structures are required to maintain a minimum setback of 75 feet from a waterbody. Approval of this variance would allow the owners to construct the proposed residence within the required setback distance.

MSB 17.65 requires a variance permit for residential structures uses within the setback are as highlighted in MSB 17.55. As of 17.65.020 – *In order to grant a variance to the regulations of MSB title 17, the planning commission must find that each of the following requirements has been met:*

- (1) There are unusual conditions or circumstances that apply to the property for which the variance is sought.
- (2) The strict application of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties under the terms of this title.
- (3) The granting of the variance will not be injurious to nearby property, nor harmful to the public welfare.
- (4) The granting of the variance will be in harmony with the objectives of this title and any applicable comprehensive plans.
- (5) The deviation from the requirement of this title that is permitted by the variance will be no more than is necessary to permit a reasonable use of the property.

LAND USE

Existing Land Use:

The parcel identified as Tax ID# 6070000L1051, located within Township 4 North, Range 14 West, Section 22, Seward Meridian in the Middle Caswell Lake area, is best characterized as rural, low-density residential land within a platted lakeside subdivision. The surrounding Caswell Lakes is composed primarily of single-family homes, seasonal cabins, and undeveloped wooded lots. The subject parcel is a part of a subdivision grid platted in 1968, indicating intended residential use. The subject parcel is located within the Susitna Community Council and Assembly district 7.

Surrounding Land Uses:

Surrounding land uses are consistent in nature, with a mix of developed and vacant residential lots, dense boreal forest, and lake-oriented recreational uses, particularly along the shoreline of Middle Caswell Lake.

Commonly Enjoyed Uses Analysis:

Planning staff conducted an analysis using Borough Assessment files and GIS systems. Staff analyzed the parcels with lake frontage on Middle Caswell Lake. According to MSB 17.65.020(2) *The strict application of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties under the terms of this title.* Planning staff conducted an analysis of 67 parcels within the study area to better understand existing development patterns and compliance with Borough regulations. The review found that 26 parcels (39 percent) are undeveloped, indicating a significant amount of remaining buildable land. Of the developed parcels, 21 (31 percent) were determined to be legally established, while 14 parcels (21 percent) appear to be developed without proper authorization or permits. An additional five parcels (7 percent) lacked sufficient assessment records or data to determine their status. Overall, the analysis reflects a mix

of compliant development, potential code violations, and a notable proportion of undeveloped land.

All calculations of applicable criteria and findings provided by staff will use only legal parcels and parcels that are not in violation of any MSB setback regulations.

REVIEW OF APPLICABLE CRITERIA AND FINDINGS

MSB 17.03 – Public Notification

Planning Staff mailed 31 public notices out, and published a public notice on April 17, 2026 in the Frontiersman. The application materials were posted on the Borough website on April 17, 2026. Staff did not receive any comments regarding the application materials, or proposed development on Tax ID# **6070000L1051**.

Section 17.65.020 Requirements for Granting a Variance

(A) In order to grant a variance to the regulations of MSB title 17, the planning commission must find that each of the following requirements has been met:

(1) There are unusual conditions or circumstances that apply to the property for which the variance is sought.

Findings of Fact:

1. The subject lot is part of the Caswell Subdivision and was initially platted in 1968 before Borough setback and lot size regulations were established. PLAT 68-10
2. Middle Caswell Lake is located to the west of the subject parcel.
3. Residential parcels are located north and south of the subject parcel.
4. According to the application material, the subject lot measures approximately 0.39 acres.
5. According to the application materials, the survey conducted by Richard L. Wentworth on December 20, 2024, there is buildable area that adheres to setback under MSB 17.55

Discussion: The applicant indicated that the property contains birch trees that they do not want to remove and would prefer to place the house closer to the lake to maintain existing vegetation. The applicant has also agreed to allow the neighbor to access the property, but no legal easement has been recorded. The subject parcel does contain buildable area, and it is not utilized in the current site plan.

Conclusion of Law: Based on the findings, the 0.39-acre parcel has limited legal building area but is not being utilized. The applicant fails to present unusual conditions. (MSB 17.65.020(A)(1)).

(2) The strict application of the provisions of this title would deprive the applicant of rights commonly enjoyed by other properties under the terms of this title.

6. Planning staff analyzed 67 parcels with lake frontage Middle Caswell Lake.

7. Planning staff found the lakefront properties within the analysis area are approximately 0.3 acres in size.
8. After conducting an analysis, the Planning staff found that there are 21 lakefront parcels with dwellings that appear to meet the 75-foot setback criteria, have legal non-conforming status or a granted variance.
9. The dwellings that may violate the setback requirements were not included in the average dwelling size calculation.
10. After conducting an analysis, the Planning staff found that there are 26 lakefront parcels with no development.
11. Development within the analysis area reflects modest residential use, with an average structure size of approximately 977 square feet
12. According to the application material, the applicant proposes a residential cabin of 1,132 square foot residential two-story structure 32-feet from Middle Caswell Lake.
13. According to the application materials, the proposed residential cabin will adhere to all other setbacks from the side lot lines, and right-of-way.
14. Middle Caswell Lake is located to the west of the subject parcel.
15. Residential parcels are located north and south of the subject parcel.
16. According to the application materials the parcel is currently used for family recreation and accessing Middle Caswell Lake.
17. According to the application materials, the survey conducted by Richard L. Wentworth on December 20, 2024, there is buildable area that adheres to setback under MSB 17.55

Discussion: Real property owners are granted a series of rights over their land, chief among these being the right to use and enjoy the premises as they see fit. This encompasses a wide range of activities, from residential to commercial purposes, allowing property owners considerable freedom in utilizing their land. However, this freedom is not absolute and is subject to certain legal restrictions to promote orderly development and ensure the community's welfare. For example, property owners must comply with the Borough's zoning laws and regulations, including how far structures must be set back from property lines, waterbodies, and public rights-of-way.

The planning staff used the Borough Assessment files and GIS systems to conduct an analysis. The study area's average dwelling size was the focus of our analysis. We excluded any properties featuring dwellings that appeared to fall within the 75-foot waterbody setback to maintain our findings' integrity. Our analysis aims to reflect lawful property use and development patterns within the area of interest by excluding non-compliant properties.

Conclusion of Law: Based on the findings above, the strict application of setbacks would not deprive the owners from using their property. The applicant has stated that the parcel is currently used for recreational activities by family members. It is possible for the applicant to adhere to all setbacks on the subject parcel as indicated by the survey conducted by Richard L. Wentworth. (MSB 17.65.020(A)(2)).

(3) The granting of the variance will not be injurious to nearby property, nor harmful to the public welfare.

Findings of Fact:

18. According to the application material, the applicant proposes building a residential cabin of 1,132 square two-story structure within the 75' setback regulation.
19. According to the application material, the applicant proposes a residential cabin of 1,132 square foot residential two-story structure 32-feet from Middle Caswell Lake.
20. According to the application materials, the proposed residential cabin will adhere to all other setbacks from the side lot lines, and right-of-way setbacks.
21. In 2005, the Matanuska-Susitna Borough Assembly adopted voluntary best management practices (BMP) for development around waterbodies.
22. According to the application material, the subject parcel abuts Middle Caswell Lake on the west side on the property.
23. According to the application materials the subject parcel is located on a cul-de-sac.
24. According to the application materials the owners do not want to disturb existing vegetation on the parcel and maintain the large birch trees.
25. According to the application materials no septic system will be installed.
26. According to the application materials, the subject parcel has a pre-existing well on location.
27. Based on the application materials, the applicant proposes preserving approximately 100% of undisturbed native vegetation of the shoreline.
28. According to the application indigenous plants will be planted post construction.

Conclusion of Law: Based on the above findings, granting the variance will not be injurious to nearby property, nor harmful to the public welfare (MSB 17.65.020(A)(3)).

(4) The granting of the variance will be in harmony with the objectives of this title and any applicable comprehensive plans.

The Matanuska-Susitna Borough Comprehensive Plan (2005 Update) pertains to this property. Two of the land use goals state:

Goal (LU-1): Protect and enhance the public safety, health, and welfare of Borough residents.

Policy LUI-1: Provide for consistent, compatible, effective and efficient development within the borough.

This plan does not expressly address variance requests. It does include goals to protect the environment and the surrounding areas. Variance requests are not inconsistent with the policies and goals of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update).

Findings of Fact:

29. MSB Chapter 17.65 – Variances were written to grant relief to property owners whose lots are impacted by existing land use regulations, thereby making the lot undevelopable.

30. Goal (LU-1) of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Protect and enhance the public safety, health, and welfare of Borough residents.
31. Policy LU1-1 of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Provide for consistent, compatible, effective, and efficient development within the Borough.
32. Goal (LU-2) of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Protect residential neighborhoods and associated property values.
33. In 2005, the Matanuska-Susitna Borough Assembly adopted voluntary best management practices (BMP) for development around waterbodies.
34. Based on the application materials, the applicant proposes preserving approximately 100% of undisturbed native vegetation of the shoreline bank besides the access and egress from the subject parcel to the dock.
35. According to the application material, the applicant proposes a residential cabin of 1,132 square foot residential two-story structure 32-feet from Middle Caswell Lake to the west of the subject parcel.
36. According to the application materials, the proposed residential cabin will adhere to all other setbacks from the side lot lines, and right-of-way.
37. Planning staff analyzed 67 parcels with lake frontage on Middle Caswell Lake.
38. After conducting an analysis, the Planning staff found that there are 21 lakefront parcels with dwellings that appear to meet the 75-foot setback criteria, have legal non-conforming status or a granted variance.
39. Planning staff found the lakefront properties within the analysis area are approximately 0.3 acres in size.
40. Development within the analysis area reflects modest residential use, with an average structure size of approximately 977 square feet
41. The dwellings that may violate the setback requirements were not included in the average dwelling size calculation.
42. According to the Planning staff's analysis, constructing a 1,132-square-foot dwelling is compatible with the surrounding area.
43. According to the application materials, the survey conducted by Richard L. Wentworth on December 20, 2024, there is buildable area that adheres to setback under MSB 17.55

Discussion: The survey conducted by Richard L. Wentworth on December 20, 2024, indicated the subject parcel does have buildable area. A variance is not needed to adhere to setbacks but is at the request of the property owner.

Conclusion of Law:

Based on the above findings, the proposed variance is not consistent with the applicable comprehensive plans and does meet the intent of MSB 17.65 (MSB 17.65.020(A)(4)).

(5) The deviation from the requirement of this title that is permitted by the variance will be no more than is necessary to permit a reasonable use of the property.

Findings of Fact:

44. According to the application there is a portion of the lot that will adhere to all waterbody setbacks, side lot line setbacks, and right-of-way setbacks.
45. Planning staff analyzed 67 parcels with lake frontage on Middle Caswell Lake.
46. After conducting an analysis, the Planning staff found that there are 21 lakefront parcels with dwellings that appear to meet the 75-foot setback criteria, have legal non-conforming status or a granted variance.
47. Planning staff found the lakefront properties within the analysis area are approximately 0.3 acres in size.
48. Development within the analysis area reflects modest residential use, with an average structure size of approximately 977 square feet
49. The dwellings that may violate the setback requirements were not included in the average dwelling size calculation.
50. According to the Planning staff's analysis, constructing a 1,132-square-foot dwelling is compatible with the surrounding area.
51. According to the application materials, the survey conducted by Richard L. Wentworth on December 20, 2024, there is buildable area that adheres to setback under MSB 17.55

Discussion: Due to the buildable area indicated by the survey, staff recommends that the structure use the buildable area.

Conclusion of Law: Based on the above findings, granting a variance will be more than necessary to permit a reasonable use of the property (MSB 17.65.020(A)(5)).

Section 17.65.030 Cases Where Variance is Illegal

(A) A variance from this title may not be granted if:

(1) Special conditions that require the variance are caused by the person seeking the variance.

Findings of Fact:

1. According to the application there is a portion of the lot that will adhere to all waterbody setbacks, side lot line setbacks, and right-of-way setbacks and that portion is not being used for placement of the structure.
2. According to the application materials the request for a variance is to maintain existing birch trees located on the property.
3. According to the application materials the property owners allow the neighbors access to the property, but no legal easement has been recorded.

Conclusion of Law: Based on the above findings, the person seeking the variance did cause the need for the variance (MSB 17.65.030(A)(1)).

(2) The variance will permit a land use in a district in which that use is prohibited.

Findings of Fact:

1. There are no restrictions on the use of the land outside of MSB 17.55 setbacks.

Conclusion of Law: Based on the above findings, the variance, if granted, will not allow a land use in a district in which that use is prohibited, as residential structures are allowed on this site (MSB 17.65.030(A)(2)).

(3) The variance is sought solely to relieve pecuniary hardship or inconvenience

Findings of Fact:

2. According to the application there is a portion of the lot that will adhere to all waterbody setbacks, side lot line setbacks, and right-of-way setbacks and that portion is not being used for placement of the structure.
3. According to the application materials the request for a variance is to maintain existing birch trees located on the property.
4. According to the application materials the property owners allow the neighbors access to the property, but no legal easement has been recorded.

Conclusion of Law: Based on the above findings, the variance is solely being sought to relieve pecuniary hardship or inconvenience (MSB 17.65.030(A)(3)).

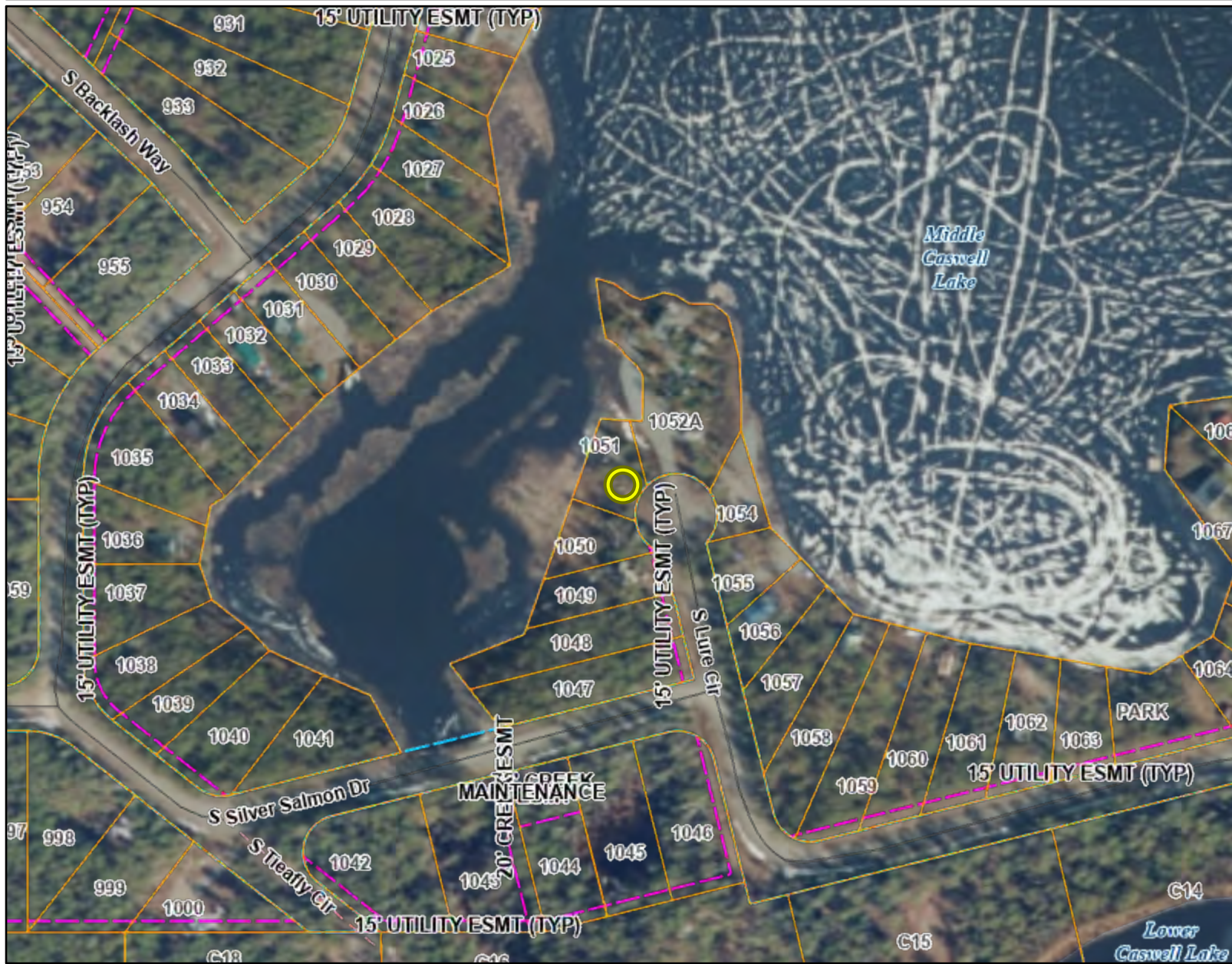
STAFF RECOMMENDATIONS

Staff recommend that the request is denied because the applicant has not demonstrated that the proposed development cannot reasonably be accommodated within the identified buildable area of the property. The submitted site plan clearly illustrates a feasible building location that complies with applicable setbacks and development standards; however, the applicant has chosen not to utilize this area for reasons of preference rather than necessity. As such, the request does not meet the required findings for approval, as the hardship is self-imposed and not the result of unique physical constraints of the property. Approval of the request would therefore be inconsistent with Borough code and would grant a special privilege not commonly enjoyed by other properties in the area.

Maps



Parcel Map



Legend

- Minor Road
- Not Constructed
- Mat-Su Borough Boundary
- Address Numbers
- Parcels
- Lot and Block Numbers
- ROW and Easements

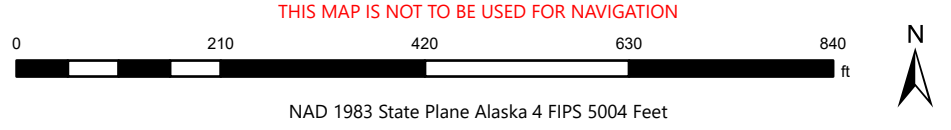
Layer

- ROW Easement
- Easement
- Lakes and Rivers
- Section Lines

RGB

- Red: Band_1
- Green: Band_2
- Blue: Band_3
- Highlighted Points

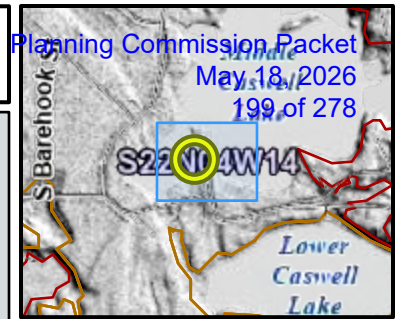
Notes
Generated on 27.04.2026 (dd/mm/yyyy)



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Parcel Map



Legend

- Minor Road
- Mat-Su Borough Boundary
- Address Numbers
- Parcels
- Lot and Block Numbers
- ROW and Easements
- Layer
- ROW Easement
- Easement
- Lakes and Rivers
- Section Lines
- Value
- 214
- 0
- Highlighted Points
- Highlighted Points

Notes

Generated on 27.04.2026 (dd/mm/yyyy)

THIS MAP IS NOT TO BE USED FOR NAVIGATION



NAD 1983 State Plane Alaska 4 FIPS 5004 Feet



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Application

How the strict application of the provisions of this title will deprive you of the rights commonly enjoyed by other properties under the terms of this title.	
Why the granting of the variance will not be injurious to nearby property, nor harmful to the public welfare.	
How will the granting of the variance be in harmony with the objectives of this title and any applicable comprehensive plans?	
How the deviation from the requirements of this title as permitted by the variance will be no more than is necessary to permit a reasonable use of the property.	
Explain what MSB adopted Voluntary Best Management Practices for Development around Waterbodies will be implemented into the proposed development.	

Part 2

A variance may <u>not</u> be granted if any of the conditions listed below are true. Explain why each condition is <u>not</u> applicable to this application.	Attached
The special conditions that require the variance are caused by the person seeking the variance.	
The variance will permit a land use in a district in which that use is prohibited.	
The variance is sought solely to relieve pecuniary hardship or inconvenience.	

Drawings	Attached
A boundary survey and site plan of the proposed and/or existing development, of the particular parcel or parcels affected. The survey must be submitted under the seal of an Alaska Registered Land Surveyor.	✓
Structural elevation drawing(s) for the purpose of indicating the proposed height and bulk, view and other dimensions of the subject structure.	✓

Prior to the public hearing, the applicant must also pay the mailing and advertising fees associated with the application. Staff will provide applicant with a statement of advertising and mailing charges. Payment must be made **prior** to the application presentation before the Borough Planning Commission.

OWNER'S STATEMENT: I am owner of the following property:

MSB Tax parcel ID #(s) Lot 1051 Caswell Lakes and, I hereby apply for approval a setback variance on that property as described in this application.

I understand all activity must be conducted in compliance with all applicable standards of MSB 17.55 and MSB 17.65 and with all other applicable borough, state or federal laws.

I understand that other rules such as local, state and federal regulations, covenants, plat notes, and deed restrictions may be applicable and other permits or authorization may be required. I understand that the borough may also impose conditions and safeguards designed to protect the public's health, safety and welfare and ensure the compatibility of the use with other adjacent uses.

I understand that it is my responsibility to identify and comply with all applicable rules and conditions, covenants, plat notes, and deed restrictions, including changes that may occur in such requirements.

I understand that this permit and zoning status may transfer to subsequent owners of this land and that it is my responsibility to disclose the requirements of this status to the buyer when I sell the land.

I understand that changes from the approved variance may require further authorization by the Borough Planning Commission. I understand that failure to provide applicable documentation of compliance with approved requirements, or violation of such requirements will nullify legal status, and may result in penalties.

I grant permission for borough staff members to enter onto the property as needed to process this application and monitor compliance. Such access will at a minimum, be allowed when the activity is occurring and, with prior notice, at other times necessary to monitor compliance.

The information submitted in this application is accurate and complete to the best of my knowledge.

Paul Knecht Knecht, Paul 8-18-25
Signature: Property Owner Printed Name Date

Signature: Agent Printed Name Date

Variance Request

Informational Note: This structure will be set on driven pile.

Part 1: 17.65020

1. The unusual circumstance is the shape of the lot which requires a structure of livable size to be built in proximity of the lake. The lot being pie shaped leaves only the front 1/3rd of the lot buildable which will put the proposed structure 32' +/- from the edge of the bank- see survey. We are requesting a variance to build on the site as proposed in the design survey site plan attached.
2. Multiple sites in the subdivision have been granted variances for the same reason stated in the requirement number – MSB- 17.55.020 including the lot to the east (Lot 1052a) and (Lot 1055).
3. Granting of the variance does not affect any nearby property and we have communicated consistently with the neighbor to the lots to either side to determine best placement of our build site to maintain harmony with other structures in the cul-de- sac. Structure does not create any public welfare issues.
4. We affirm that the variance is in harmony with the objectives of this title and plan.
5. The variance will comply with section 5 and will be only the minimum required for the intended use as shown in the site plan.

Part 2: 17.65.030

1. The special conditions of original subdividing and shape of the lot were not created by the applicant.
2. No land use restrictions apply to this lot for the purpose of building the proposed structure.
3. The variance is sought to make the lot buildable. There is no alternative placement for the structure on this lot were a variance would not be required. Therefore this variance is not for convenience.

Caswell Lakes Subdivision Lot 1051 Plat #2011-86

49564 Lure Circle

Description

A variance from MSB 17.55 is being applied for and is specifically described.

Provide a detailed written description as to why the variance is required.

Paul and Elizabeth Knecht are seeking a variance for lot Caswell Lakes Subdivision Lot 1051 Plat #2011-86 also identified as **49564 Lure Circle**.

As stated in Chapter 17.55: Setbacks and Screening Easements:

17.55.010 SETBACKS (A) No structure or building line shall be placed within 25 feet from the

right-of-way line of any public right-of-way, except no furthestmost protruding portion of any structure shall be placed within ten feet from the right-of-way line of any public right-of-way when the pre-existing lot:

(1) measures 60 feet or less in frontage on a public right-of-way, and is not located on a culde-

sac bulb; or

(2) comprises a nonconforming structure erected prior to July 3, 1973. This setback shall be known as the structure or building line setback.

17.55.020 SETBACKS FOR SHORELANDS, (A) Except as provided in subsection (B) of this section, no structure or footing shall be located closer than 75 feet from the ordinary high water

mark of a body of water. Except as provided otherwise, eaves may project three feet into the required setback area.

The property at its widest point (From Lake to culdesac) is 90 feet, this prevents us from meeting the current building setback requirements of 75 feet from the lake and the 25 feet setback to the public right-of-way on the culdesac.

If we are unable to acquire a variance, the property is unbuildable with current set back requirements (75' from lake edge, 25' from the road, Utility easement, and 10' from property lines.)

Paul and Elizabeht Knecht have worked closely with R&K Land Surveying to verify accuracy of proposed structure location, lot lines, ROW, and Lake edge.

Drawings:

Attached.

In order to grant a variance from MSB Title 17, the Planning Commission must find that each of the following requirements has been met (17.65.020). Explain how the request meets each requirement. Include information such as physical surroundings, shape or topographical conditions of the property which would support the granting of a variance.

1. What unusual conditions or circumstances apply to the property for which the variance is sought?

This small piece of property does not allow development on the property to meet current setback requirements. The property is 0.39 acres (13,940 square feet) and its unique shape only provides a depth of 90 feet at its widest point. The property is oddly shaped due to the original subdividing that took place prior to current setback requirements. This pie shape leaves no buildable area that meets the 75' setback requirement. The lot is marshy to the NE side and further to the west. The property is relatively level with the proposed site being on the lower elevation. This is the only place on the property that does not interfere with current use and obligations to neighboring properties. Please see attached survey for a detailed overview of the dimensions and attached markup of current use and requirements.

2. How the strict application of the provisions of this title will deprive you of the rights commonly enjoyed by other properties under the terms of this title.

If we are unable to obtain a variance, the property is unbuildable. Other properties along the lake including the property directly to the north have either been grandfathered into existing structures or have been required to obtain the same variance that is being requested.

Paul Knecht inherited this property from his father, and it is our hope that we can build a recreational cabin for our family to enjoy and continue traditions that have become a

seasonal part of ours, our children, grandchildren and greater families summer activities for years to come.

The property is located on a quiet part of the lake that is not used by the majority of people using the lake as it is in the shallow and marshy portion of the lake. Lure circle provides direct access to the property. All of the properties on Lure Circle are used on a recreational basis.

We would like to build in the area specified by the site plan to maintain setback from the culdesac, Maintain the Access that the neighbor to the south uses for his trailers, and maintain harmony in the small community that circles the culdesac. Neighbors use the culdesac to turn their large motorhomes and trailers around and parking in the culdesac is a source of frustration for the people that own the lots bordering the culdesac.

3. Why the granting of the variance will not be injurious to nearby property, nor harmful to the public welfare.

Currently this property is used as a camping site by multiple members of our immediate and extended family.

By allowing the variance we will, create an attractive, safe and welcoming addition to the Caswell Lake community. The placement of the cabin is intended to save the only beautiful birch trees remaining on the lot and maintain the required distance from neighboring properties. The cabin will be completed with materials that enhance the quality of the neighborhood and will not interfere with any of the accepted uses of the lake or neighboring properties. This is a small cabin that is significantly smaller than many other properties on the lake and will not be a commanding presence. See attached construction drawings for dimensions.

As many trees as possible will remain on the property to maintain harmony with the surrounding forest. Soil will not be disturbed via the method of construction (driven Pile). The current 32' (at narrowest portion) of undisturbed natural vegetation will be maintained in a natural state allowing for natural protection of the bank. Once construction is completed, all excess construction materials will be removed from the property and indigenous plants will be planted throughout the site. The appearance of the lot will be neat and tidy. Other properties on the lake have clear cut to the waters edge and filled in portions of the lake. This will not happen on this property. Other neighbors have cleared significant swathes to accommodate parking and driveway access to the lake and we are asking to maintain our current access similar to what our neighbors enjoy.

We do understand that during the building process we may have an impact on our neighbors. We will be accommodating and provide updates and schedules of building

plans and progress updates as we have been neighbors and friends for decades. We will be respectful of construction hours and noise levels during the building process. Once construction is complete, there will not be any negative effect on our neighbors. In fact, we believe having a new construction cabin that is maintained and well cared for will only be a positive addition to the neighbors and surrounding area. As we have assisted in the construction and maintenance of both neighbors, they in fact intend to assist and provide input during the construction phase. Knowledge of the need for the variance was provided by one such neighbor.

It is our intent based on the Voluntary Best Management Practices for Development Around Waterbodies that we will maintain the natural shoreline and preserve a buffer of

continuous, undisturbed native vegetation along the shoreline. The property has significant shoreline and we do not plan on doing any construction or removal along the natural buffer.

While we are asking for an exception to the rules, we ultimately want to build a cabin for our family to enjoy. We do not, in any way, foresee granting this variance to be injurious to nearby property, nor harmful to the public welfare.

Granting this variance will be beneficial to the overall beauty and public welfare of both neighbors and the larger Caswell Lakes community.

4. How will the granting of the variance be in harmony with the objectives of this title and any applicable comprehensive plans?

It is our intent to be respectful to the vegetation, lake and animals/fish by keeping our footprint small, using the cabin

on a recreational basis only, and teaching our grand children (as we taught our children) how to be respectful of the land and lake.

Granting this variance aligns in harmony with a vision where development allows use of land and supports the overall success of the community. We will efficiently

construct a one-bedroom, one-bathroom recreational cabin with covered porches to allow for enjoyment of the natural beauty of the lake and surrounding marsh. We are dedicated to taking necessary precautions to ensure safety and well-being during the construction phase, but this project goes much beyond that. This variance will allow for us to maintain the property and contribute to the charm and use of Caswell Lake #3 for many years to come. It not only provides a location for our family to gather and enjoy the many benefits Alaska offers, but also contributes to the overall success of the local community. We

believe this variance should be supported by improving available land, increasing community involvement, and providing financially to the Matanuska Susitna Borough.

5. How the deviation from the requirements of this title as permitted by the variance will be no more than is necessary to permit a reasonable use of the property.

The desired cabin is Small by standards of the surrounding properties. It is our goal to keep the cabin small and efficient, and we've placed it as far back from the lake as possible. With the 10-foot property line setback, the 25' ROW setback, and the 10' utility easement, as well as the access and driveway, we have 32' feet from the cabin to the lake.

We understand the numerous limitations to our property and appreciate your consideration of allowing us to build this proposed cabin. With approval, we will

build a two-story cabin (similar to adjoining properties) with one loft bedrooms and one bathroom. We do not plan to build a large or obstructive building and there will not be a garage. (Area below cabin will be used for storage of kayaks and paddle boards. We understand that our property has limitations and have designed a small cabin to best accommodate the property restrictions.

A variance may not be granted if any of the conditions listed below are true. Explain why

each condition is not applicable to this application.

1. The special conditions that require the variance are caused by the person seeking the variance.

The lot was subdivided prior to the 75' setback requirement and was inherited from the owners Father. The shape and size of the lot require a variance to be buildable. Planned site was chosen to minimize disturbance, keep happy neighbours and allow for use enjoyed by other properties in the vicinity.

The property is small and does not allow new development to meet setback requirements. At its greatest width the property is 90 feet, requiring a variance. We wish this property met setback

requirements and respectfully ask for your consideration with this variance. I do understand that we have mentioned numerous times the property width and shape but it is the sole limitation to our proposed use of the property.

2. The variance will permit a land use in a district in which that use is prohibited.

We'd like to build at 49564 Lure Circle. Building is adequately allowed, and we are taking all necessary steps to build within regulations, We are seeking a variance solely for the depth of our property not meeting the 75-foot building setback requirement and the 25' ROW setback requirement.

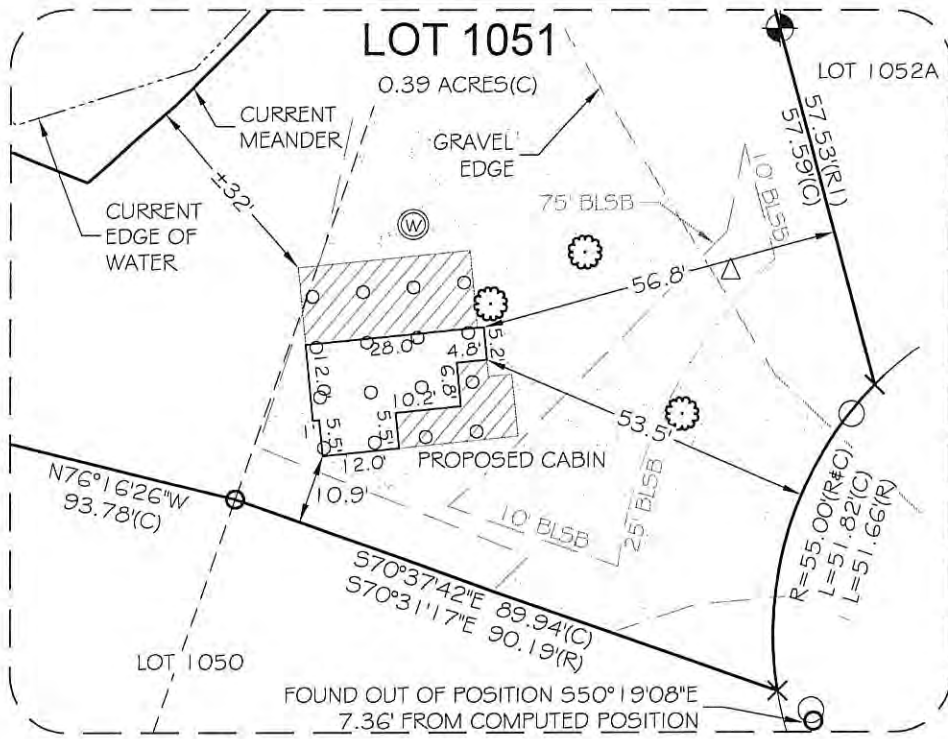
3. The variance is sought solely to relieve pecuniary hardship or inconvenience.

The variance is sought solely for the dimensions of our property. We wish we were able to conform to all setback requirements and could avoid having to ask for an exception.

Thank you for reviewing this application and your time dedicated to this request.

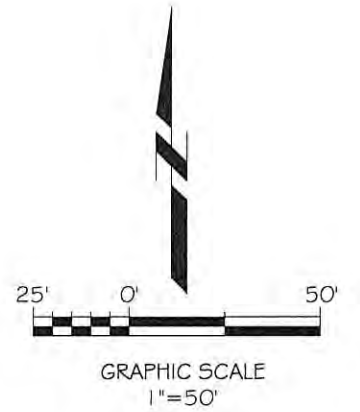
Paul and Elizabeth Knecht

DETAIL SCALE: 1"=30'



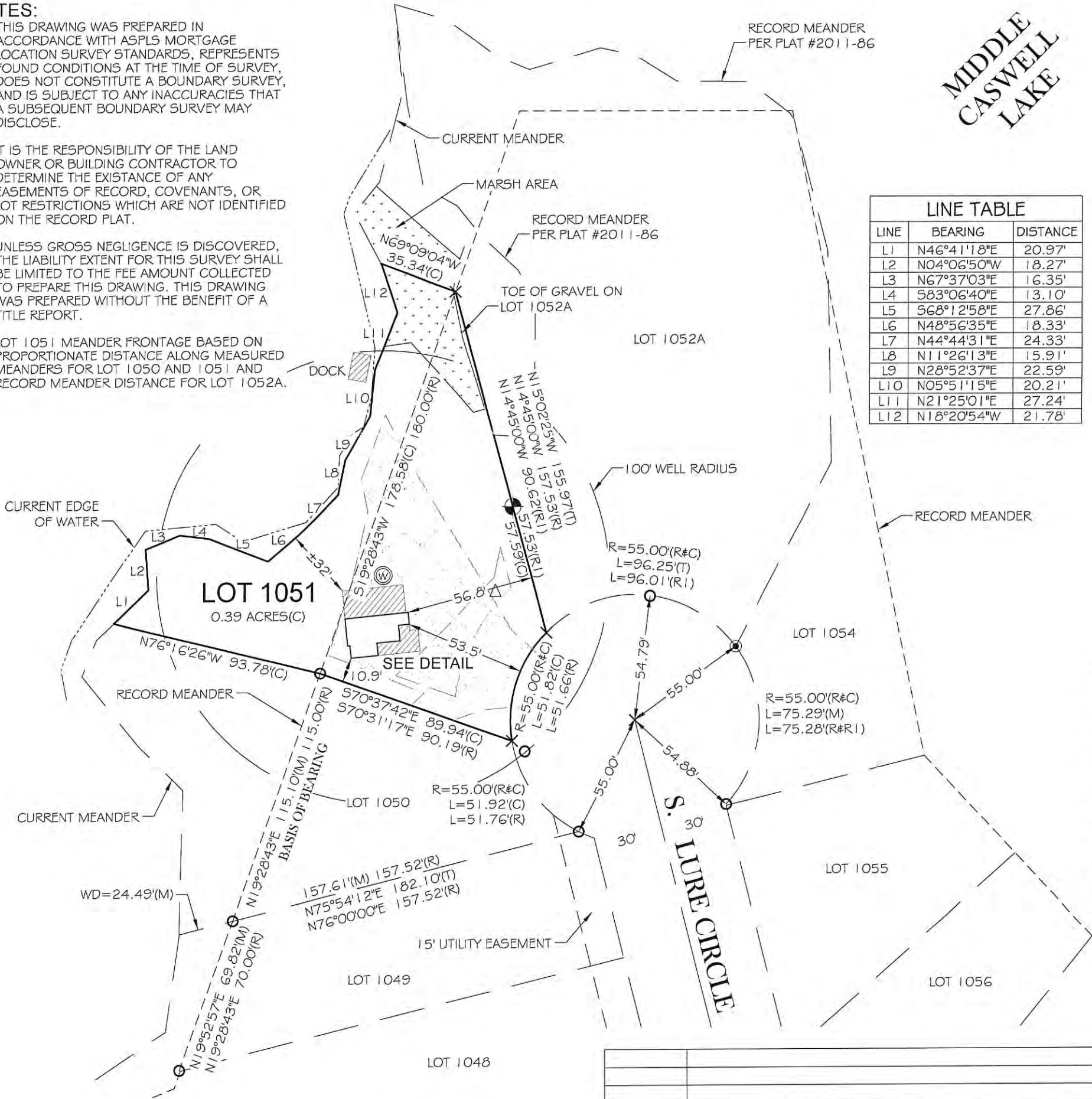
LEGEND

- FOUND 2-1/2" ALUMINUM CAP ON POST (6925-5)
- FOUND 1" ANGLE IRON
- ⊙ FOUND 1-1/4" YELLOW PLASTIC CAP ON 5/8" REBAR (6925-5)
- × COMPUTED POSITION
- (R) RECORD PLAT #68-10
- (R1) RECORD PLAT #2011-86
- (M) MEASURED
- (T) TOTAL DIMENSION
- (C) CALCULATED
- △ EXISTING REMOTE ELECTRIC METER
- ⊙ EXISTING WELL
- EXISTING 4" STEEL DRILL STEM
- EXISTING 6" STEEL CASING POST
- WD WITNESS DISTANCE
- ⊙ BIRCH TREE
- ▨ PROPOSED WOOD DECK
- BLSB BUILDING LINE SETBACK



NOTES:

1. THIS DRAWING WAS PREPARED IN ACCORDANCE WITH ASPLS MORTGAGE LOCATION SURVEY STANDARDS, REPRESENTS FOUND CONDITIONS AT THE TIME OF SURVEY, DOES NOT CONSTITUTE A BOUNDARY SURVEY, AND IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY DISCLOSE.
2. IT IS THE RESPONSIBILITY OF THE LAND OWNER OR BUILDING CONTRACTOR TO DETERMINE THE EXISTANCE OF ANY EASEMENTS OF RECORD, COVENANTS, OR LOT RESTRICTIONS WHICH ARE NOT IDENTIFIED ON THE RECORD PLAT.
3. UNLESS GROSS NEGLIGENCE IS DISCOVERED, THE LIABILITY EXTENT FOR THIS SURVEY SHALL BE LIMITED TO THE FEE AMOUNT COLLECTED TO PREPARE THIS DRAWING. THIS DRAWING WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
4. LOT 1051 MEANDER FRONTAGE BASED ON PROPORTIONATE DISTANCE ALONG MEASURED MEANDERS FOR LOT 1050 AND 1051 AND RECORD MEANDER DISTANCE FOR LOT 1052A.



LINE TABLE		
LINE	BEARING	DISTANCE
L1	N46°41'18"E	20.97'
L2	N04°06'50"W	18.27'
L3	N67°37'03"E	16.35'
L4	S83°06'40"E	13.10'
L5	S68°12'58"E	27.86'
L6	N48°56'35"E	18.33'
L7	N44°44'31"E	24.33'
L8	N11°26'13"E	15.91'
L9	N28°52'37"E	22.59'
L10	N05°51'15"E	20.21'
L11	N21°25'01"E	27.24'
L12	N18°20'54"W	21.78'

I HEREBY CERTIFY THAT AN ACCURATE SURVEY OF THE FOLLOWING DESCRIBED PROPERTY;
CASWELL LAKES SUBDIVISION LOT 1051
OF THE PALMER RECORDING DISTRICT, ALASKA
WAS MADE ON **10-05-2024** AND THAT THE IMPROVEMENTS SITUATED THEREON DO NOT ENCROACH ON THE PROPERTY LYING ADJACENT TO THE PREMISES IN QUESTION EXCEPT AS INDICATED HEREON. EASEMENTS OF RECORD OTHER THAN THOSE SHOWN ON THE RECORD PLAT MAY EXIST.



DATE:	REVISION:

R#K LAND SURVEYING, LLC
PO BOX 606
WILLOW, ALASKA 99688
(907) 495-0047
#156327

SITE PLAN

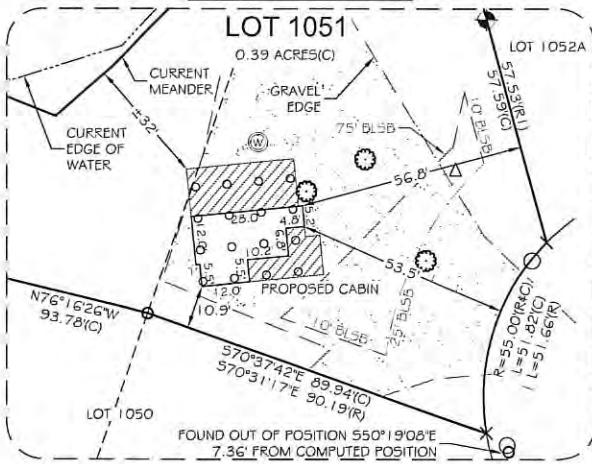
49562 S. LURE CIRCLE

PREPARED FOR:
PAUL KNECHT

DRAWN BY: RLW	FIELD BK: RKL5 2024-06
CHECKED BY: KEW	
JOB NO.: 2024-074	MSB MAP#: CA 01
SCALE: 1"=50'	DATE: 11-11-2024

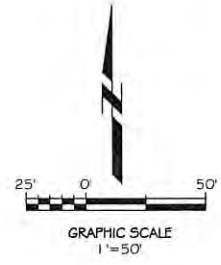
R#K LAND SURVEYING, LLC

DETAIL SCALE: 1"=30'



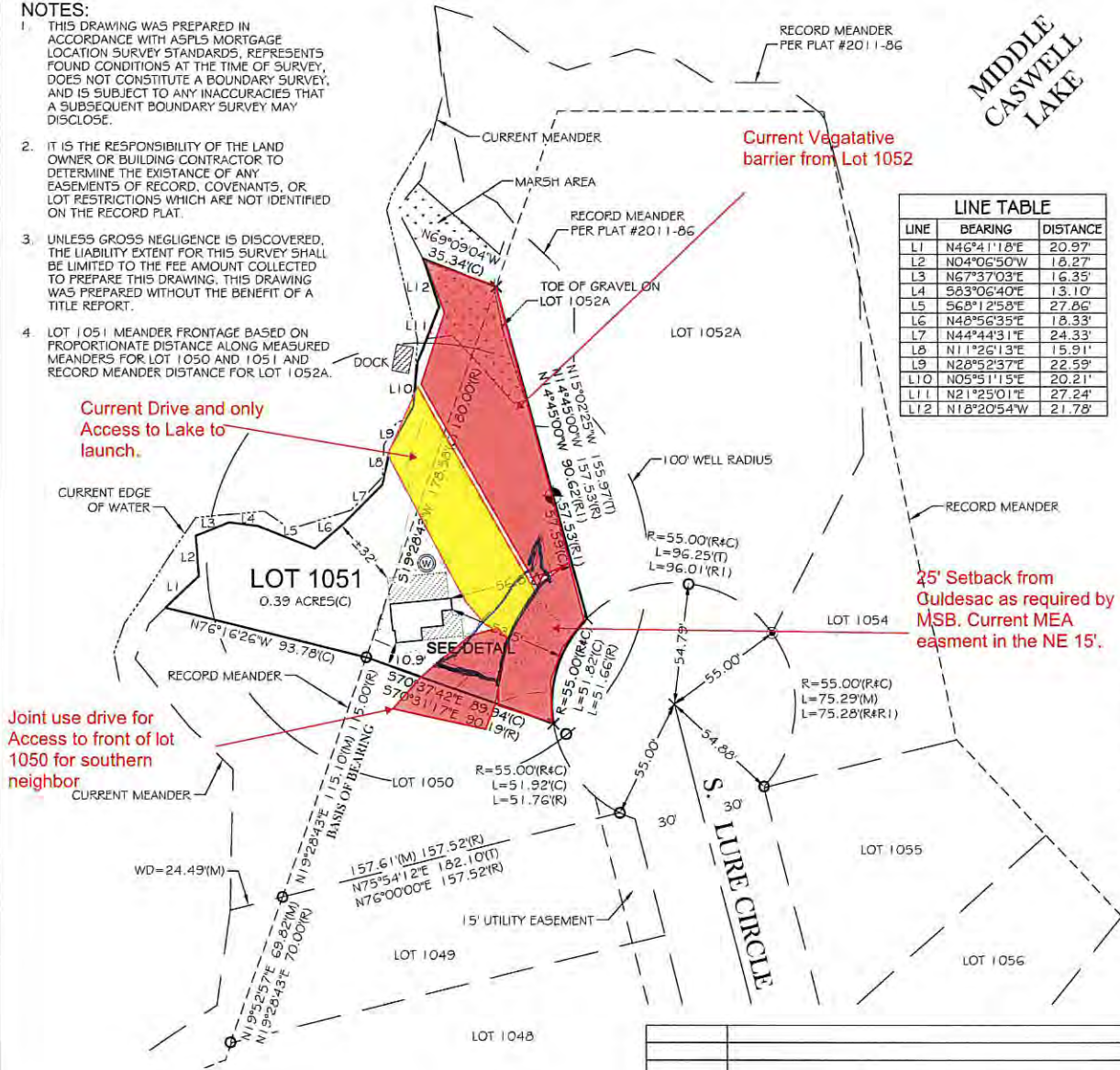
LEGEND

- ◆ FOUND 2-1/2" ALUMINUM CAP ON POST (6925-5)
- FOUND 1" ANGLE IRON
- FOUND 1-1/4" YELLOW PLASTIC CAP ON 5/8" REBAR (6925-5)
- × COMPUTED POSITION
- (R) RECORD PLAT #68-10
- (R1) RECORD PLAT #2011-86
- (M) MEASURED
- (T) TOTAL DIMENSION
- (C) CALCULATED
- △ EXISTING REMOTE ELECTRIC METER
- ⊙ EXISTING WELL
- EXISTING 4" STEEL DRILL STEM
- EXISTING 6" STEEL CASING POST
- WD WITNESS DISTANCE
- BIRCH TREE
- ▨ PROPOSED WOOD DECK
- BLSB BUILDING LINE SETBACK



NOTES:

1. THIS DRAWING WAS PREPARED IN ACCORDANCE WITH ASPLS MORTGAGE LOCATION SURVEY STANDARDS. REPRESENTS FOUND CONDITIONS AT THE TIME OF SURVEY, DOES NOT CONSTITUTE A BOUNDARY SURVEY, AND IS SUBJECT TO ANY INACCURACIES THAT A SUBSEQUENT BOUNDARY SURVEY MAY DISCLOSE.
2. IT IS THE RESPONSIBILITY OF THE LAND OWNER OR BUILDING CONTRACTOR TO DETERMINE THE EXISTENCE OF ANY EASEMENTS OF RECORD, COVENANTS, OR LOT RESTRICTIONS WHICH ARE NOT IDENTIFIED ON THE RECORD PLAT.
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L12	N18°20'54"W	21.78'

I HEREBY CERTIFY THAT AN ACCURATE SURVEY OF THE FOLLOWING DESCRIBED PROPERTY:
CASWELL LAKES SUBDIVISION LOT 1051
 OF THE PALMER RECORDING DISTRICT, ALASKA
 WAS MADE ON **10-05-2024** AND THAT THE IMPROVEMENTS SITUATED THEREON DO NOT ENCROACH ON THE PROPERTY LYING ADJACENT TO THE PREMISES IN QUESTION EXCEPT AS INDICATED HEREON. EASEMENTS OF RECORD OTHER THAN THOSE SHOWN ON THE RECORD PLAT MAY EXIST.



DATE:	REVISION:
SITE PLAN	
49562 S. LURE CIRCLE	
PREPARED FOR: PAUL KNECHT	
DRAWN BY: RLW CHECKED BY: KEW	FIELD BK: RKL5 2024-06
JOB NO.: 2024-074	M5B MAP#: CA 01
SCALE: 1"=50'	DATE: 11-11-2024

R*K LAND SURVEYING, LLC



RavenHouse Design - Original + Bath



DRAWING BY:
 Lighthouse
 Drafting & Design
 lighthousecabincow@gmail.com

SHEET TITLE:
 GENERAL NOTES & DRAWING SET

PROJECT DESCRIPTION:
 RavenHouse 06 + Bath

NO	DESCRIPTION	DATE

DATE:
03-Oct-2022

SCALE:
AS NOTED

SHEET:
A-1

IMPORTANT INFORMATION

1. PRIOR TO CONSTRUCTION, ALL DETAILS & DESIGN SHALL BE REVIEWED VIA A LOCAL MUNICIPAL, DISTRICT, OR STATE ENGINEER PERTAINING TO BUILDS IN AND OUTSIDE OF CANADA. A LOCAL ENGINEER IS TO CONFIRM AND SUPPLY ANY ADDITIONAL INFORMATION THAT IS REQUIRED TO CONFORM TO THE CURRENT BUILDING CODE, LOCAL BUILDING CODE, REGULATIONS AND BUILDING LAWS, WHICH MAY TAKE PRECEDENCE IN THE STATE, PROVINCE, MUNICIPALITY OR DISTRICT IN WHICH THE OWNER OR CONTRACTOR IS BUILDING.
2. BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE DRAWINGS, THE OWNER AND OR BUILDER ACKNOWLEDGES THAT ALL NOTES ON ALL SHEETS HAVE BEEN READ, UNDERSTOOD, REVIEWED AND CHANGES REQUIRED HAVE BEEN MADE & PROVIDED BY A LOCAL ENGINEER PRIOR TO APPLICATION OF ANY REQUIRED PERMITS OR APPROVALS.
3. BEFORE STARTING CONSTRUCTION, OWNER AND OR BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS, SPECIFICATIONS, APPEARING ON THIS PLAN. PRINTED DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DO NOT SCALE FROM DRAWINGS.
4. LIGHTHOUSE DRAFTING & DESIGN (LONDON GRAHAM) HAS SOLELY COMPLETED THE DRAFTING PORTION OF THE ARCHITECTURAL DESIGN UNDER GUIDED INSTRUCTION, AND IS NOT RESPONSIBLE FOR THE DESIGN, NOR BEARS CREDIT FOR THE CREATIVE RIGHTS.
5. LIGHTHOUSE DRAFTING & DESIGN (LONDON GRAHAM) & RavenHouse Design IS NOT RESPONSIBLE FOR ANY VARIANCE FROM THE CONSTRUCTION DRAWING AND SPECIFICATIONS OR ADJUSTMENTS RESULTING FROM CONDITIONS ENCOUNTERED ON SITE, OR CHANGES MADE TO CONFORM TO STATE, PROVINCE, MUNICIPALITY OR DISTRICT REQUIREMENTS. SUCH VARIANCES ARE THE SOLE RESPONSIBILITY OF THE OWNER AND OR BUILDER.
6. THE OWNER AND OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THE BUILDING ON THE PROPERTY. LIGHTHOUSE DRAFTING & DESIGN (LONDON GRAHAM) & RavenHouse Design ASSUMES NO LIABILITY FOR CONSTRUCTION COMPLIANCE WITH ZONING REGULATIONS AND LOT CONDITIONS.
7. LIGHTHOUSE DRAFTING & DESIGN (LONDON GRAHAM) & RavenHouse Design TAKES NO PART IN, AND IS NOT RESPONSIBLE FOR, DRAWINGS, DETAILS, SIZING AND CONSTRUCTION OF/OR ANY PART PERTAINING TO; WELLS, SEPTIC SYSTEMS, MECHANICAL, ELECTRICAL, HEATING, COOLING AND PLUMBING.
8. ALL ENGINEERING REQUIRED BY AUTHORITIES HAVING JURISDICTION IS TO BE SUPPLIED BY THE OWNER AND OR BUILDER, LIGHTHOUSE DRAFTING & DESIGN (LONDON GRAHAM) & RavenHouse Design TAKES NO RESPONSIBILITY FOR ENGINEERING. THESE PLANS INDICATE STANDARD PRACTICES IN CANADA. THESE DRAWINGS HAVE NOT BEEN REVIEWED OR APPROVED VIA AN ENGINEER, AND REQUIRE ENGINEER REVIEW AND APPROVAL NO MATTER THE STATE, MUNICIPALITY, OR DISTRICT.
9. ANY AND ALL GRADING PLANS, LOT PLANS, SURVEY PLANS, DRAINAGE PLANS AND LOT LOCATION CERTIFICATES ARE TO BE COMPLETED BY OTHERS AND ARE NOT THE RESPONSIBILITY OF LIGHTHOUSE DRAFTING & DESIGN (LONDON GRAHAM) OR RavenHouse Design.
10. LIGHTHOUSE DRAFTING & DESIGN (LONDON GRAHAM) & RavenHouse Design IS NOT RESPONSIBLE FOR FAILED INSPECTIONS/CERTIFICATIONS/APPROVALS OR OTHERWISE.
11. FOUNDATION PLAN NOT PROVIDED BY LIGHTHOUSE DRAFTING & DESIGN (LONDON GRAHAM) OR RavenHouse Design. FOUNDATION TO BE PROVIDED BY OTHERS.
12. BUILDER/CONTRACTOR IS RESPONSIBLE FOR CLEANUP OF THE JOBSITE.
13. PLEASE REFRAIN FROM REPRODUCING OR DISTRIBUTING DRAWING SETS.

DRAWING SET

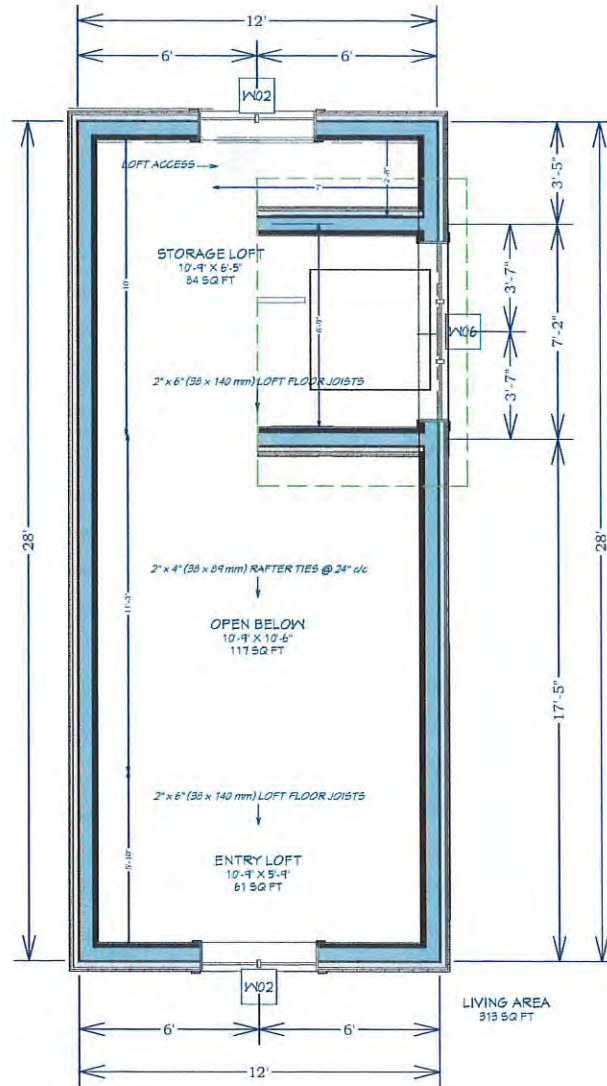
LABEL	TITLE
A-1	GENERAL NOTES & DRAWING SET
A-2	MAIN FLOOR
A-3	LOFT FLOOR
A-4	FOUNDATION PLAN
A-5	WINDOW AND DOOR SCHEDULE
A-6	ROOF OVERVIEW
A-7	ROOF DETAILS
A-8	FRONT ELEVATION
A-9	REAR ELVATION
A-10	RIGHT ELEVATION
A-11	LEFT ELEVATION
A-12	RAFTER OPTION DETAILS
A-13	WALL DETAILS
A-14	FLOOR DETAILS
A-15	WINDOW, DOOR & FLASHING DETAILS
A-16	STAIR COMPONENT DETAILS
A-17	STAIR ASSEMBLY DETAILS
A-18	KITCHEN & BATH ELEVATIONS

DESIGN BY:



RavenHouse Design
 ONTARIO, CA
 @ravenhouse.cabincow

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LOFT PLAN
 1/4" = 1'-0"

DESIGN BY:

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 ONTARIO, CA
 @ravenhouse.ca#rhc

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DRAFTING BY:
**Light-House
 Drafting & Design**
 lighthouse.drafting@gmail.com

SHEET TITLE:
LOFT FLOOR

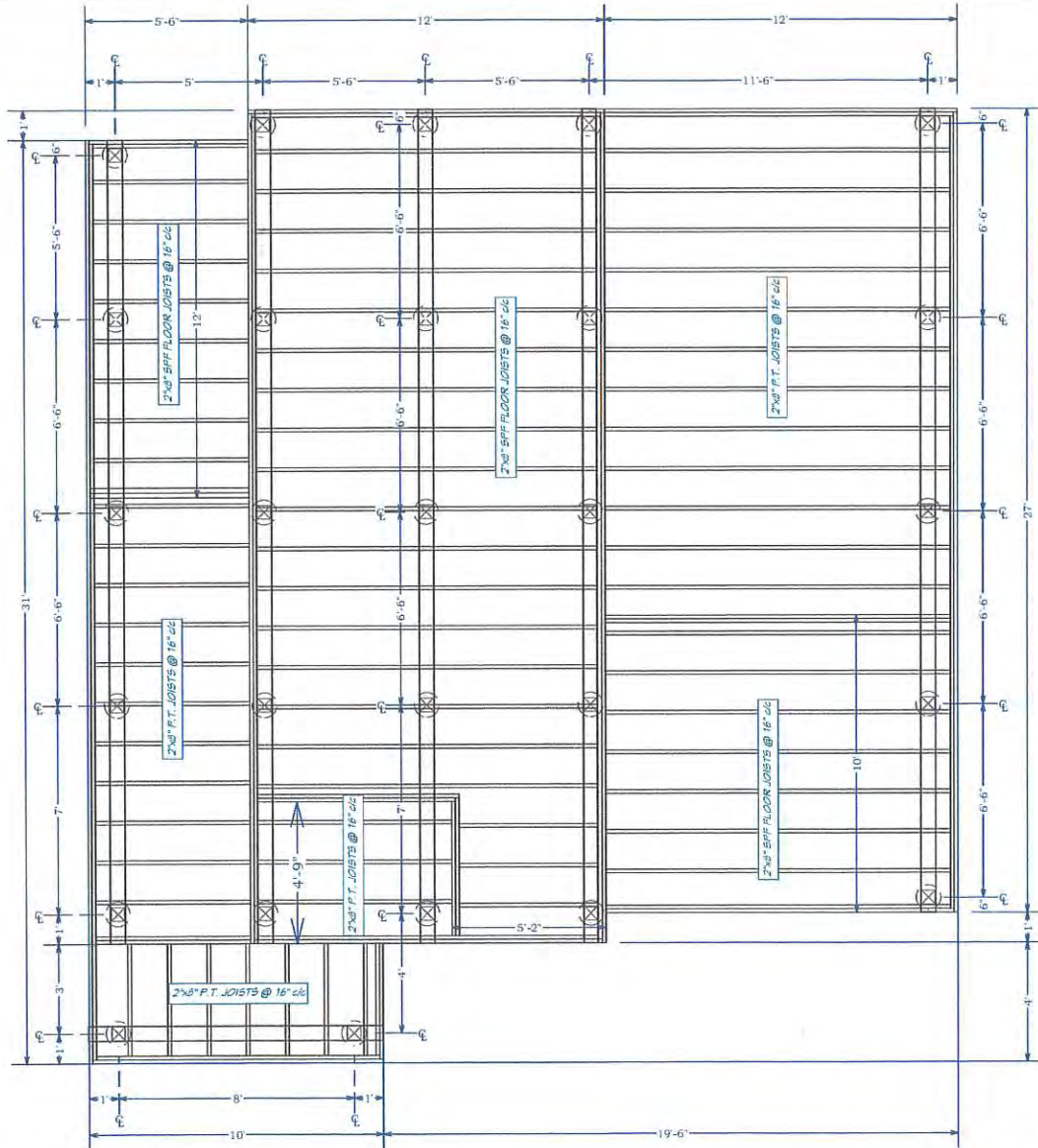
PROJECT DESCRIPTION:
Raven-House OG + Bath

NO.	DESCRIPTION	BY	DATE

DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:
A-3



FOUNDATION PLAN
 1/4" = 1'-0"

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DESIGN BY:



RavenHouse Design
 ONTARIO, CA
 @ravenhouse.cabnco

DRAFTING BY:
Lighthouse Drafting & Design
 lighthousedrafting@gmail.com

SHEET TITLE:






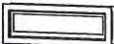



PROJECT DESCRIPTION:
RavenHouse OG + Bath

NO.	DESCRIPTION	BY	DATE

DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:
A-4

WINDOW SCHEDULE					EXT DOOR SCHEDULE				
3D PERSPECTIVE	NUMBER	QTY	WIDTH	HEIGHT	3D PERSPECTIVE	NUMBER	QTY	WIDTH	HEIGHT
	W01	2	26"	72"		D02	1	36"	80"
	W02	2	47"	36"		D03	2	60"	80"
	W03	1	48"	72"	INT DOOR SCHEDULE				
	W04	1	60"	16"		D01	1	32"	80"
	W05	1	60"	72"	SKYLIGHT SCHEDULE VELUX VCM- 4646 (MAIN STORAGE LOFT) VELUX FS-506 (RIGHT ELEVATION ABOVE SCREEN PORCH) VELUX FS-D06 (LEFT ELEVATION ABOVE KITCHEN & IN BATHROOM)				
	W06	2	72"	36"					

DESIGN BY:



RavenHouse Design
 ONTARIO, CA
 @ravenhouse.cabinc0

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 lighthousecabinc0@gmail.com

SHEET TITLE
WINDOW AND DOOR SCHEDULE

PROJECT DESCRIPTION:
RavenHouse OG + Bath

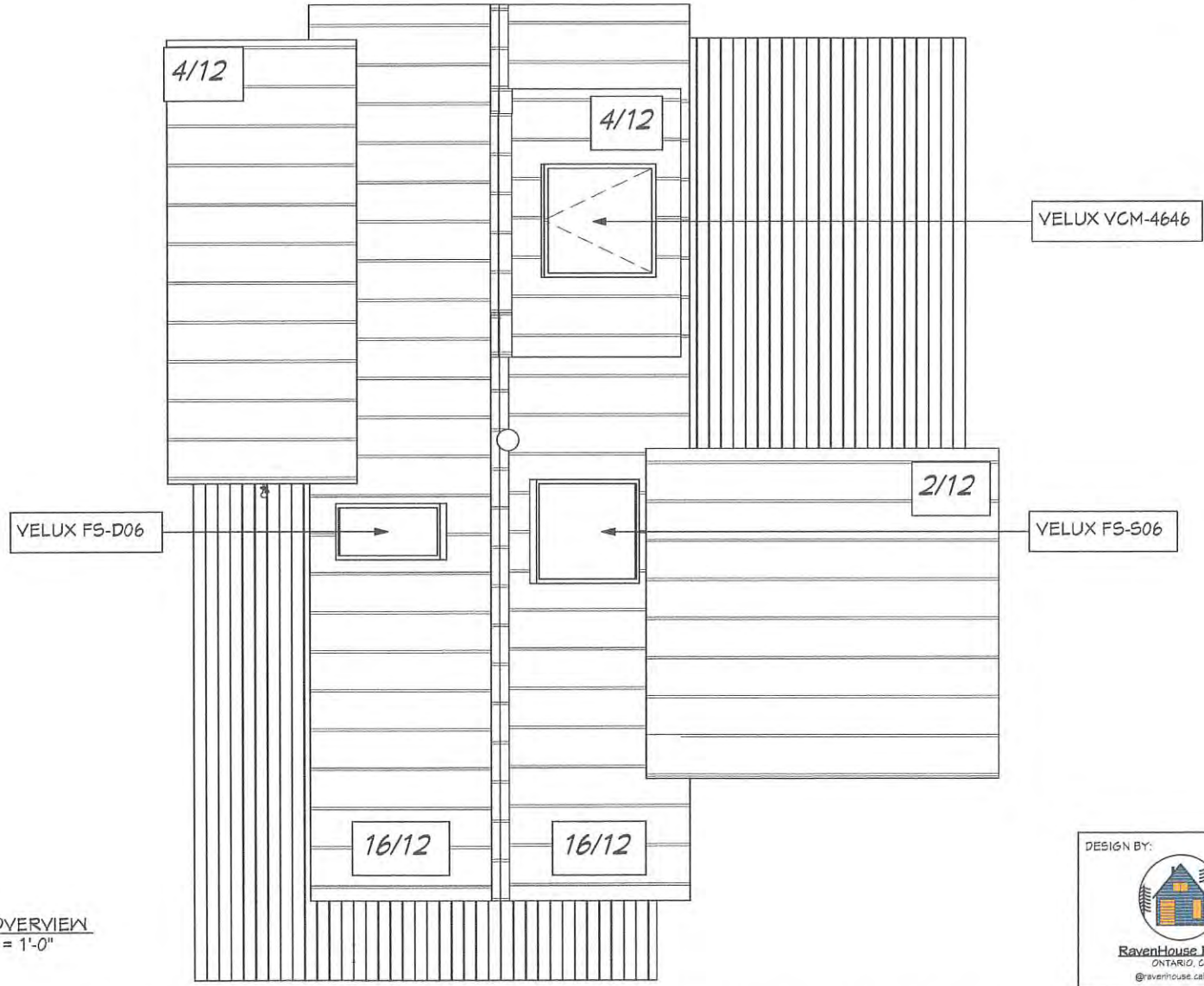
NO	DESCRIPTION	BY	DATE

DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:

A-5



ROOF OVERVIEW
 1/4" = 1'-0"

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 ONTARIO, CA
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Lighthouse Drafting & Design
 lighthousecad@icloud.com

SHEET TITLE
ROOF OVERVIEW

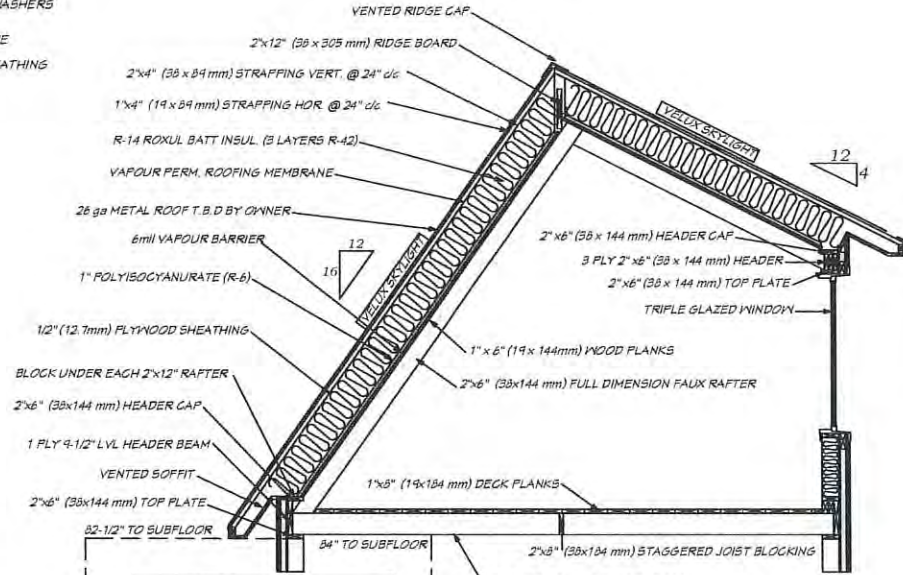
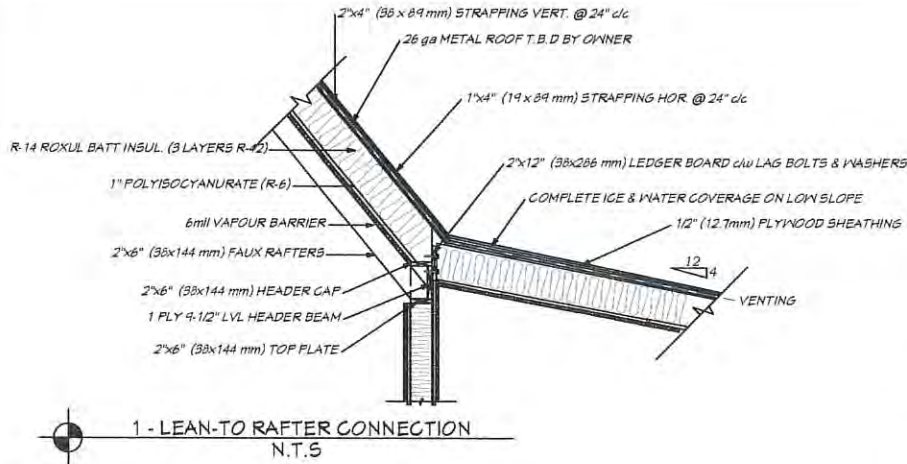
PROJECT DESCRIPTION:
RavenHouse OG + Bath

NO.	DESCRIPTION	BY	DATE

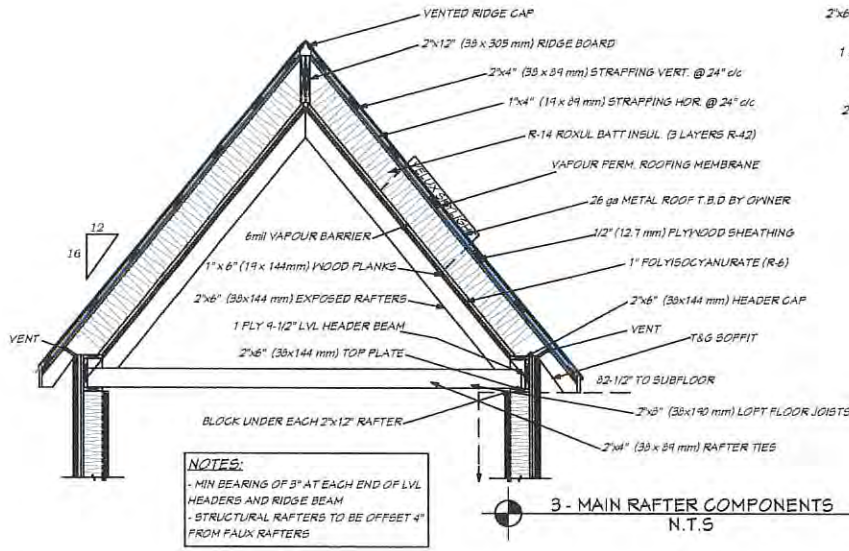
DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:
A-6



NOTES:
 - MIN BEARING OF 3" AT EACH END OF LVL HEADERS AND RIDGE BEAM
 - STRUCTURAL RAFTERS TO BE OFFSET 4" FROM FAUX RAFTERS



NOTES:
 - MIN BEARINGS OF 3" AT EACH END OF LVL HEADERS AND RIDGE BEAM
 - STRUCTURAL RAFTERS TO BE OFFSET 4" FROM FAUX RAFTERS

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RavenHouse Design
 ONTARIO, CA
 @ravenhouse.cabinco

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DRAFTING BY:
LightHouse
 Drafting & Design
 lighthousecabinco@gmail.com

SHEET TITLE
ROOF DETAILS

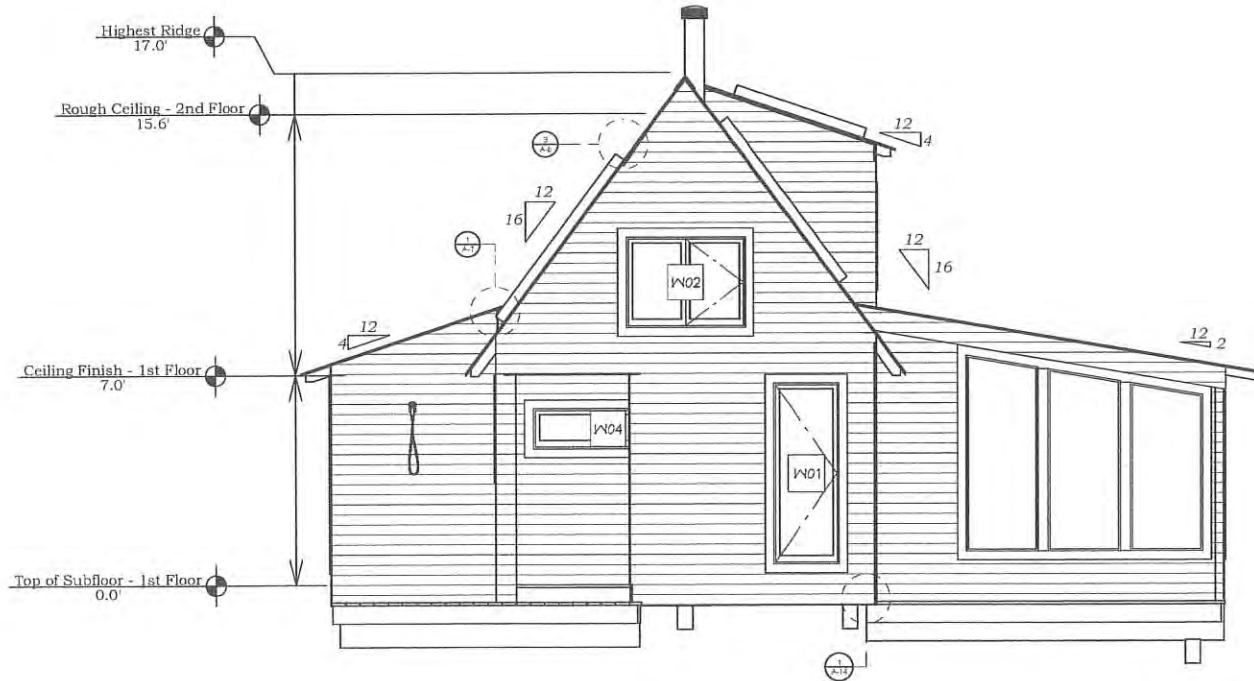
PROJECT DESCRIPTION
RavenHouse OG + Bath

NO	DESCRIPTION	DATE	BY

DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:
A-7



FRONT ELEVATION
 1/4" = 1'-0"

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DESIGN BY:

RavenHouse Design
 ONTARIO, CA
 @ravenhouse.cabinc0

DRAFTING BY:
Lighthouse Drafting & Design
 lighthousecabinco@gmail.com

SHEET TITLE
FRONT ELEVATION

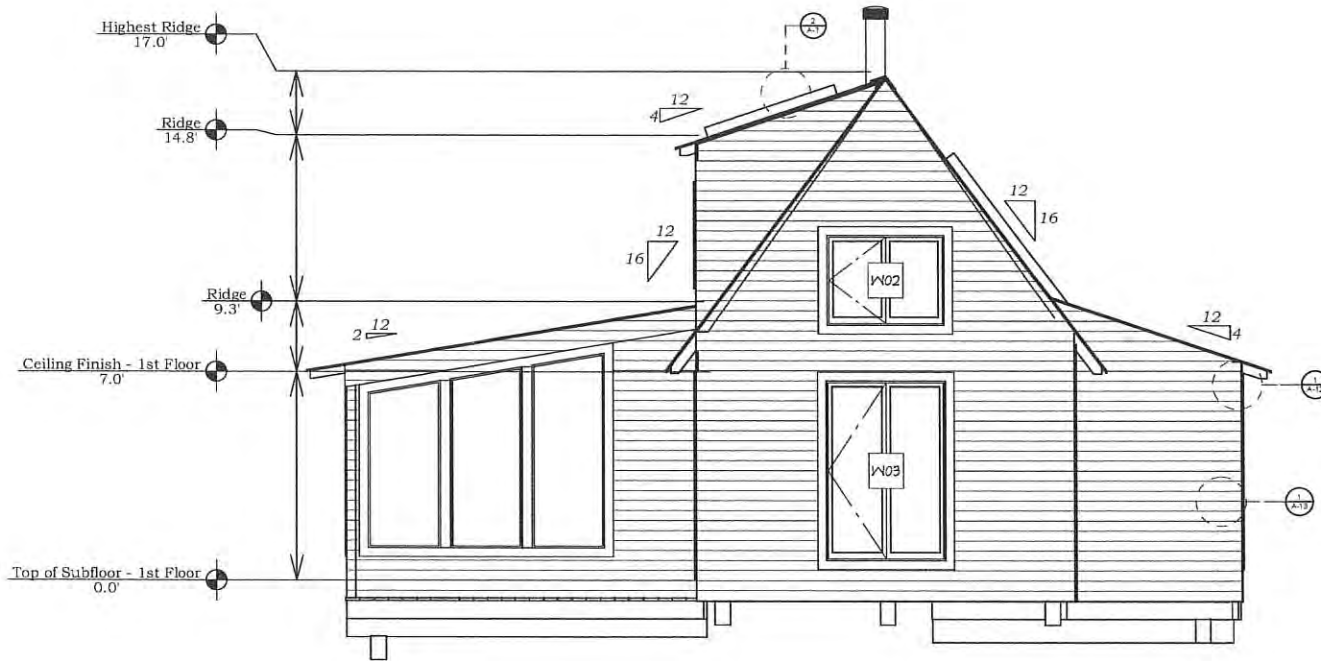
PROJECT DESCRIPTION:
RavenHouse OG + Bath

NO.	DESCRIPTION	BY	DATE

DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:
A-8



REAR ELEVATION
 1/4" = 1'-0"

DESIGN BY:

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 @ravenhouse.cabinco

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DRAFTING BY:
**Lighthouse
 Drafting & Design**
 lighthouse.drafting@gmail.com

SHEET TITLE
REAR ELEVATION

PROJECT DESCRIPTION
RavenHouse 06 + Bath

DATE	BY	DESCRIPTION

DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:

A-9



RIGHT ELEVATION
 1/4" = 1'-0"

DESIGN BY:

RavenHouse Design
 ONTARIO, CA
 @ravenhouse.cabico

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SHEET TITLE:
RIGHT ELEVATION

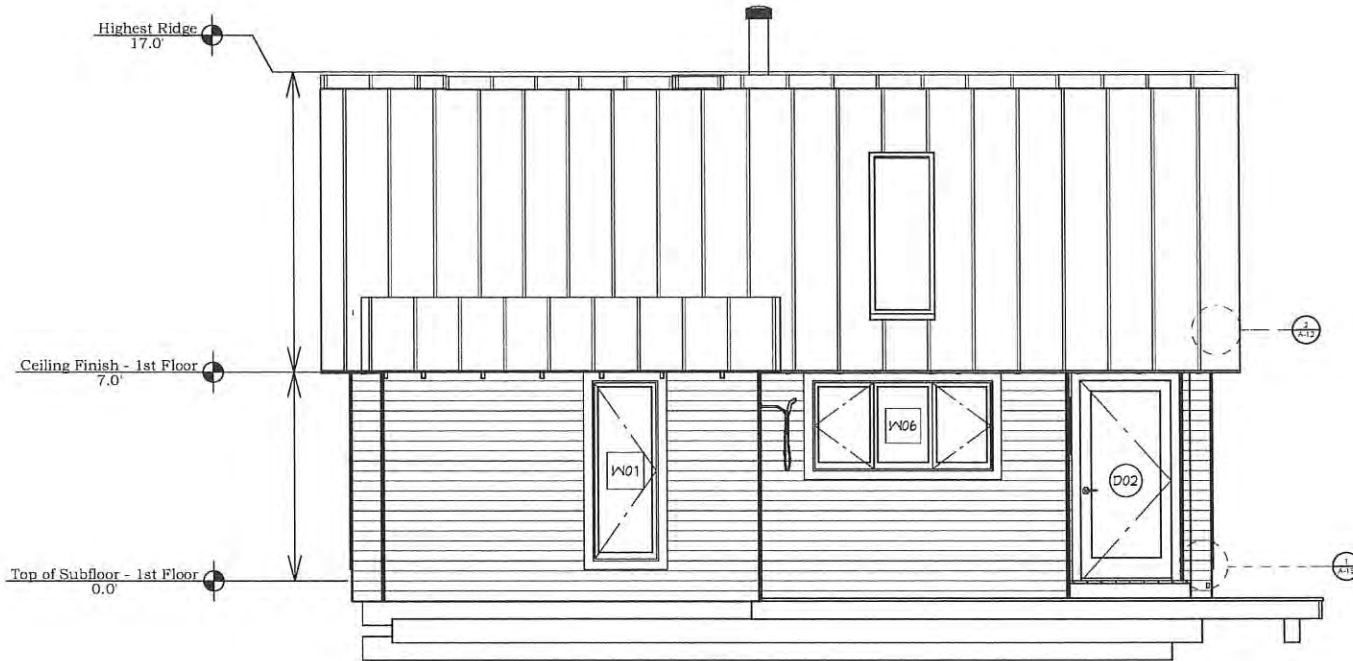
PROJECT DESCRIPTION:
RavenHouse OG + Bath

NO.	DESCRIPTION	BY	DATE

DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:
A-10



LEFT ELEVATION
 1/4" = 1'-0"

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SHEET TITLE:
 LEFT ELEVATION

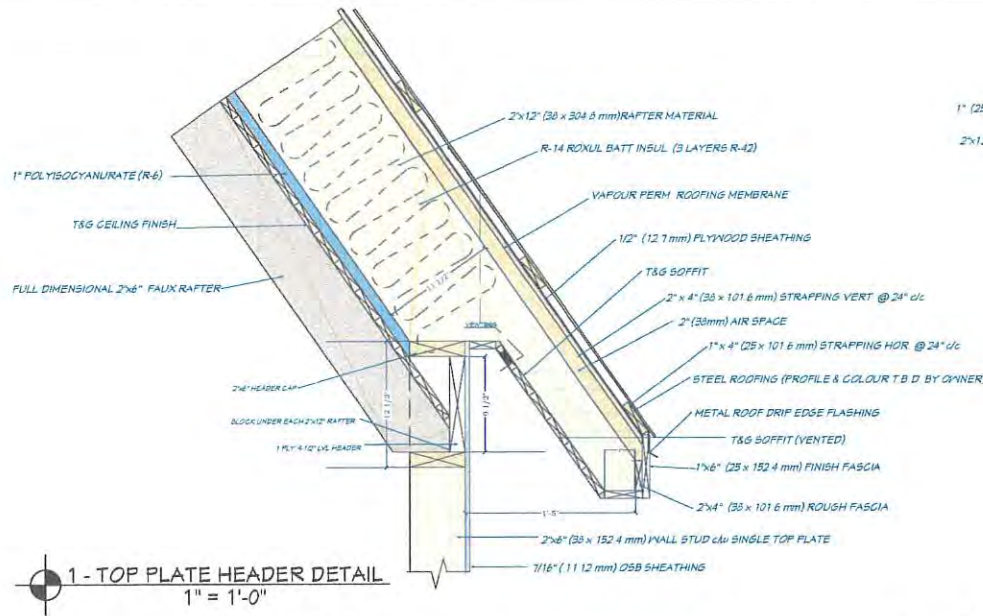
PROJECT DESCRIPTION:
 RavenHouse OG + Bath

NO.	DESCRIPTION	BY	DATE

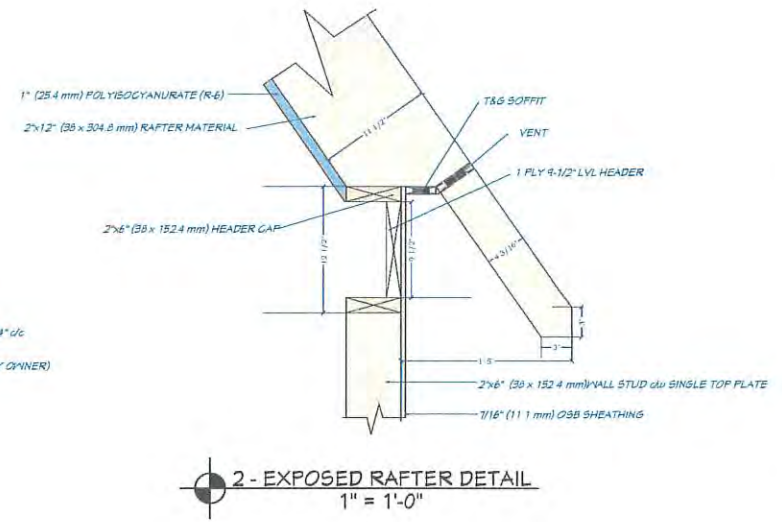
DATE:
 03-Oct-2022

SCALE:
 AS NOTED

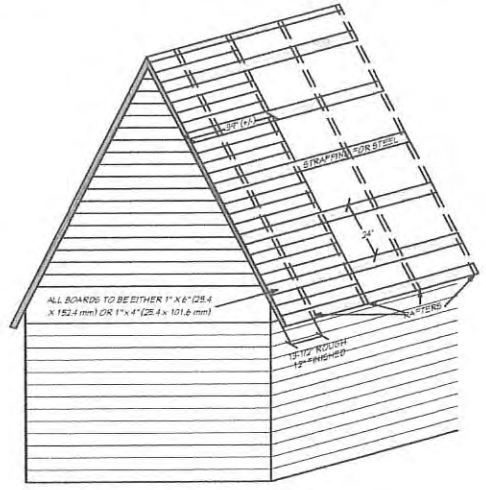
SHEET:
 A-11



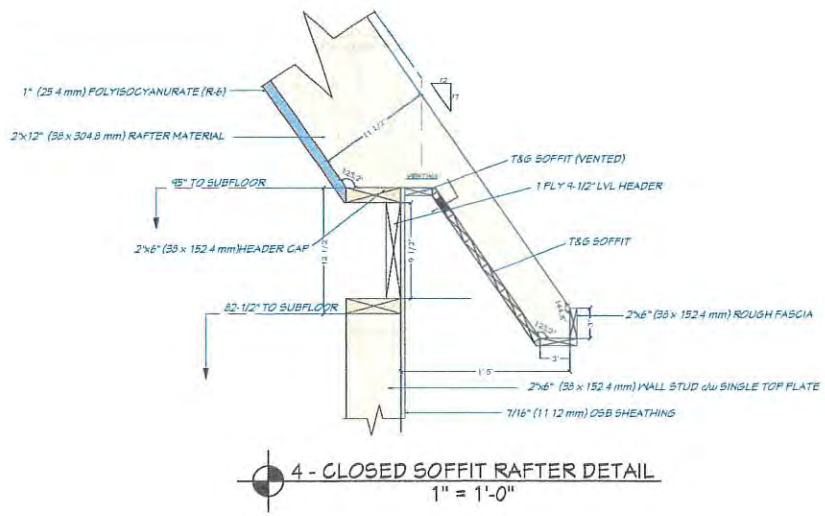
1 - TOP PLATE HEADER DETAIL
 1" = 1'-0"



2 - EXPOSED RAFTER DETAIL
 1" = 1'-0"



3 - ROOF OVERHANG DETAIL
 N.T.S



4 - CLOSED SOFFIT RAFTER DETAIL
 1" = 1'-0"

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 lighthousecad.com
 lighthousecad@gmail.com

SHEET TITLE:
RAFTER OPTION DETAILS

PROJECT DESCRIPTION:
RavenHouse OG + Bath

NO.	DESCRIPTION	BY	DATE

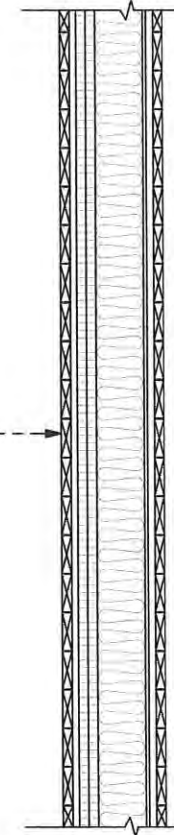
DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:
A-12

INTERIOR

1"x4" (19 x 89 mm) WALL PLANKS GAPPED 1/4"
 1" x 2" (19 x 38 mm) VERT. STRAPPING AT 24" c/c (609.6 mm)
 1/2" G.W.B FILLED & PAINTED BLACK
 6mil POLYETHYLENE VAPOUR BARRIER
 R-24 ROXUL BATT INSUL.
 2" x 6" (38 x 140 mm) STUDS AT 24" c/c (609.6 mm)
 7/16" OSB SHEATHING
 2" (50.8 mm) POLYISOCYANURATE (R-12)
 BLACK VAPOUR PERM AIR BARRIER
 1" x 2" (19 x 38 mm) VERT. STRAPPING AT 24" c/c (609.6 mm)
 TREATED 1"x4" (19 x 89 mm) SIDING GAPPED 1/4"



EXTERIOR

1 - TYPICAL WALL DETAIL
 N.T.S

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 ONTARIO, CA
 @ravenhouse.cabinco

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 lighthousecrafters@gmail.com

SHEET TITLE
 WALL DETAILS

PROJECT DESCRIPTION
 RavenHouse OG + Bath

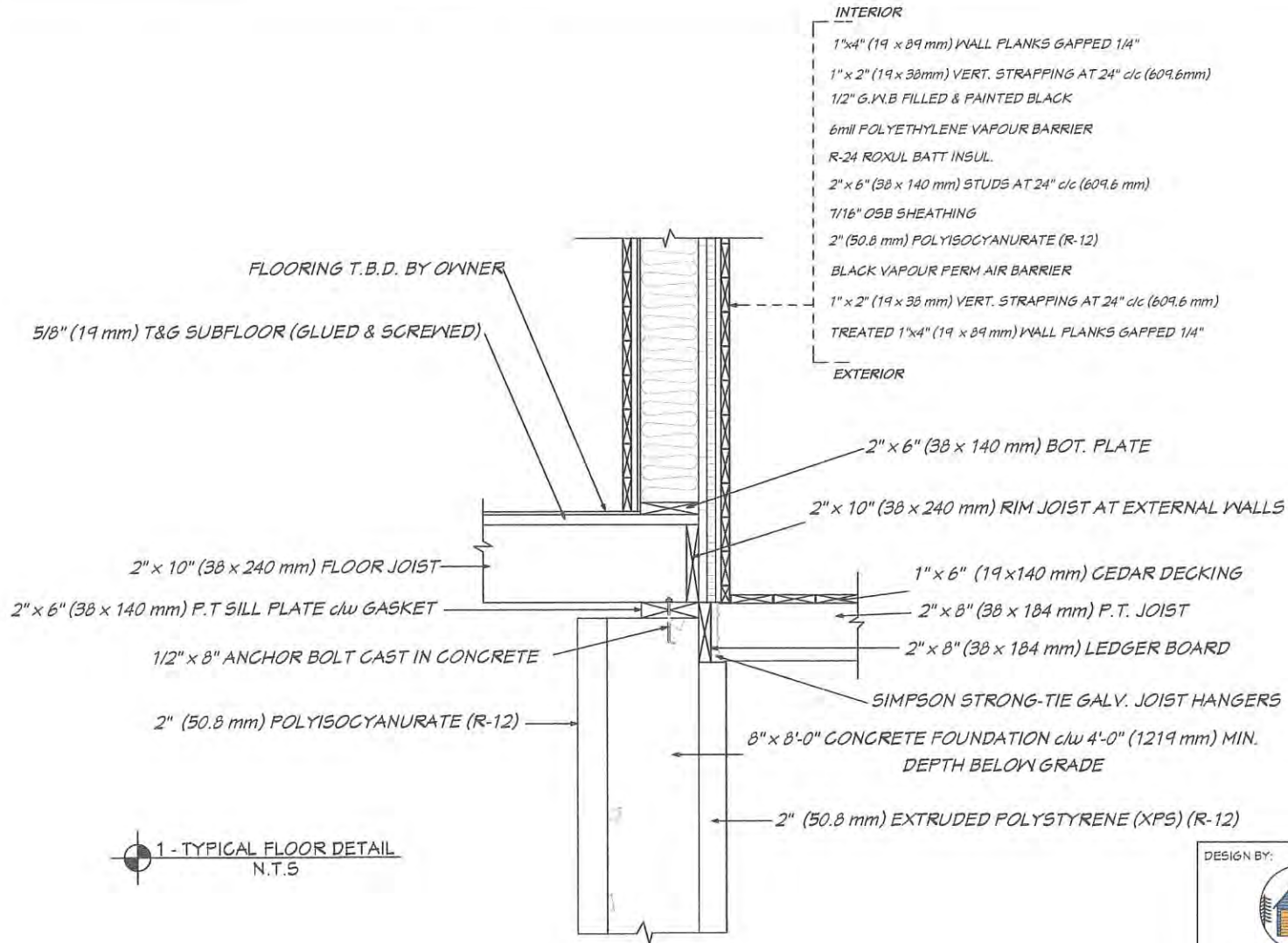
NO	DESCRIPTION	BY	DATE

DATE:
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SCALE:
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SHEET:
 A-13

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1 - TYPICAL FLOOR DETAIL
 N.T.S

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SHEET TITLE:
 FLOOR DETAILS

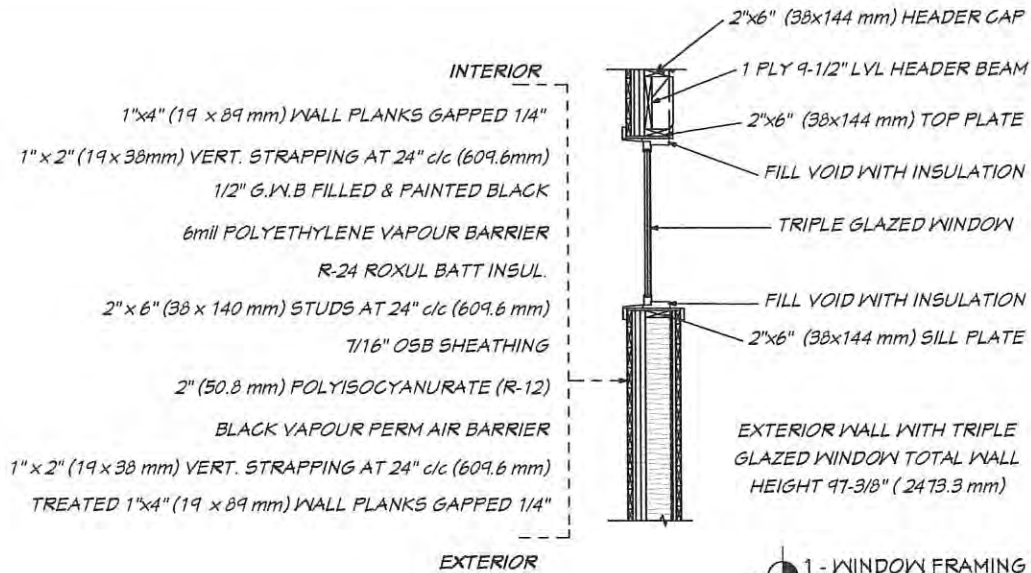
PROJECT DESCRIPTION:
 Ravenhouse OG + Bath

NO.	DESCRIPTION	DATE

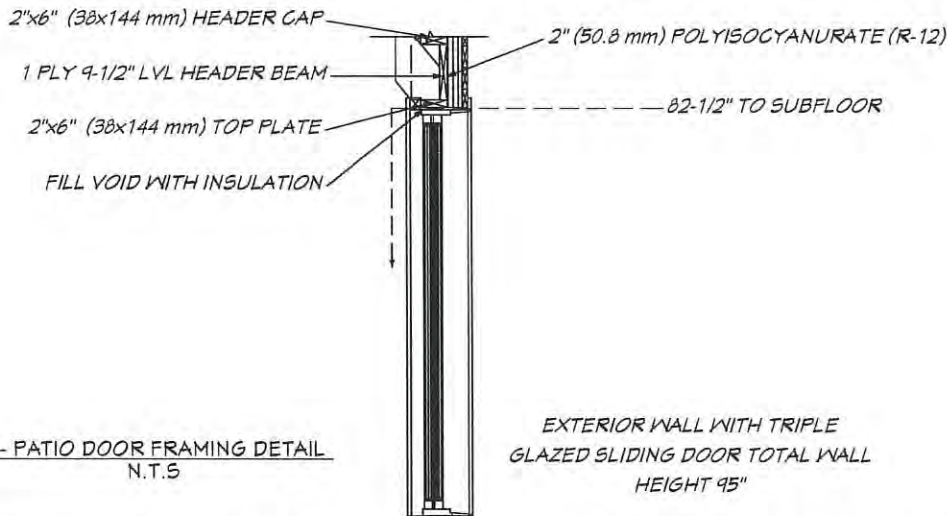
DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:
A-14



1 - WINDOW FRAMING DETAIL
 N.T.S



2 - PATIO DOOR FRAMING DETAIL
 N.T.S

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SHEET TITLE:
 WINDOW, DOOR & FLASHING
 DETAILS

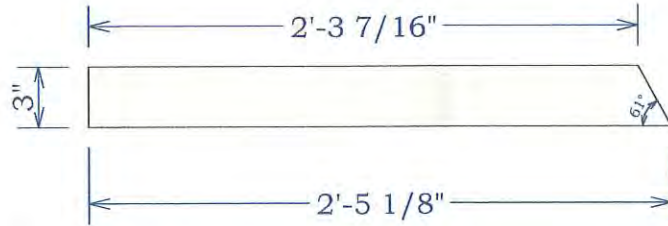
PROJECT DESCRIPTION:
 RavenHouse OG + Bath

NO	DESCRIPTION	BY	DATE

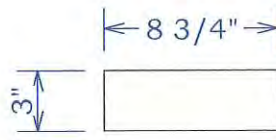
DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:
A-15

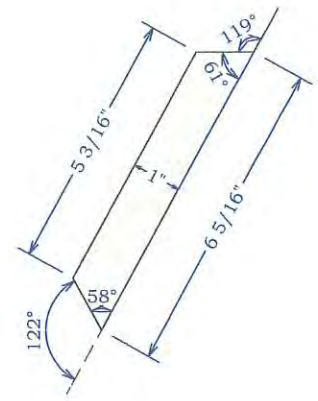


1 - STAIR UPPER LANDING DETAIL
 2" = 1'-0"

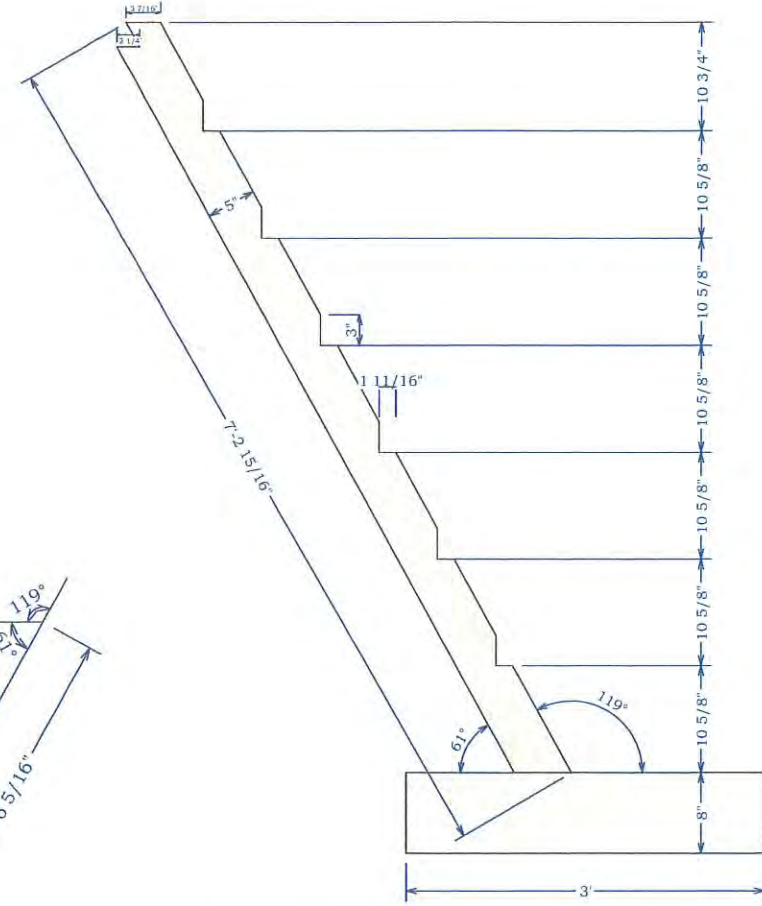


2 - STAIR TREAD DETAIL
 2" = 1'-0"

3 - STAIR STRUT DETAIL
 5" = 1'-0"



4 - STAIR STRINGER DETAIL
 1" = 1'-0"



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SHEET TITLE
STAIR COMPONENT DETAILS

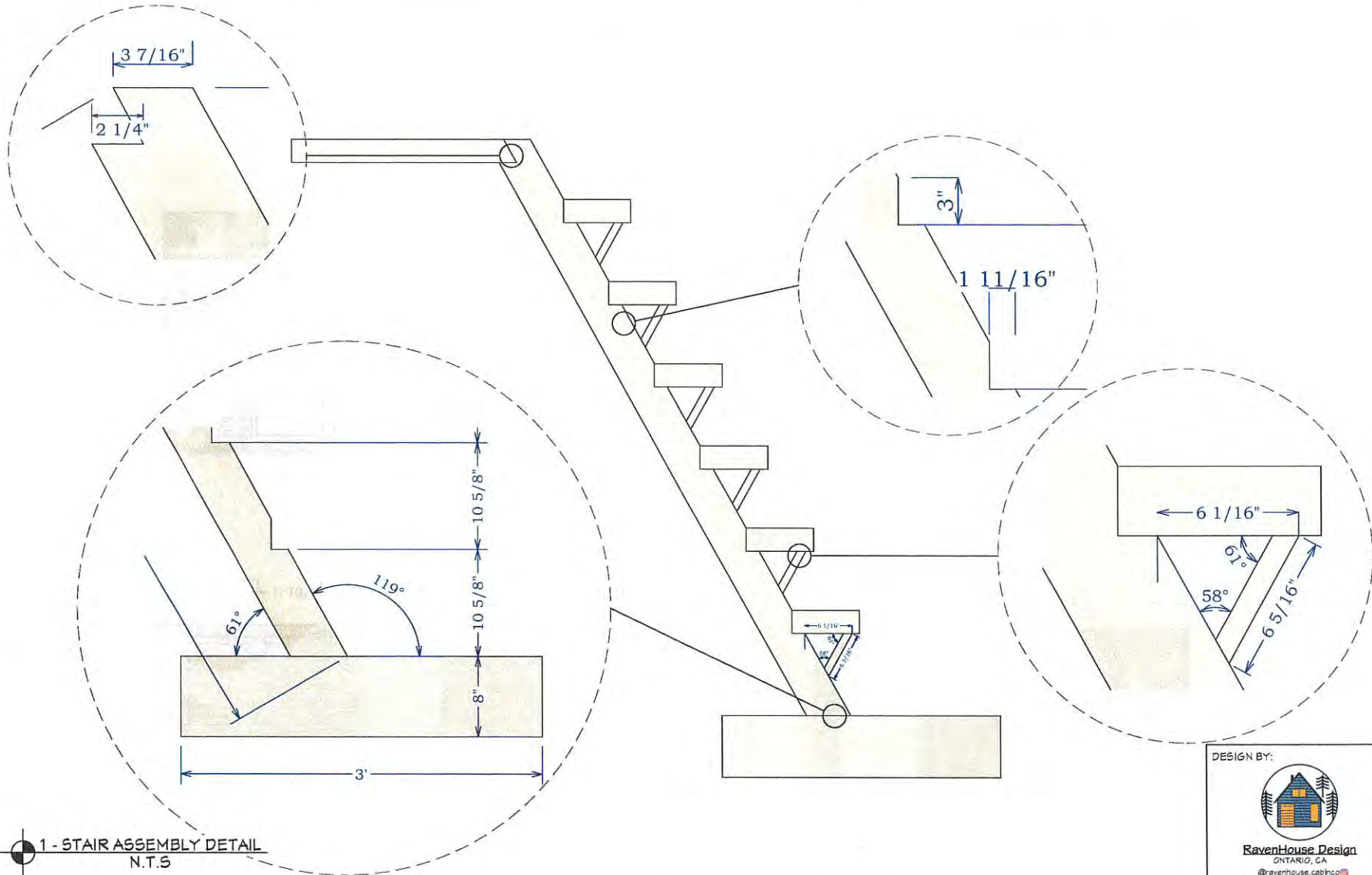
PROJECT DESCRIPTION:
RavenHouse OG + Bath

NO.	DESCRIPTION	BY	DATE

DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:
A-16



1 - STAIR ASSEMBLY DETAIL
 N.T.S

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SHEET TITLE:
STAIR ASSEMBLY DETAILS

PROJECT DESCRIPTION:
RavenHouse OG + Bath

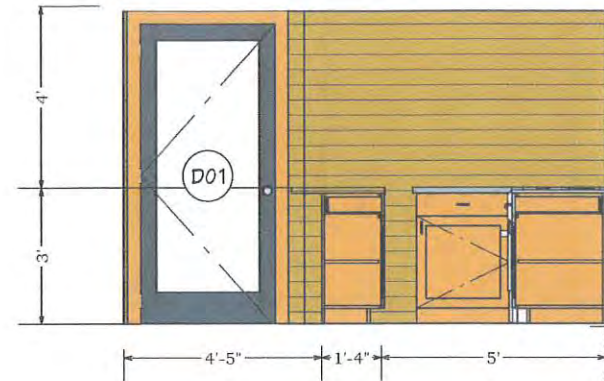
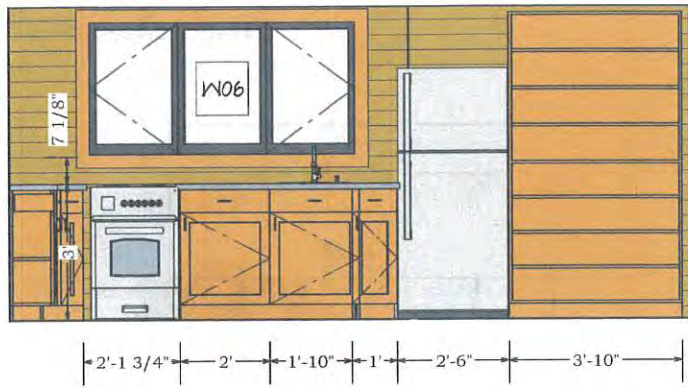
NO.	DESCRIPTION	BY	DATE

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SHEET:
A-17

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1- E12
 $\frac{3}{8}'' = 1'-0''$

2- E13
 $\frac{3}{8}'' = 1'-0''$



3- E14
 $\frac{3}{8}'' = 1'-0''$

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 ONTARIO, CA
 @ravenhouse.cabnico

DRAFTING BY:
Lighthouse Drafting & Design
 lighthousedrafting@gmail.com

SHEET TITLE:
KITCHEN & BATH ELEVATIONS

PROJECT DESCRIPTION:
RavenHouse OG + Bath

NO.	DESCRIPTION	BY	DATE

DATE:
 03-Oct-2022

SCALE:
 AS NOTED

SHEET:
A-18



MATANUSKA-SUSITNA BOROUGH

Real Property Detail for Account: 217N04W32B022

Site Information

Account Number	217N04W32B022	Subdivision	
Parcel ID	44784	City	None
TRS	S17N04W32	Map LS15	Tax Map
Abbreviated Description (Not for Conveyance)	TOWNSHIP 17N RANGE 4W SECTION 32 LOT B22		

Ownership

Owners	KENNARD RICHARD W & SHIRL	Buyers	
Primary Owner's Address	2085 CLIFFSIDE DR ANCHORAGE AK 99501-5715	Primary Buyer's Address	

Appraisal Information

Appraisal Information				Assessment			
Year	Land Appraised	Bldg. Appraised	Total Appraised	Year	Land Assessed	Bldg. Assessed	Total Assessed ¹
2025	\$39,800.00	\$8,600.00	\$48,400.00	2025	\$39,800.00	\$8,600.00	\$48,400.00
2024	\$39,800.00	\$8,200.00	\$48,000.00	2024	\$39,800.00	\$8,200.00	\$48,000.00
2023	\$39,800.00	\$6,200.00	\$46,000.00	2023	\$39,800.00	\$6,200.00	\$46,000.00

Building Information

Structure 1 of 1			
Residential Units	1	Use	Residential Building
Condition	Standard	Design	Cabin
Basement	None	Construction Type	Frame
Year Built		1974 Grade	1220 - Cabin
Foundation	Concrete Piers	Well	
Septic			

Building Item Details

Building Number	Description	Area	Percent Complete
1	First Story	280 Sq. Ft.	100%
1	Propane Heat	1 Sq. Ft.	50%

Tax/Billing Information

Year	Certified	Zone	Mill	Tax Billed
2025	Yes	0034	11.843	\$573.20
2024	Yes	0034	11.928	\$572.54
2023	Yes	0034	11.249	\$517.46

Recorded Documents

Date	Type
7/16/2025	TRANSFER ON DEATH
8/25/1988	QUITCLAIM DEED (ALL TYPE)
9/16/1981	Patent

Recording Info (offsite link to DNR)

[Palmer 2025-012852-0](#)
[Palmer Bk: 559 Pg: 155](#)
[Palmer Bk: 243 Pg: 993](#)

Tax Account Status ²

Status	Tax Balance	Farm	Disabled Veteran	Senior	Total ³	LID Exists
Current	(\$35.42)		\$0.00	\$0.00	\$0.00	\$0.00 No

Land and Miscellaneous

Gross Acreage	Taxable Acreage	Assembly District	Precinct	Fire Service Area	Road Service Area
4.94	4.94	Assembly District 005	30-555	900 No Fire Service	021 Big Lake RSA

¹ Total Assessed is net of exemptions and deferrals, rest, penalties, and other charges posted after Last Update Date are not reflected in balances.

² If account is in foreclosure, payment must be in certified funds.

³ If you reside within the city limits of Palmer or Houston, your exemption amount may be different.

Last Updated: 9/4/2025 1:00:01 PM

Not Subdivided



Joins Sheet No. 3

Joins Sheet No. 5

PLAT OF
CASWELL
 SUBDIVISION

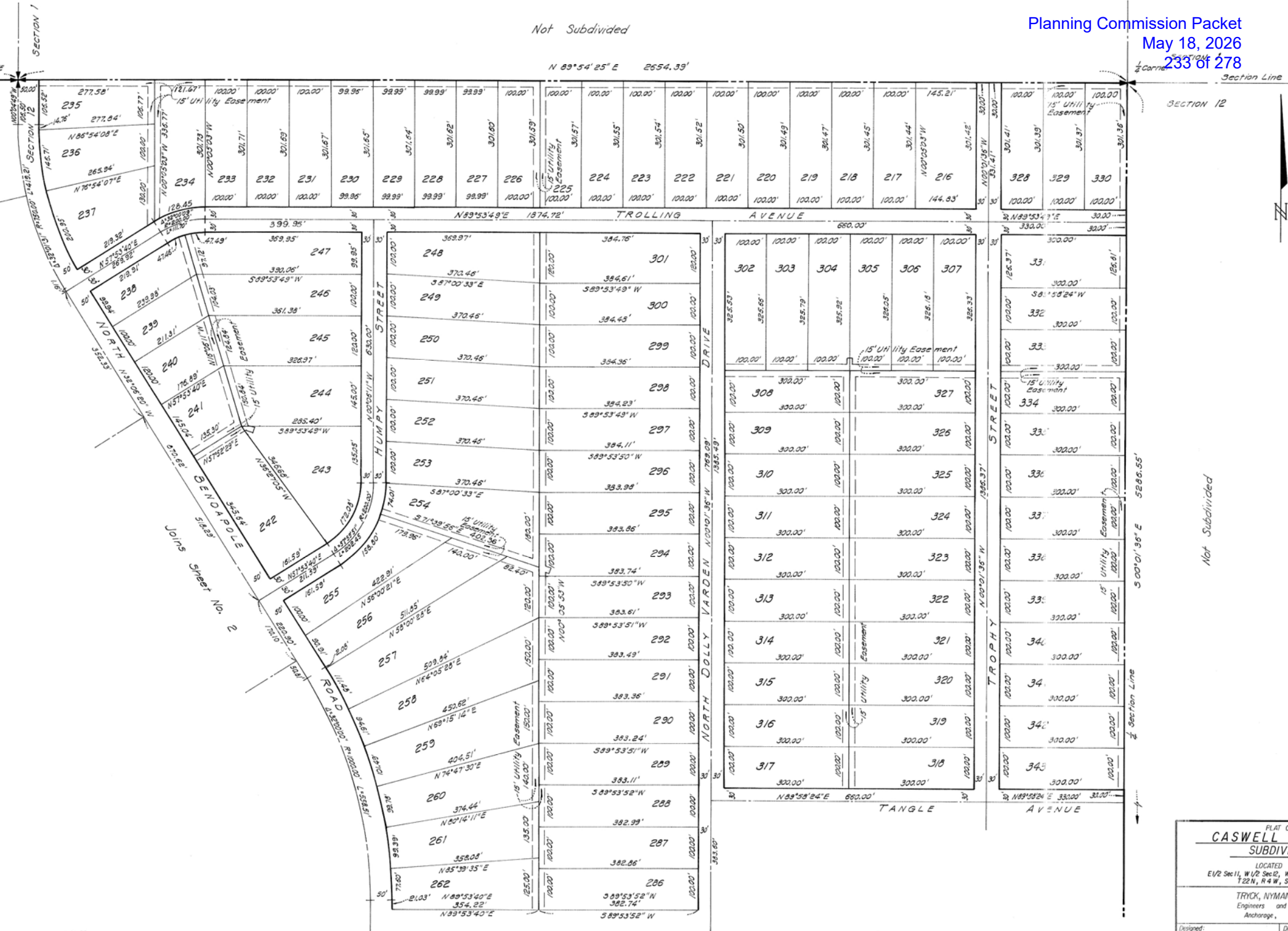
LOCATED IN
 E1/2 Sec 11, W1/2 Sec 12, W1/2
 T 22 N, R 4 W, S. M.

TRYCK, NYMAN &
 Engineers and
 Anchorage,

Designed: _____ Date: _____
 Drawn: Jerry Magnuson TNN File
 Checked: Joe Hayes

Not Subdivided

N 89°54'25" E 2654.39'



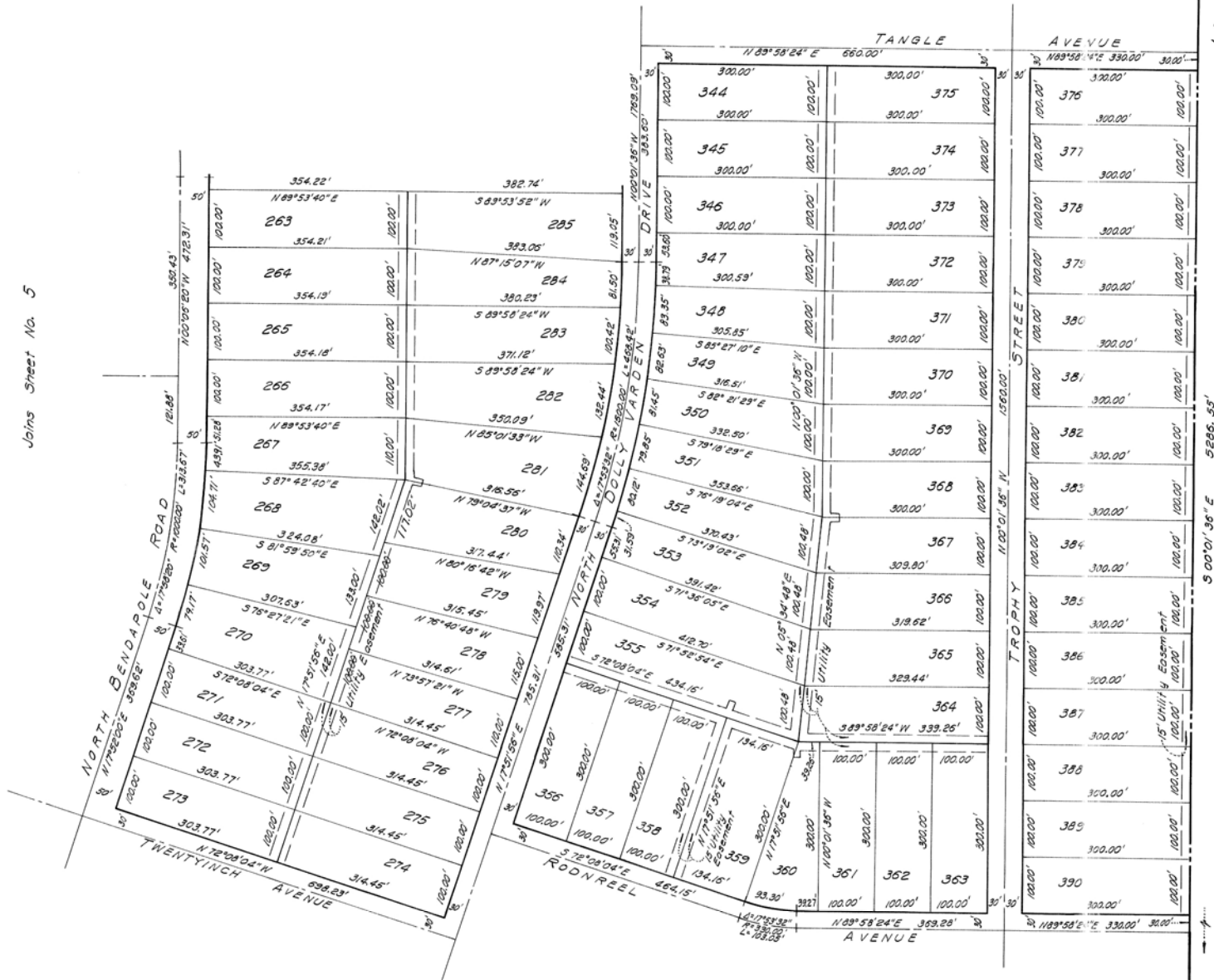
SECTION 12

Not Subdivided

Joins Sheet No. 4

PLAT OF
CASWELL
 SUBDIVISION
 LOCATED IN
 E1/2 Sec 11, W1/2 Sec 12, W1/2
 T22N, R4W, S14M
 TRYCK, NYMAN &
 Engineers and
 Anchorage,
 Date: _____
 Drawn: Jerry Rogucka
 Checked: Joe Hayes

Joins Sheet No. 3



Joins Sheet No. 5

Joins Sheet No. 8

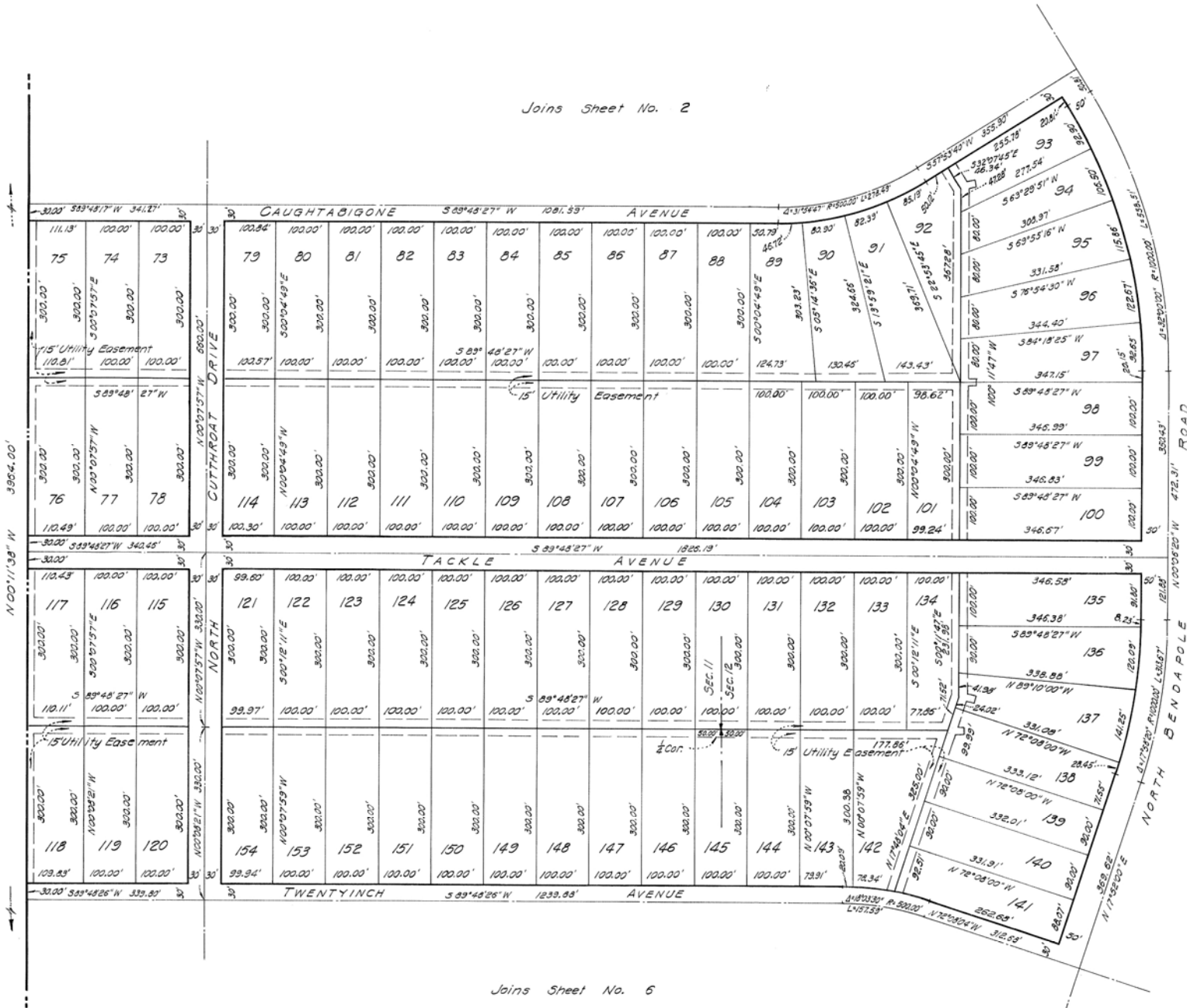
Not Subdivided

PLAT OF
CASWELL
 SUBDIVISION
 LOCATED IN
 E/2 Sec 11, W/2 Sec 12, W/2
 T22N, R 4 W, S.M.,

TRYCK, NYMAN &
 Engineers and S
 Anchorage,

Designed: _____ Date: _____
 Drawn: Jerry Abuska TRM File
 Checked: vic Hayes

Joins Sheet No. 2



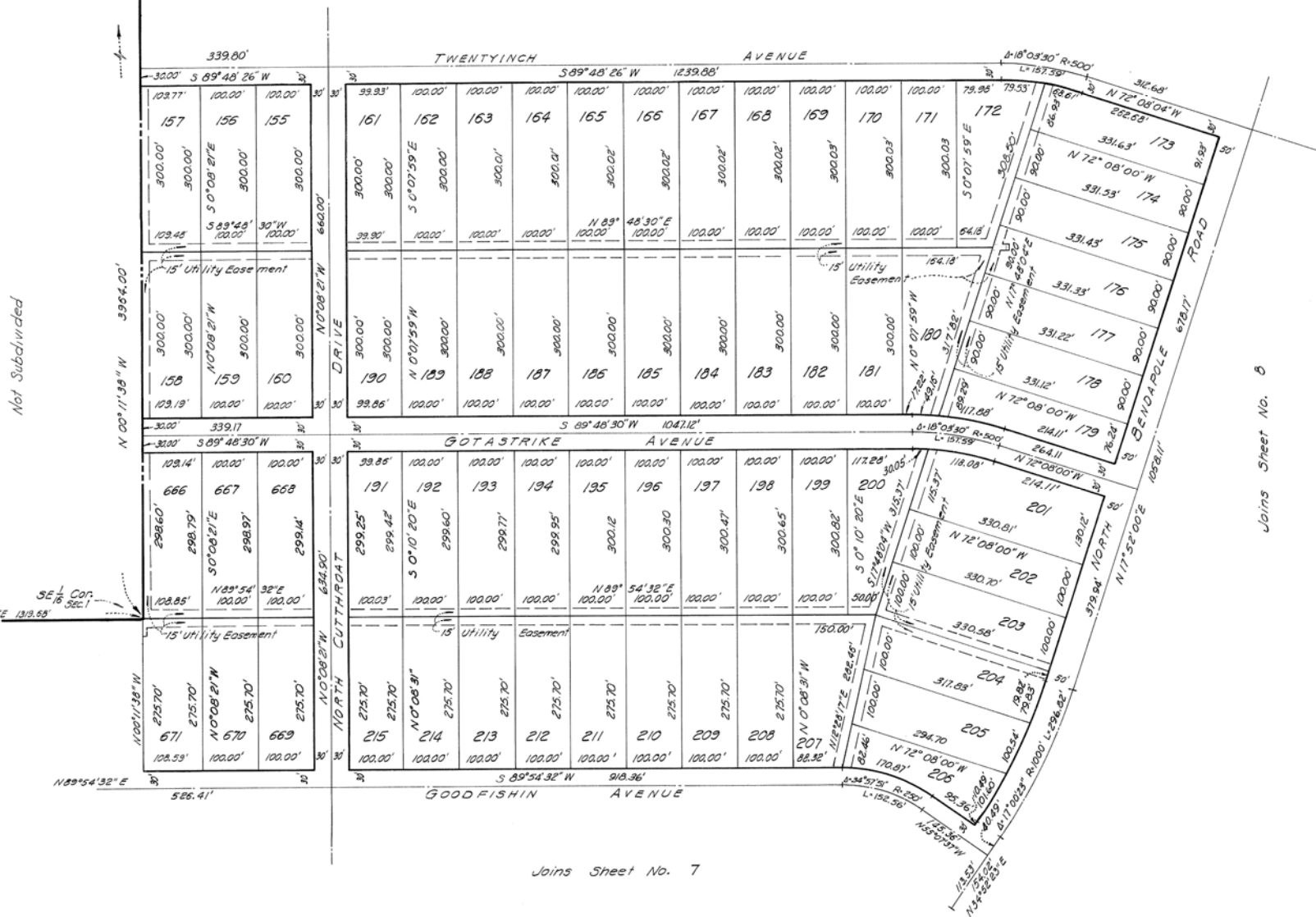
Joins Sheet No. 4

Joins Sheet No. 6

Not Subdivided

PLAT OF
CASWELL
 SUBDIVISION
 LOCATED IN
 E/2 Sec 11, W/2 Sec 12, W/2
 T22N, R4W, S.M.,
 TRICK, NYMAN &
 Engineers and
 Anchorage,
 Licensed: Date:
 Drawn: Jerry Augustka TNA
 Checked: Joe Hayes

Joins Sheet No. 5

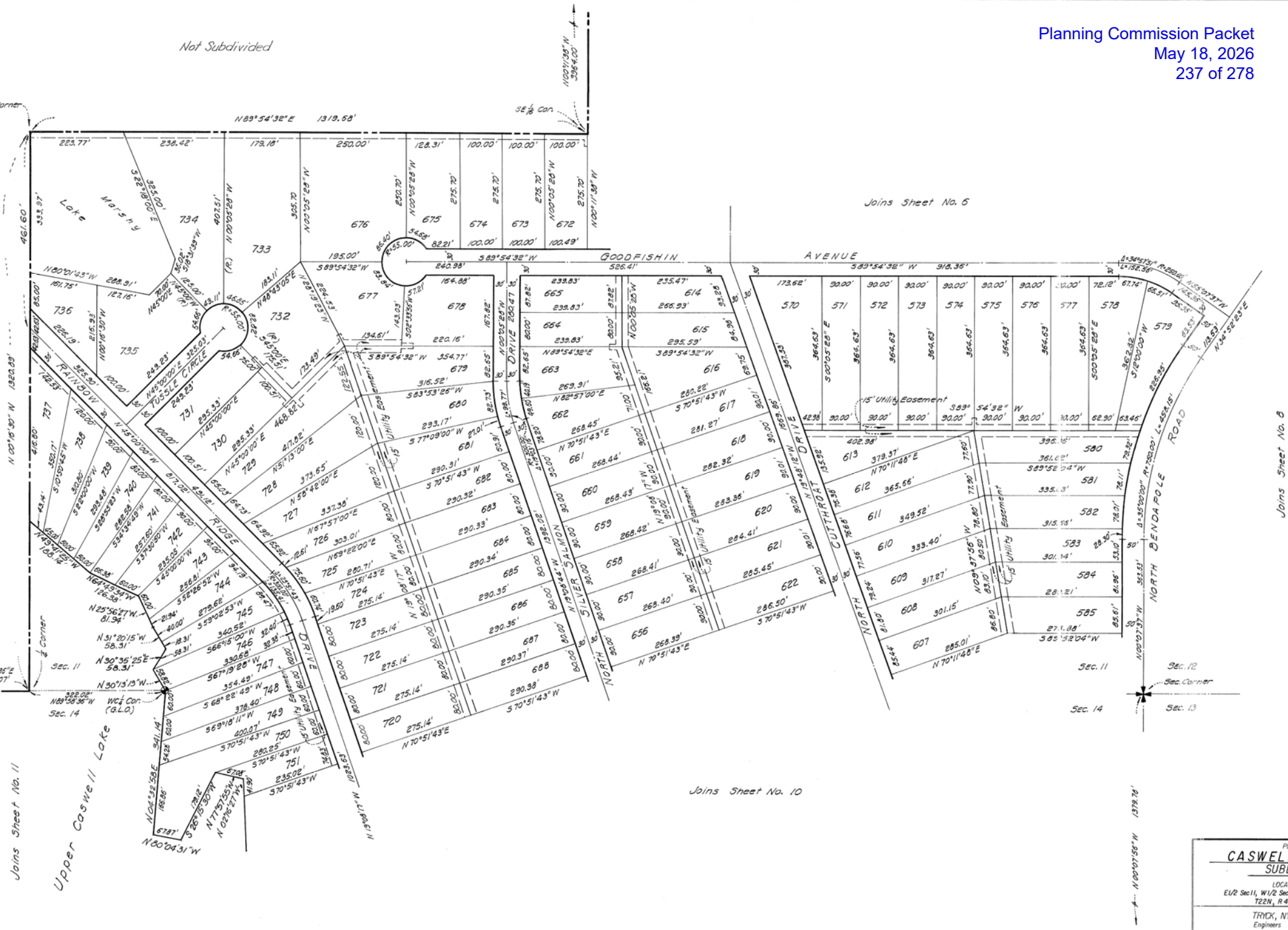


Joins Sheet No. 7

Joins Sheet No. 6

PLAT OF CASWELL SUBDIVISION	
LOCATED E1/2 Sec 11, W1/2 Sec 12, W1/2 T22N, R 4 W, S 8 N	
TRYCK, NYMAN Engineers and Anchorage,	
Designed:	Date:
Drawn: Jerry Magwaka	TUH
Checked: Joe Hayes	

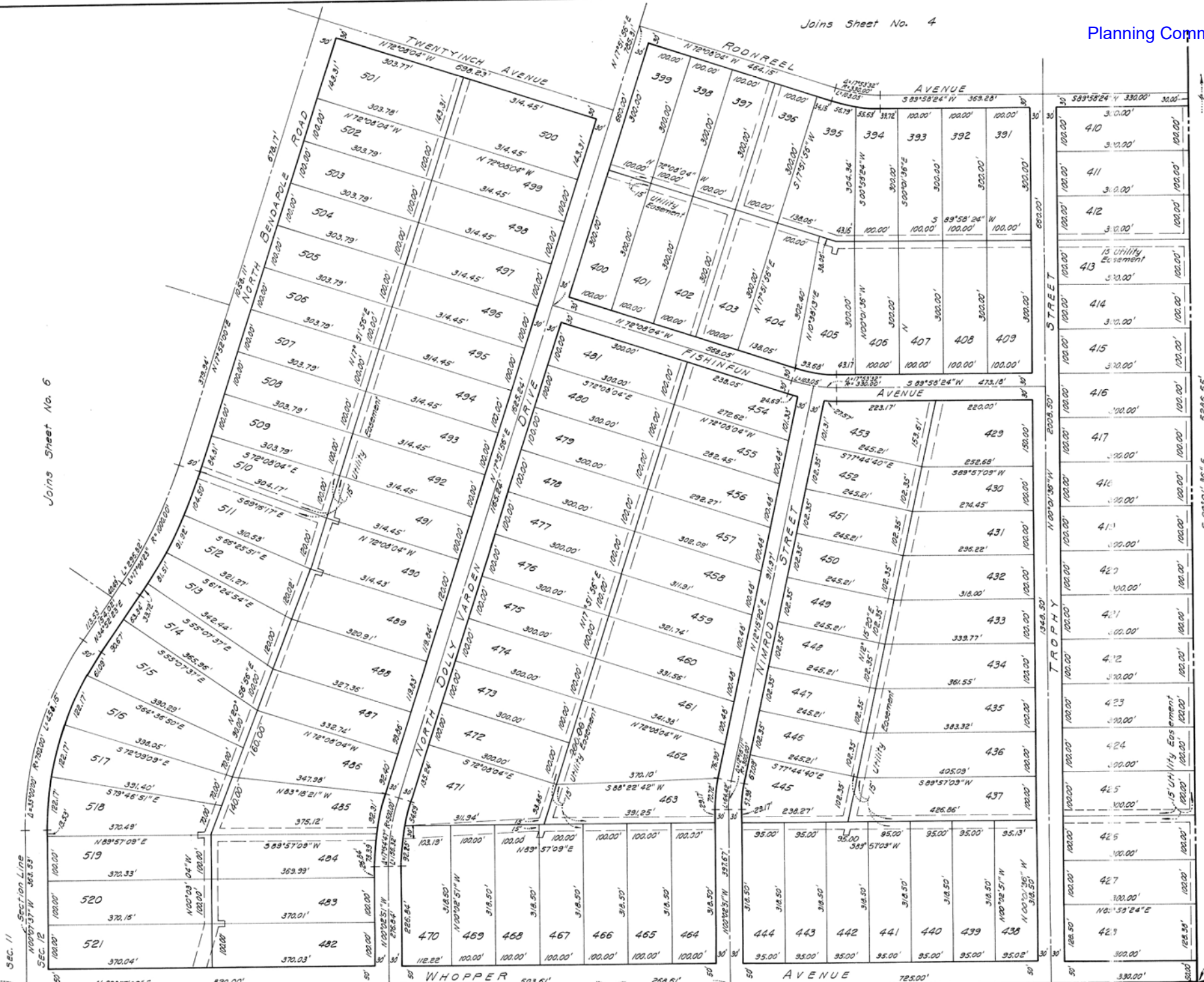
Not Subdivided



PLAT OF
CASWELL
 SUBDIVISION
 LOCATED
 E1/2 Sec. 11, W1/2 Sec. 12, W1/4
 T22N, R4W, S. 5M.
 TRUCK, NYMAN &
 Engineers and
 Anchorage,
 Date: _____
 Drawn: Jerry Rygueta T.N.H.
 Checked: Joe Hayes

Revision No. 1 (11-13-67) Corrected bearing on line common to Lots 743 and 744.

Joins Sheet No. 6



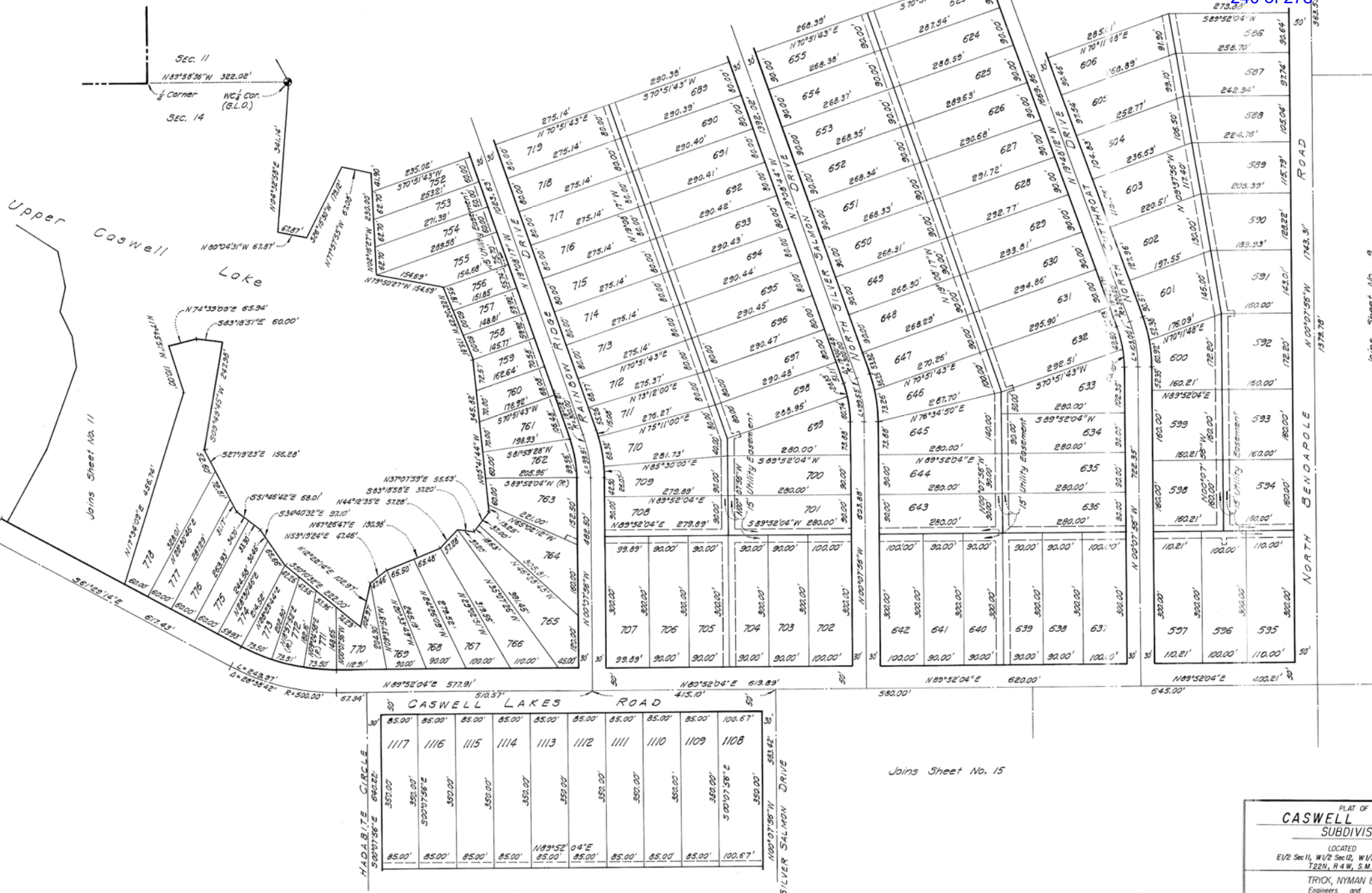
Not Subdivided



PLAT OF
CASWELL
SUBDIVISION
LOCATED
E/2 Sec 11, W/2 Sec 12, W/2
T22N, R4 W, S. 12

TRYCK, NYMAN
Engineers and
Anchorage

Drawn: Jerry Aguado
Checked: Joe Mayer



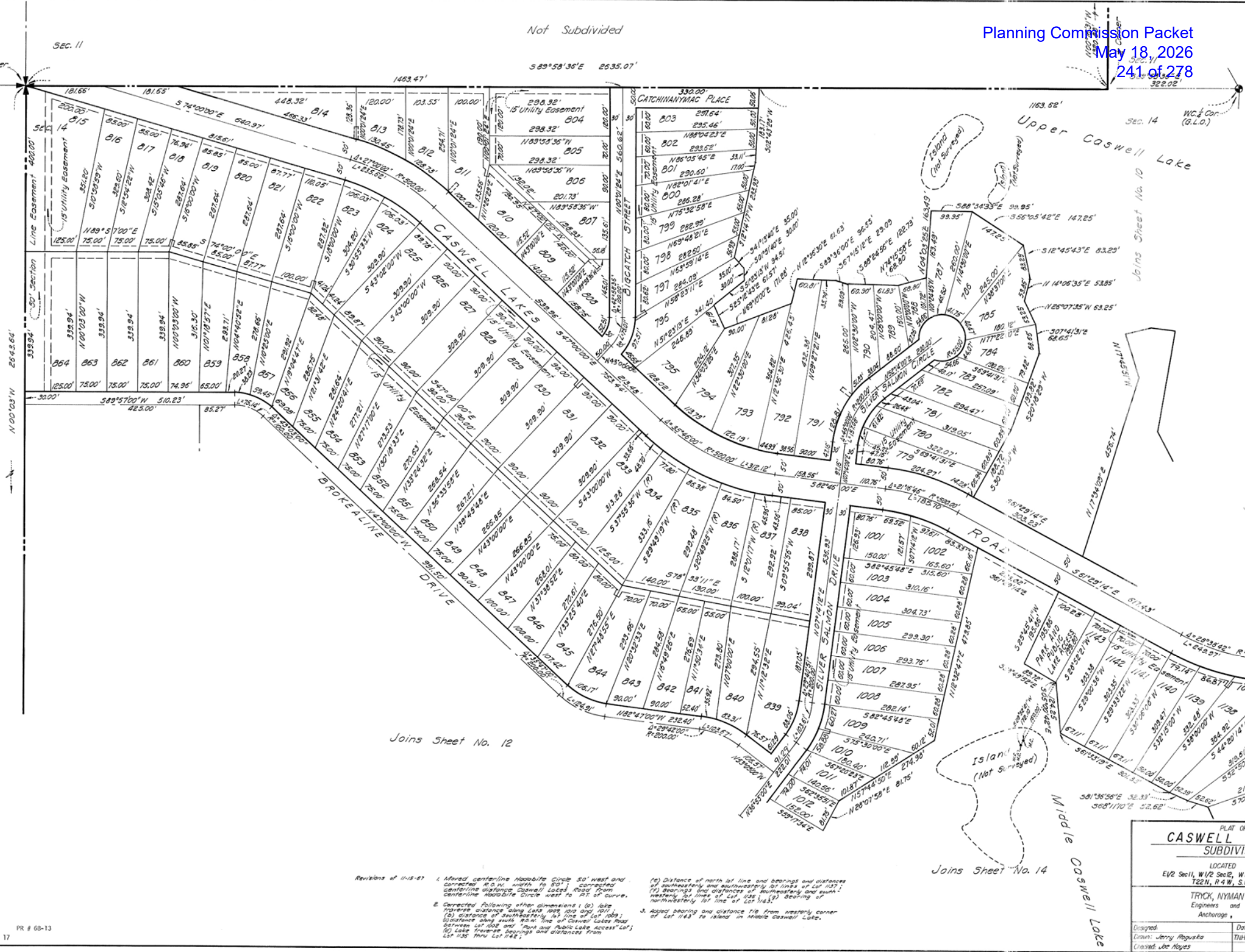
10
15

Sec. 11

Not Subdivided

Planning Commission Packet
May 18, 2026
241 of 278

Not Subdivided



Revisions of 11-15-87

- Moved centerline Hobbit Circle 50' west and corrected R.O.W. width to 50'; corrected centerline distance Caswell Lakes Road from centerline Hobbit Circle west to RT of curve.
- Corrected following other dimensions: (a) lake traverse distance along lake 100, 100 and 101; (b) distance of southeasterly lot line of lot 100; distance along south R.O.W. line of Caswell Lakes Road between lot 100 and "Point of Plane Lake Access" lot; (c) lake traverse bearings and distances from lot 100 thru lot 104;

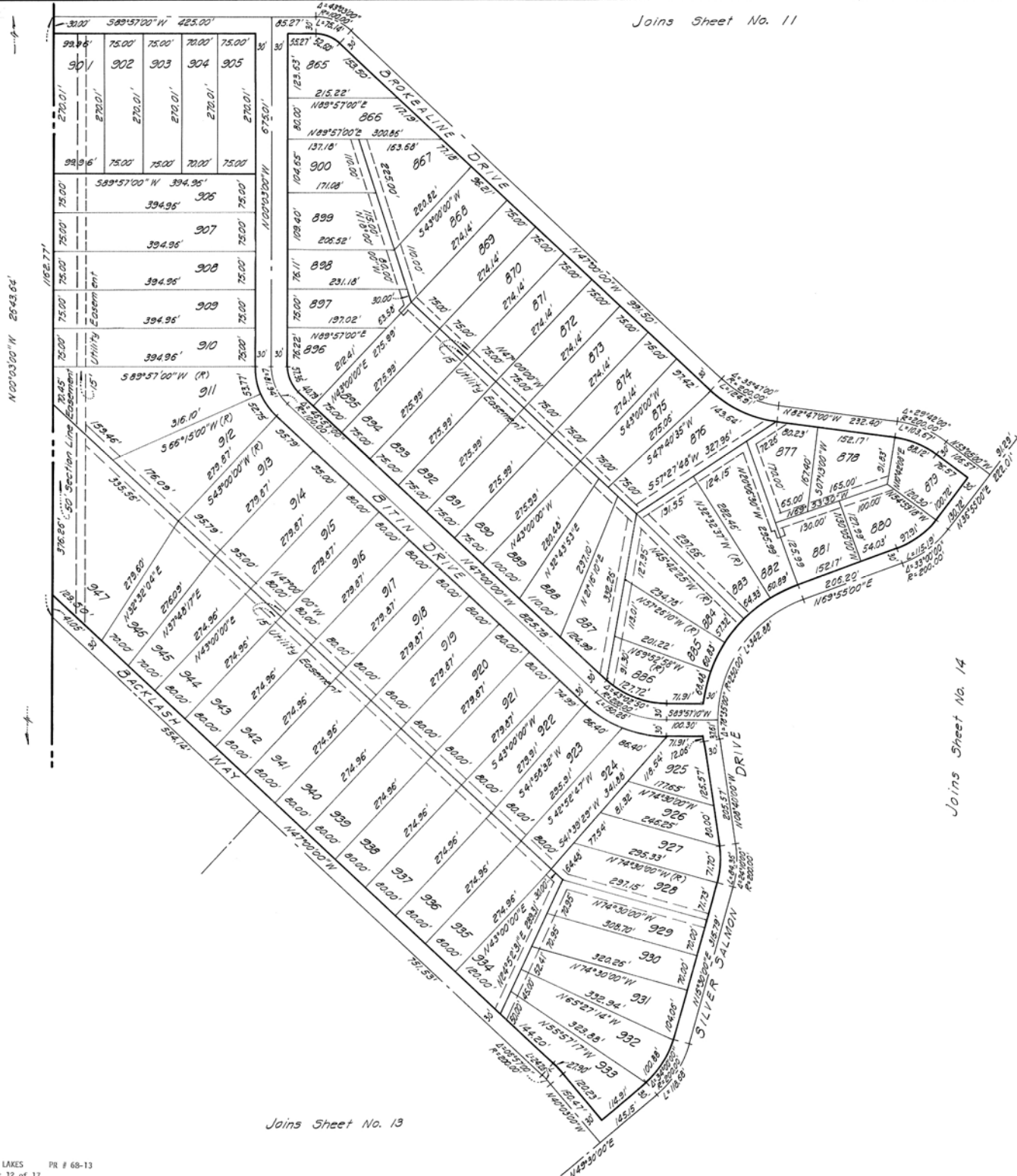
- (a) Distance of north of line and bearings and distances of southeasterly and westerly lot lines of lot 103; (b) bearings and distances of southeasterly and westerly lot lines of lot 104; (c) bearing of northwesterly lot line of lot 103;

- Agreed bearing and distance file from westerly corner of lot 103 to island in Caswell Lake.

PLAT OF
CASWELL SUBDIVISION
LOCATED
E1/2 Sec 11, W1/2 Sec 12, W1/2
T22N, R4W, S1M

TRYCK, NYMAN &
Engineers and
Architects

Designed: _____ Date: _____
Drawn: Jerry Roguska THP.F.
Checked: Joe Hayes



Joins Sheet No. 13

Joins Sheet No. 14

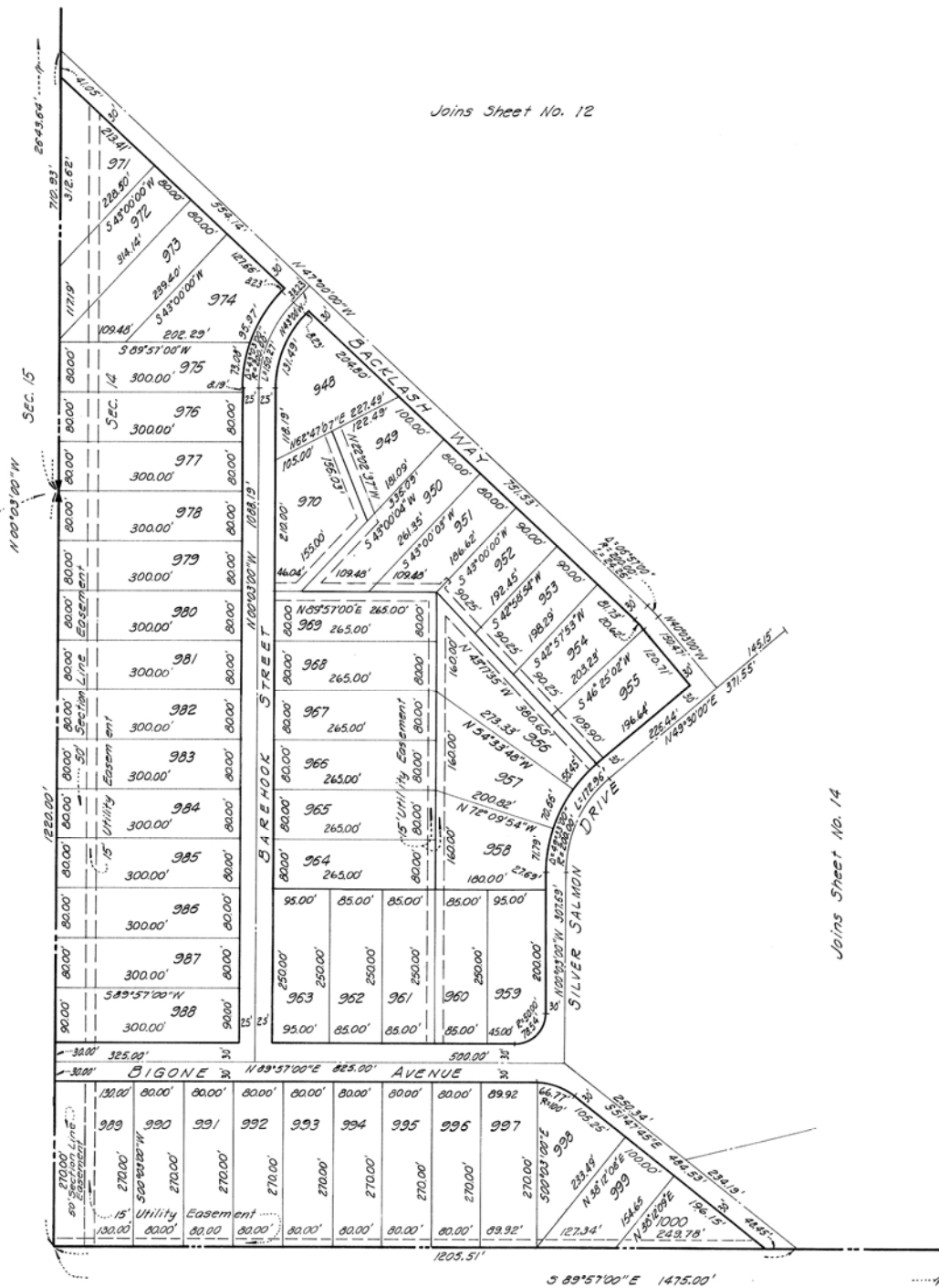
PLAT OF
CASWELL
SUBDIVISION

LOCATED IN
E1/2 Sec 11, W1/2 Sec 12, W1/2
T22N, R4W, S.M.

TRYCK, NYMAN &
Engineers and
Anchorage,

Designed: _____ Date: _____
Drawn: Jerry Rogusko TNH F
Checked: Joe Hayes

Joins Sheet No. 12

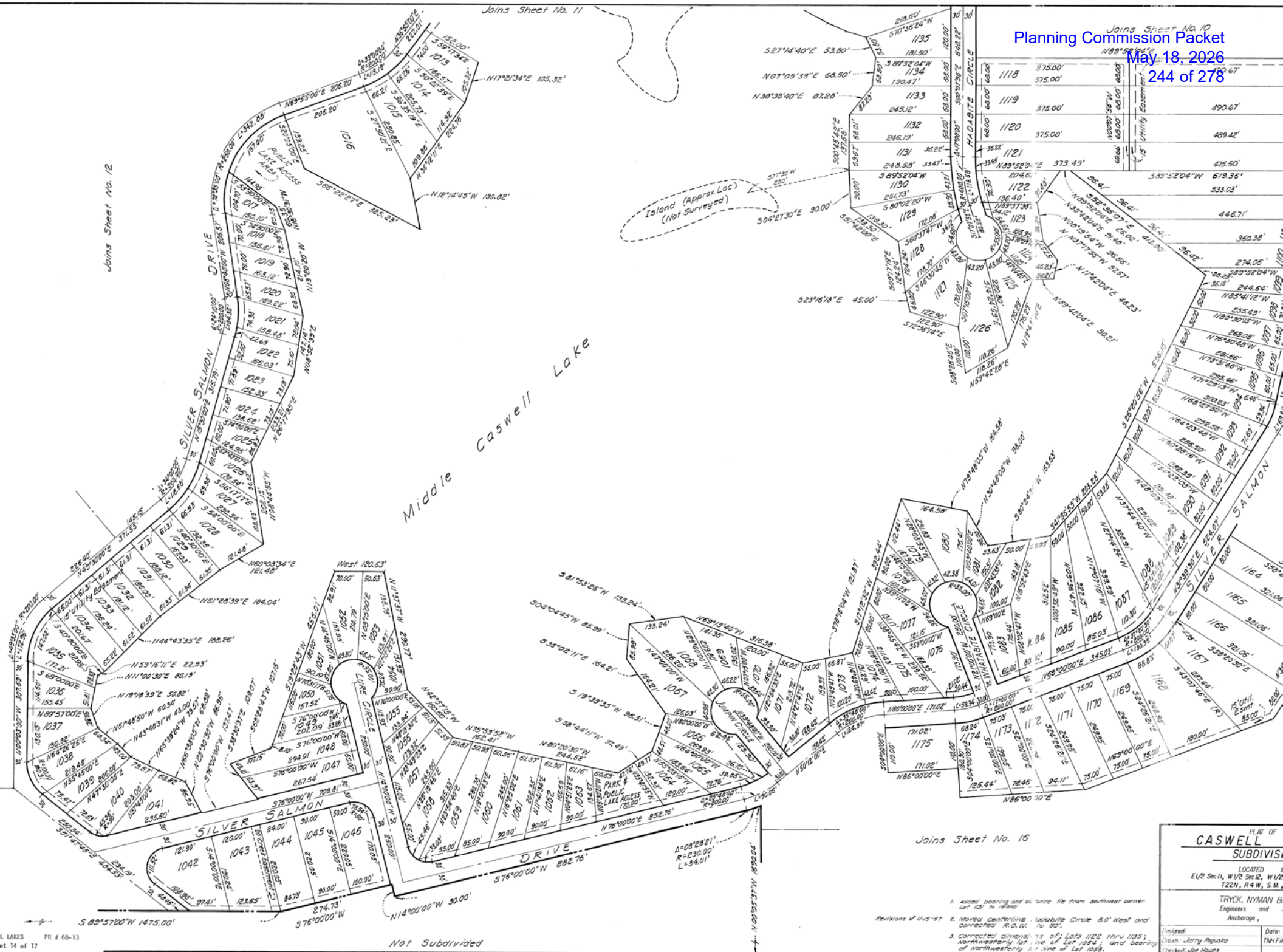


Joins Sheet No. 14

Not Subdivided

PLAT OF	
CASWELL	
SUBDIVISION	
LOCATED IN	
E1/2 Sec 11, W1/2 Sec 12, W1/2	
T22N, R4W, S.M.	
TRYCK, NYMAN &	
Engineers and S	
Anchorage,	
Designed:	Date:
Drawn: Jerry Roguska	TNN File:
Checked: Joe Hayes	

Revision No. 1 (11-15-57) Removed incorrect "Section Line Easement" and Relocated Utility Easement in vicinity of Lots 989 - 990.



PLAT OF
CASWELL
 SUBDIVISION

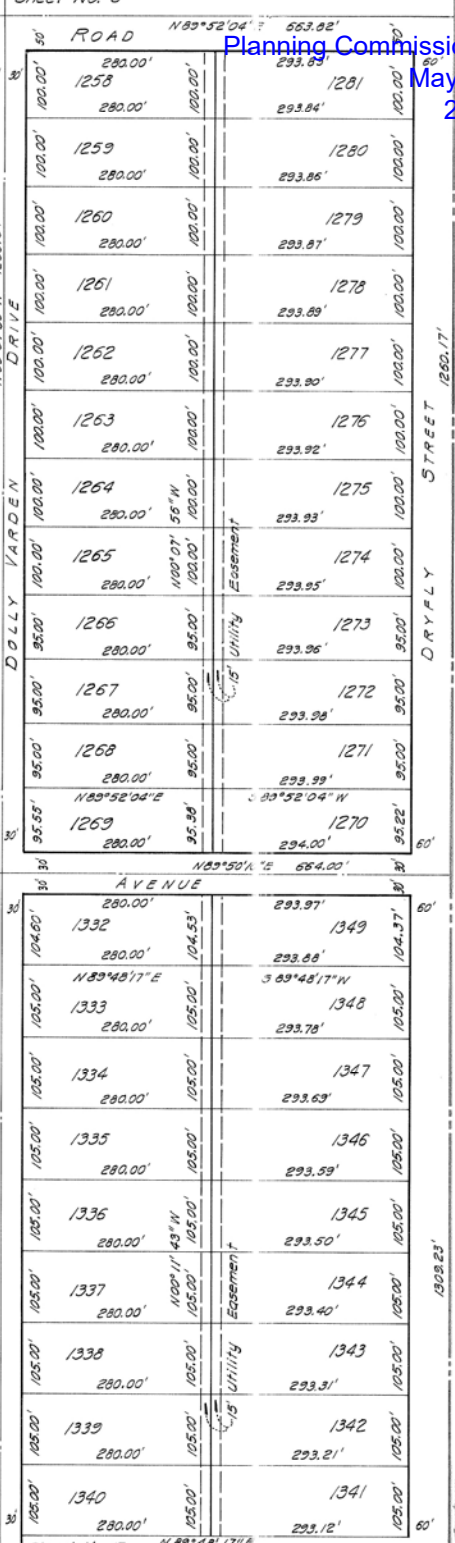
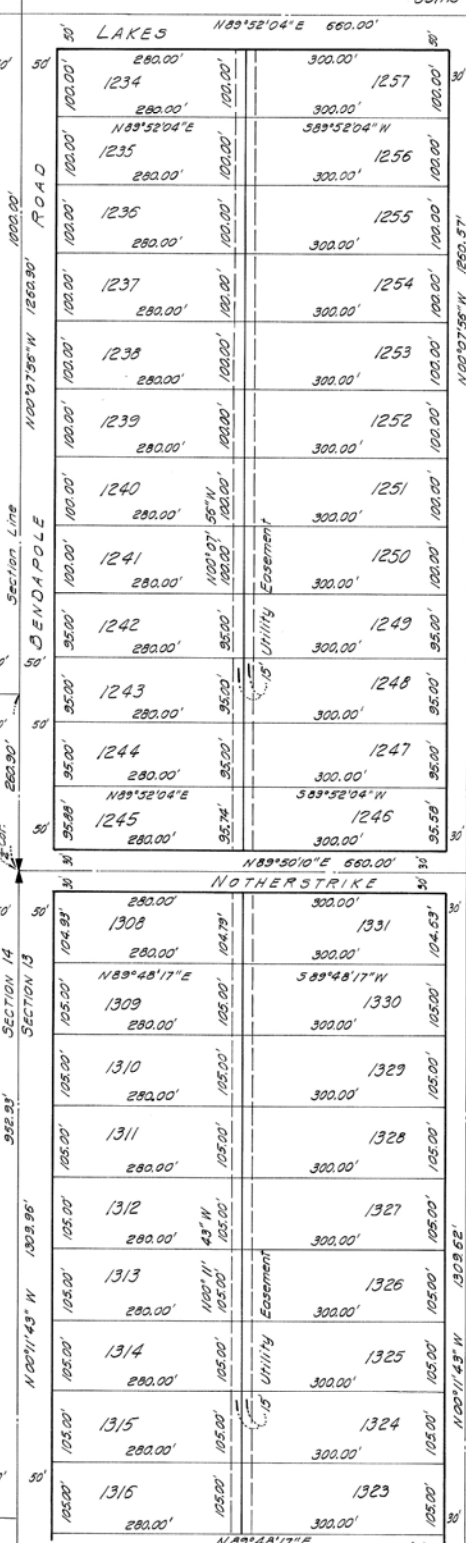
LOCATED IN
 E/2 Sec 11, W/2 Sec 2, W/2
 T22N, R4W, S.1M.

TRYCK, NYMAN &
 Engineers and
 Anchorage,

Designed: _____ Date: _____
 Drawn: Jerry Augusta TNNFA
 Checked: Joe Hayes

- Revisions of 11/18-17
1. Added bearing and distance tie from southwest corner Lot 101 to Island
 2. Moved centerline of Middle Caswell Lake 5.0' West and corrected R.O.W. to 50'
 3. Corrected dimensions of Lots 112 thru 115; Northwest corner of Lot 104; and bearing of Northwest corner of Lot 105.

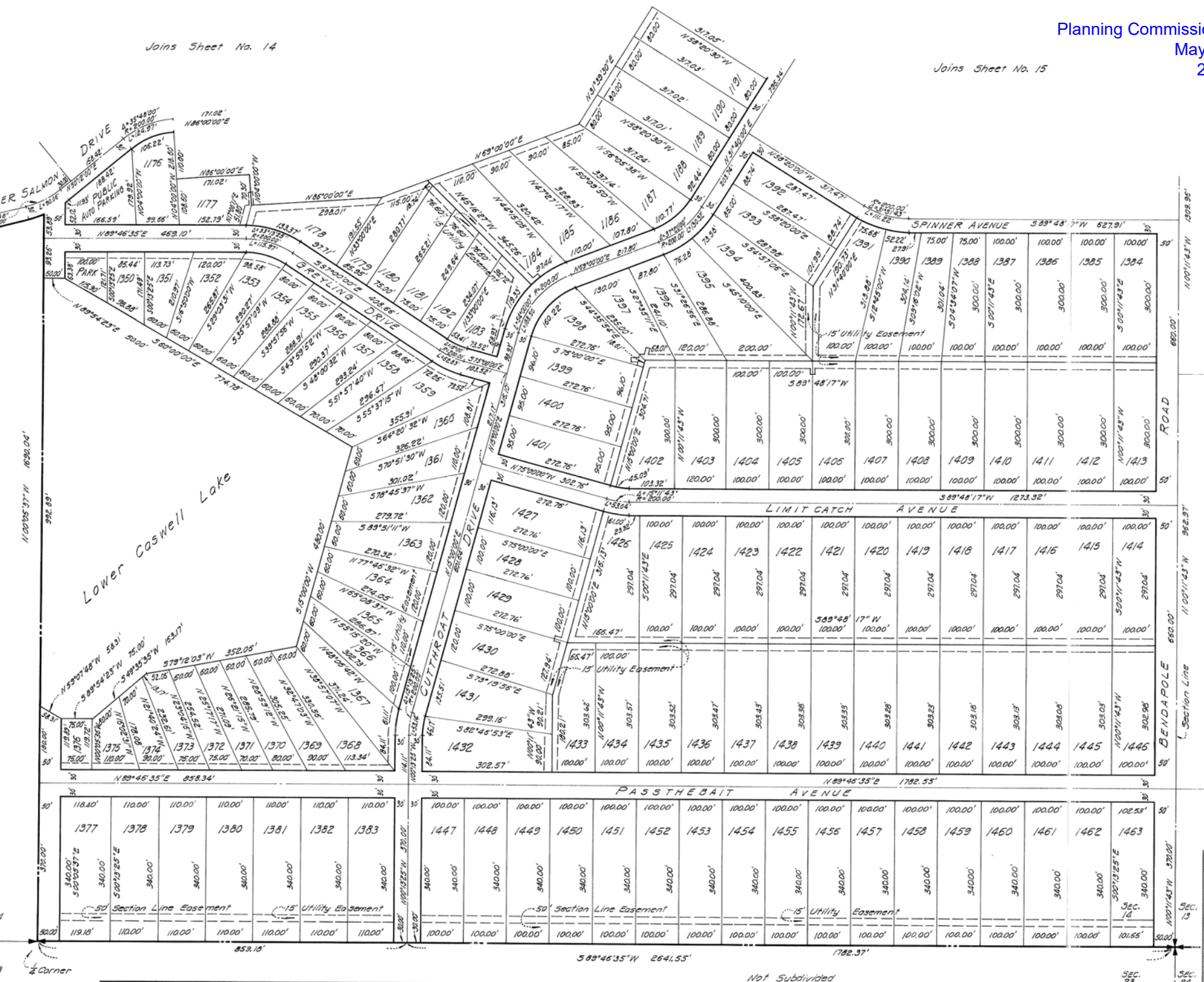
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FLAT OF
CASWELL
SUBDIVISION
LOCATED IN
E/2 Sec 11, W/2 Sec 12, W/2
T22N, R4W, S.M.
TRYCK, NYMAN &
Engineers and
Architects

Designed: _____ Date _____
Drawn: Jerry Aguiar TNA.FI
Checked: Joe Hayes

Not Subdivided



PLAT OF
CASWELL
SUBDIVISION
LOCATED IN
E1/2 Sec 11, W 1/2 Sec 12, W 1/2 Sec 13
T22N, R4W, S.M., P. 1

TRUCK, NYMAN & ASSOCIATES
Engineers and Surveyors
Anchorage, Alaska

Designed: _____ Date: _____
 Drawn: Jerry Rogusko THJ File
 Checked: Joe Hayes

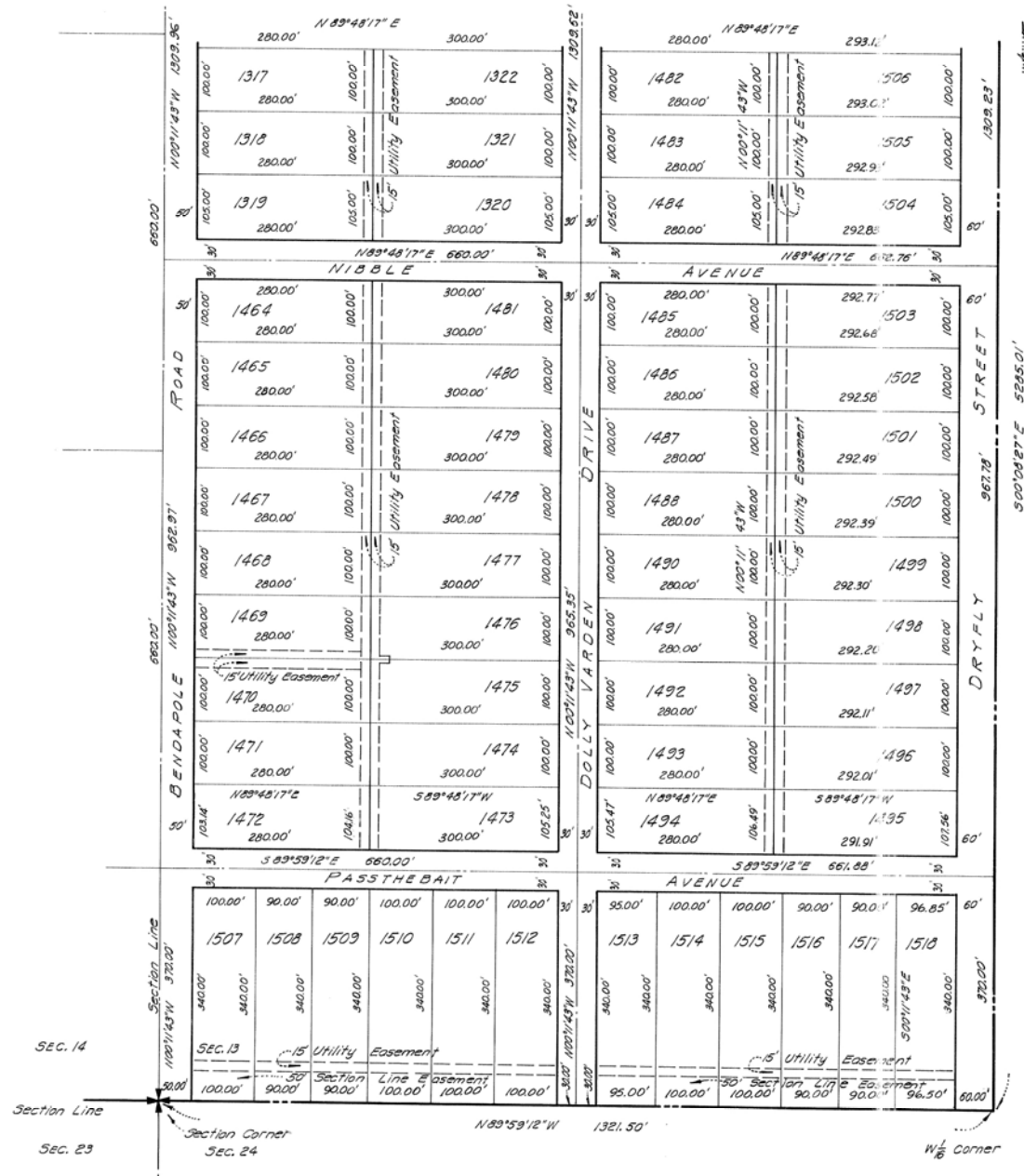
Joins Sheet No. 17

Not Subdivided

Jains Sheet No. 15

Jains Sheet No. 15

Not Subdivided



Not Subdivided

PLAT OF
CASWELL
 SUBDIVISION
 LOCATED IN
 E/2 Sec 11, W/2 Sec 12, W/2
 T22N, R 4 W, S. M.,
 TRICK, NYMAN &
 Engineers and S
 Anchorage,
 Designed: Date:
 Drawn: Jerry Pogoda TNH File
 Checked: Joe Hayes

Legal Properties

6070000L1050	0.2	Garage only	
6070000L1049	0.24	700	
6070000L1038	0.36	1166	
6070000L1034	0.29	1400	
6070000L1032	0.27	480	
6070000L1031	0.27	1202	
6070000L1027	0.32	560	
6070000L1026	0.22	240	
6070000L1023	0.26	720	
6070000L1022	0.28	3476	
6070000L1017	0.24	400	Mobile Trailer
6070000L1013	0.35	1168	
6070000L1012	0.27	1296	
6070000L1075	0.39	576	Unknown
6070000L1074	0.26	1440	
6070000L1072	0.38	544	
6070000L1070	0.23	637	
6070000L1067	0.49	912	
6070000L1064	0.26	576	
6070000L1062	0.3	1344	
6070000L1055	0.21	1008	
6070000L1142	0.47	672	

Average = .298 Average = 977

1997	95	Yes
1993	86	Yes
2008	140	Yes
2008	90	Yes
2019	90	Yes
2011	75	Yes
1996	75	Yes
2013	90	Yes
2024	79	Yes
2019	89	Yes
2023/1970	75	Yes
1992	90	Yes
1989	32	Yes (SLSB)
1978	75	Yes
2023	75	Yes
2023	85	Yes
1974	75	Yes
2021	10	Yes (Variance)
1973	14	Yes (GFR)
2010	86	Yes
2005	75	Yes
2000	80	Yes

Average = 76.4

Middle Caswell Lake Analysis - All Shoreline Properties

Tax ID	Acres	Structure Size	Second Structure	Year Built	Proximity to Water	Legal	Notes
6070000L1050	0.2	Garage only		1997	95	Yes	
6070000L1049	0.24	700		1993	86	Yes	
6070000L1048	0.39	No building					
6070000L1047	0.37	No building					
6070000L1041	0.41	No building					
6070000L1040	0.45	No building					
6070000L1039	0.3	No building					
6070000L1038	0.36	1166		2008	140	Yes	
6070000L1037	0.35						
6070000L1036	0.31	912		1983	39	No	
6070000L1035	0.41						
6070000L1034	0.29	1400		2008	90	Yes	
6070000L1033	0.27						
6070000L1032	0.27	480		2019	90	Yes	
6070000L1031	0.27	1202		2011	75	Yes	
6070000L1030	0.27						
6070000L1029	0.27						
6070000L1028	0.43						
6070000L1027	0.32	560		1996	75	Yes	
6070000L1026	0.22	240		2013	90	Yes	
6070000L1025	0.22						
6070000L1024	0.23	Unknown			74	Maybe	The property has a structure on it, but is not documented in assessments. Could be an RV
6070000L1023	0.26	720		2024	79	Yes	
6070000L1022	0.28	3476		2019	89	Yes	
6070000L1021	0.26						
6070000L1020	0.22	576	576	1982/2009	55	No	
6070000L1019	0.23						
6070000L1018	0.22						
6070000L1017	0.24	400	Mobile Trailer	2023/1970	75	Yes	
6070000L1016	1.32	900		1995	41	No	
6070000L1015	0.44	288		1980	27	No	
6070000L1014	0.39	1060		1992	27	No	
6070000L1013	0.35	1168		1992	90	Yes	
6070000L1012	0.27	1296		1989	32	Yes (SLSB)	
6070000L1011	0.29	1056	288	1995/1996	20	No	
6070000L1010	0.35						
6070000L1009	0.43	488	288/192	1994/1996/1997	36	No	
22N04W14B001	1	608		1994	22	No	
6070000L1142	0.47	672		2000	80	Yes	
6070000L1143	0.4						
6070000L1141	0.47						
6070000L1079	0.29						
6070000L1078	0.24						
6070000L1077	0.33						There appears to be a structure on the property, but assessments data does not reflect that
6070000L1075	0.39	576	unknown	1978	75	Yes	
6070000L1074	0.26	1440		2023	75	Yes	
6070000L1073	0.25						Assessment Record indicates that there is a building here, but parcel viewer does not show building
6070000L1072	0.38	544		2023	85	Yes	
6070000L1071	0.29	576		1978	62	No	
6070000L1070	0.23	637		1974	75	Yes	
6070000L1069	0.27						Small shed on property, no assessment records
6070000L1068	0.42	520		1984	35	No	
6070000L1067	0.49	912		2021	10	Yes (Variance)	
6070000L1066	0.4						
6070000L1065	0.33	672		1995	55	No	
6070000L1064	0.26	576		1973	14	Yes (GFR)	
6070000L1063	0.26						
6070000L1062	0.3	1344		2010	86	Yes	
6070000L1061	0.36						
6070000L1060	0.4	656		1978	20	No	
6070000L1059	0.45						
6070000L1058	0.43	760		1996	28	No	
6070000L1057	0.32						
6070000L1056	0.23						
6070000L1055	0.21	1008		2005	75	Yes	
6070000L1054	0.18						
7066000L1052A	0.79	963	344	1997	30	No	

Key	
	Legal
	No building
	Illegal
	No Data

Total = 67
 No Building = 26
 No Assessment Record = 5
 Illegal = 14
 Legal = 21
 39% Undeveloped
 31% Legal
 21% Illegal
 7% Unknown or No Data

Average Parcel Size 0.35

Findings of Fact – Application #010065

Questions – total SF? Covered decks?

Paul and Elizabeth Knecht

49562 S. Lure Circle

Tax ID# **6070000L1051**

Subdivision – Caswell Lakes

Acreage - .23 in borough records, survey records indicate .39 acres

Plat – 68-10

Bearings and distances around all lakes, named or unnamed, natural or artificial, indicate the meander line of a field survey made during the winter of 1966-67 and do not necessarily represent the true lakeward boundary of the respective lots bordering these lakes. The true lakeward lot line of said lots would be found by extending the respective side lot lines lakeward along the bearings shown to the water's edge which is expected to vary.

Owners of lots abutting on water shall have exclusive use of all land up to the water's edge whether such land is included in the legal description of a lot or not.

Continued existing level of lakes is uncertain.

Assembly District – 7

Total Square Feet – Unknown

Proposed Distance from waterbody – 32 Ft

West side lot line – 56

South side lot line – 10.9

ROW – 53.5

Survey conducted by Richard Wentworth December 20, 2024

Current use of the property is camping and lake access

Property does have an existing well located centrally on the parcel

Total = 67
No Building = 26
No Assessment Record = 5
Illegal = 14
Legal = 21

39% Undeveloped
31% Legal
21% Illegal
7% Unknown or No Data

Staff reviewed all parcels touching Caswell Lakes.

The average size house in this area is 977 square feet

The average distance from the water is 76 ft

The average lot size is .3 acres

Communication and Deficient Application Material

From: [Knecht, Paul A \(DOL\)](#)
To: [Rebecca Skjothaug](#)
Subject: Variance Application 2025-010065
Date: Wednesday, September 24, 2025 9:47:33 AM
Attachments: [Marked up 2024-074 Site Plan_DRAFT2 \(1\).pdf](#)
[Caswell Lakes Subdivision Lot 1051 Variance Narrative 9.22.2025.docx](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good morning, Rebecca,

I have rewritten my variance request per your sample. I hope this one explains in more detail for what you are requesting. I would also be happy to make a site visit to show you why we are requesting to put the cabin where it is shown. Thank you for your time and consideration in this matter.

Regards,

Knecht, Paul

State Electrical Inspector

Paul.knecht@alaska.gov

Cell 907-795-0980

Desk 907-707-1789

From: [Knecht, Paul A \(DOL\)](#)
To: [Becca Skjothaug](#)
Subject: Re: Follow Up Variance Application - 49562 S. Lure Circle
Date: Friday, April 24, 2026 9:12:55 AM
Attachments: [image001.png](#)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

I'll get back with you, I was thinking of going up this weekend.

Regards,

Knecht, Paul

State Electrical Inspector

Paul.knecht@alaska.gov

Cell 907-795-0980

Desk 907-707-1789

From: Becca Skjothaug <Rebecca.Skjothaug@matsugov.us>
Sent: Thursday, April 23, 2026 10:07 AM
To: Knecht, Paul A (DOL) <paul.knecht@alaska.gov>
Subject: RE: Follow Up Variance Application - 49562 S. Lure Circle

Good morning,

I was curious if you had picture of the property I can include in the packet for the Commissioners?

Thank you,

Becca Skjothaug

Current Planner

Desk Phone (907)861-7862



From: Knecht, Paul A (DOL) <paul.knecht@alaska.gov>
Sent: Monday, April 20, 2026 12:54 PM
To: Becca Skjothaug <Rebecca.Skjothaug@matsugov.us>
Subject: Re: Follow Up Variance Application - 49562 S. Lure Circle

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Yes Please, I would like a copy. Thank You.

Regards,

Knecht, Paul

State Electrical Inspector

Paul.knecht@alaska.gov

Cell 907-795-0980

Desk 907-707-1789

From: Becca Skjothaug <Rebecca.Skjothaug@matsugov.us>

Sent: Monday, April 20, 2026 12:44 PM

To: Knecht, Paul A (DOL) <paul.knecht@alaska.gov>

Subject: RE: Follow Up Variance Application - 49562 S. Lure Circle

Hi Paul,

My apologies on updating you with the schedule. We are down a Planner right now and things have been hectic in the office. I wasn't able to get the public notice administered in time for an introduction for this evening's meeting and the introduction is pushed back to May 4. Essentially what an introduction entails is the Planning Commission members will be given the information about your variance request. During this meeting there is no discussion on the topic. I do not attend the meeting, and you will not need to either.

The second meeting on May 18, is where you will be able to provide your testimony on the application. I will give a brief staff report to the Commission and then they will ask you if you would like to speak. Generally Planning Commission meetings take around 30 minutes to complete. I will have the entire packet prepared by Wednesday of this week and will be happy to send that over to you. Once the agenda for the meeting is completed it will be accessible online, but I would be happy to send you a copy as well.

Let me know if you have any more questions and I am happy to help.

Becca Skjothaug

Current Planner

Desk Phone (907)861-7862



From: Knecht, Paul A (DOL) <paul.knecht@alaska.gov>
Sent: Monday, April 20, 2026 11:54 AM
To: Becca Skjothaug <Rebecca.Skjothaug@matsugov.us>
Subject: Re: Follow Up Variance Application - 49562 S. Lure Circle

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Also I would like to sit in on the meeting today if still possible.

Regards,

Knecht, Paul
State Electrical Inspector
Paul.knecht@alaska.gov
Cell 907-795-0980
Desk 907-707-1789

From: Becca Skjothaug <Rebecca.Skjothaug@matsugov.us>
Sent: Monday, March 23, 2026 9:36 AM
To: Knecht, Paul A (DOL) <paul.knecht@alaska.gov>
Cc: Dtdmtucker@gmail.com <dtdmtucker@gmail.com>
Subject: RE: Follow Up Variance Application - 49562 S. Lure Circle

Good morning,

I am interested in scheduling a public meeting with the Planning Commission for your variance application. This process can take up to 6-8 weeks depending on your schedule. I do need to send out a public notice prior to scheduling the meeting. Would an introduction date of April 20th and followed by a staff report and applicant participation date of May 4th work for you. The only meeting that you would be required to attend in is the May 4th meeting. This will be the opportunity for you to present your request to the Commissioners.

Please let me know if this schedule works for you.

Thank you,

Becca Skjothaug
Current Planner
Desk Phone (907)861-7862



From: Knecht, Paul A (DOL) <paul.knecht@alaska.gov>
Sent: Monday, February 2, 2026 12:44 PM
To: Becca Skjothaug <Rebecca.Skjothaug@matsugov.us>
Cc: Dtdmtucker@gmail.com
Subject: Re: Follow Up Variance Application - 49562 S. Lure Circle

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello Becca,

Yes we still want the variance.

Regards,

Knecht, Paul
State Electrical Inspector
Paul.knecht@alaska.gov
Cell 907-795-0980
Desk 907-707-1789

From: Becca Skjothaug <Rebecca.Skjothaug@matsugov.us>
Sent: Monday, February 2, 2026 11:55 AM
To: Knecht, Paul A (DOL) <paul.knecht@alaska.gov>
Subject: Follow Up Variance Application - 49562 S. Lure Circle

CAUTION: This email originated from outside the State of Alaska mail system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon, and happy Monday,

I just wanted to send a follow up email to ensure that you are still interested in pursuing a variance for your property located on 49562 S. Lure Circle, Tax ID# **6070000L1051**. Please let me know if you have any questions and still intend on moving forward with the application.

Have a wonderful day.

From: [Rebecca Skjothaug](#)
To: ["Knecht, Paul A \(DOL\)"](#)
Subject: RE: Variance Application 2025-010065
Date: Monday, September 29, 2025 2:41:00 PM
Attachments: [image001.png](#)

Thank you for your time and attention to my previous email. I understand that the property is challenging to work with due to its size and shape, and those limitations will certainly be taken into consideration when evaluating a variance request.

At this time, the current site plan shows that there is buildable area available that is not being utilized. Because of this, I am unable to recommend the plan as it stands. R&K Land Surveying's review indicates that portions of the property can meet the 75-foot setback, as well as other required setbacks, and this area has not been incorporated into the proposal.

When preparing your narrative for the variance, I encourage you to focus on the unique conditions of your property rather than surrounding properties. As the Current Planner, it is my role to research commonly enjoyed rights in the area and compile the associated data. For example, the property at 49567 S. Lure Circle does not have a variance permit and is not considered grandfathered.

Per MSB 17.65.030, a variance cannot be granted if:

1. The special conditions requiring the variance are created by the applicant, or
2. The variance is sought solely to address financial hardship or personal convenience.

I do understand your desire to remain in good standing with your neighbor by allowing them access to the property, as well as the convenience of the proposed location for boat launch access. However, these reasons alone are not considered sufficient grounds for granting a variance, as they fall under personal preferences.

That said, I am happy to continue processing the application as submitted if you wish. Please note that staff would not be able to recommend the current proposal to the Planning Commission, though the Commission is the ultimate decision-making body.

If you are open to relocating the structure so that it primarily fits within the buildable area, staff could then consider recommending the variance to the Planning Commission, provided that all five criteria outlined in MSB 17.65.020 are met and the request is not considered illegal.

Please let me know how you would like to proceed. I'm here to help guide the process and answer any questions you may have.

Rebecca Skjothaug

Current Planner

Desk Phone (907)861-7862



From: Knecht, Paul A (DOL) <paul.knecht@alaska.gov>
Sent: Wednesday, September 24, 2025 9:47 AM
To: Rebecca Skjothaug <Rebecca.Skjothaug@matsugov.us>
Subject: Variance Application 2025-010065

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good morning, Rebecca,

I have rewritten my variance request per your sample. I hope this one explains in more detail for what you are requesting. I would also be happy to make a site visit to show you why we are requesting to put the cabin where it is shown. Thank you for your time and consideration in this matter.

Regards,

Knecht, Paul

State Electrical Inspector

Paul.knecht@alaska.gov

Cell 907-795-0980

Desk 907-707-1789



MATANUSKA-SUSITNA BOROUGH
350 East Dahlia Avenue • Palmer, AK 99645
Phone (907) 861-7801
www.matsugov.us

September 9, 2025

To: Paul and Elizabeth Knecht,

Thank you for your recent variance application and the supporting materials you submitted. After reviewing the surveyed site plan, we determined that the proposed house location does not fall within the buildable land area available on your lot. For this reason, your variance request as currently submitted will fail to be recommended.

Moving forward, you have a couple of options:

- You may revise the plan to minimize encroachment into the waterbody setback area, and all other applicable setbacks.
- If your revised design fits fully within the buildable land area, I will be happy to issue a refund for the application fee.

*Please also note that setback regulations for waterbodies do not apply to **uncovered** decks, which may provide additional design flexibility as you update your plans.

If you intend on moving forward with the process, there are a couple of things to consider:

- The supporting narrative reflects your personal hardships in using the property, rather than referencing neighboring properties that may or may not have received variances.
- When writing the narrative portion of the application, be mindful that this variance request is asking the Planning Commission to allow development that is against the adopted regulations, so this is a persuasive document you will be writing, but without embellishment. Facts are very important; assumptions and opinions are less so. The Planning Commission knows little to nothing about this property, so write as if the reader knows nothing; nothing about the topography, nothing about the existing or proposed use.
- Address current Borough Comprehensive Plan guidelines for development when building your case.
- It is important to describe how the property will maintain or enhance native vegetation to help protect the waterbody.

- The Borough is not informed of whether you intend to install a septic system on the property. If so, please provide the proposed location, system design, and Alaska Department of Environmental Conservation (ADEC) approval documentation.

If you have any questions about these requirements or would like to discuss potential revisions, please don't hesitate to contact me. I will be glad to assist as you prepare your resubmittal.

Kind Regards,

Rebecca Skjothaug

Rebecca Skjothaug

Current Planner

Site Visit

On May 1, 2026 staff conducted a site visit to 49562 S. Lure Cir Tax ID# **6070000L1051**. During the site visit, staff observed that the applicant had already begun construction activity associated with the proposed residential structure prior to receiving approval for the requested variance. This observation was considered during staff's review of the application and recommendation.



Looking from road to
like. Can see
foundation of
structure started.



Looking from lake
to south resident.



Edge of wetland.



Facing east. Edge of
Middle Caswell Lake.



Resolution

By: Rebecca Skjothaug
Introduced: May 4, 2026
Public Hearing: May 18, 2026
Action:

MATANUSKA-SUSITNA BOROUGH
PLANNING COMMISSION RESOLUTION NO. 26-07

A RESOLUTION OF THE MATANUSKA-SUSITNA BOROUGH PLANNING COMMISSION APPROVING A VARIANCE TO MSB 17.55.020 FOR THE CONSTRUCTION OF A DWELLING TO BE PLACED APPROXIMATELY 32 FEET FROM THE SHORELINE OF MIDDLE CASWELL LAKE SUBDIVISION, PLAT #68-10, PALMER RECORDING DISTRICT, STATE OF ALASKA, LOCATED AT 49562 S Lure Circle, TAX ID 6070000L1051.

WHEREAS Paul and Elizabeth Knecht, property owners, have applied for a variance under MSB 17.65 for a parcel located on Middle Caswell Lake, Alaska (Tax ID# **6070000L1051**).; and

WHEREAS, to grant a variance, the Planning Commission must find that each requirement of MSB 17.65.020(A) has been met; and

WHEREAS, the subject lot is part of the Caswell Lakes Subdivision and was initially platted in 1968 before Borough setback and lot size regulations were established; and

WHEREAS, the subject parcel does not conform to the current Borough subdivision standards for lot size; and

WHEREAS, Middle Caswell Lake is located west of the subject parcel. To the north and south is a residential property with a cul-da-sac on the eastern boundary; and

WHEREAS, according to the application material, the subject parcel is approximately 0.39 acres; and

WHEREAS, there is buildable area as indicated on the survey conducted by Richard L. Wentworth on December 20, 2024; and

WHEREAS, Planning staff analyzed 67 parcels with lake frontage on Middle Caswell Lake; and

WHEREAS, Planning staff found the lakefront properties within the analysis are approximately 0.3 acres; and

WHEREAS, after conducting an analysis, the Planning staff found that there are 21 lakefront parcels with dwellings that appear to meet the 75-foot setback criteria, and these dwellings have an average size of 977 square feet; and

WHEREAS, the dwellings that may violate the setback requirements were not included in the average dwelling size calculation; and

WHEREAS, according to the application material, the applicant proposes building a 1,132 two-story structure; and

WHEREAS, according to the Planning staff's analysis, constructing an 1,132-square-foot dwelling is compatible with the surrounding area; and

WHEREAS, according to the application materials, the proposed structure is planned to be 10.9 feet away from the southern property line and 32 feet from Middle Caswell Lake (west), 56.8 feet from the northern proper line, and 53.5 feet from the eastern property line (ROW); and,

WHEREAS, based on the application material, the current land use consists of recreational and family activities; and

WHEREAS, in 2005, the Matanuska-Susitna Borough Assembly adopted voluntary best management practices (BMP) for development around waterbodies; and

WHEREAS, based on the application materials, the applicant proposes preserving the natural shoreline and maintaining a buffer of undisturbed vegetation along the shoreline; and

WHEREAS, MSB Chapter 17.65 - Variances, was written to grant relief to property owners whose lots are impacted by existing land use regulations, thereby making the lot undevelopable; and

WHEREAS, Goal (LU-1) of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Protect and enhance the public safety, health, and welfare of Borough residents; and

WHEREAS, Policy LU1-1 of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Provide for consistent,

compatible, effective, and efficient development within the Borough; and

WHEREAS, Goal (LU-2) of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) states: Protect residential neighborhoods and associated property values; and

WHEREAS, the variance request is not consistent with the policies and goals of the Matanuska-Susitna Borough Comprehensive Plan (2005 Update) as the residential structure can be constructed on the lot without a setback variance, the structure is not placed as far back on the property as possible; and

WHEREAS, the subject parcel is not in a special land use district; and

WHEREAS, residential structures are allowed on this property; and

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby denies the aforementioned findings of fact and makes the following conclusions of law supporting approval of Planning Commission Resolution 26-07;

1. The 0.3-acre parcel has legal buildable area, which is not an unusual condition (MSB 17.65.020(A)(1)).
2. The strict application of the provisions of this title

- would not deprive the applicants of rights commonly enjoyed by others, as the application indicates the parcel is currently used for camping and outdoor recreation. The average size of dwellings within the analysis area is 977 square feet. The property is 0.3 acres of land, and there is legal buildable area on the property. Therefore, constructing an 1,132-square-foot cabin on the location indicated by the application materials is not a reasonable use of the land. (MSB 17.65.020(A)(2)).
3. Granting a variance will not be injurious to nearby property nor harmful to the public welfare (MSB 17.65.020(A)(3)).
 4. The proposed variance is not consistent with the applicable comprehensive plans and does meet the intent of MSB 17.65 (MSB 17.65.020(A)(4)).
 5. Granting a variance will be more than necessary to permit a reasonable use of the property (MSB 17.65.020(A)(5)).
 6. The person seeking the variance did cause the need for the variance (MSB 17.65.030(A)(1)).
 7. The variance will not allow a land use in a district in which that use is prohibited, as residential structures are allowed on this site (MSB 17.65.030(A)(2)).
 8. The variance is solely being sought to relieve pecuniary hardship or inconvenience (MSB 17.65.030(A)(3)).

NOW, THEREFORE, BE IT RESOLVED, that the Matanuska-Susitna Borough Planning Commission hereby deny the setback variance to construct a 1,132 two-story dwelling within the parcel located on Middle Caswell Lake, Alaska (Tax ID# **6070000L1051**, as referenced in the application material.

ADOPTED by the Matanuska-Susitna Borough Planning Commission this 18 day of May 2026.

, CHAIR

ATTEST

Lacie Olivieri
Planning Clerk

(SEAL)

YES:

NO:

DRAFT

Correspondence and Information



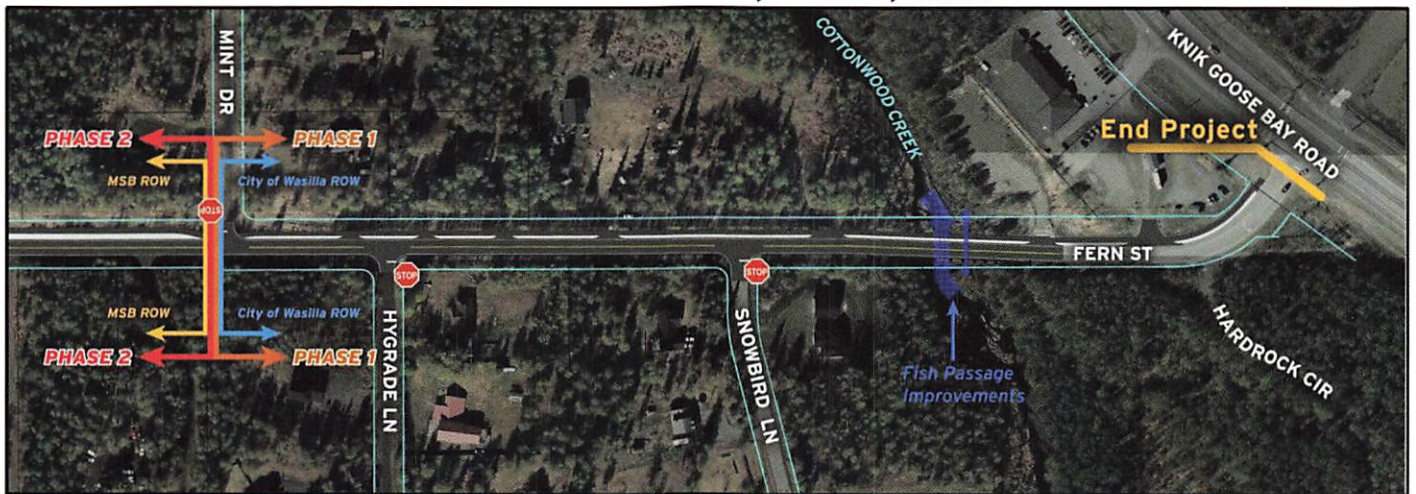
3*2*****5-DIGIT 99645 800
MBS PLANNING COMMISSION
350 E DAHLIA AVE
PALMER, AK 99645-6411



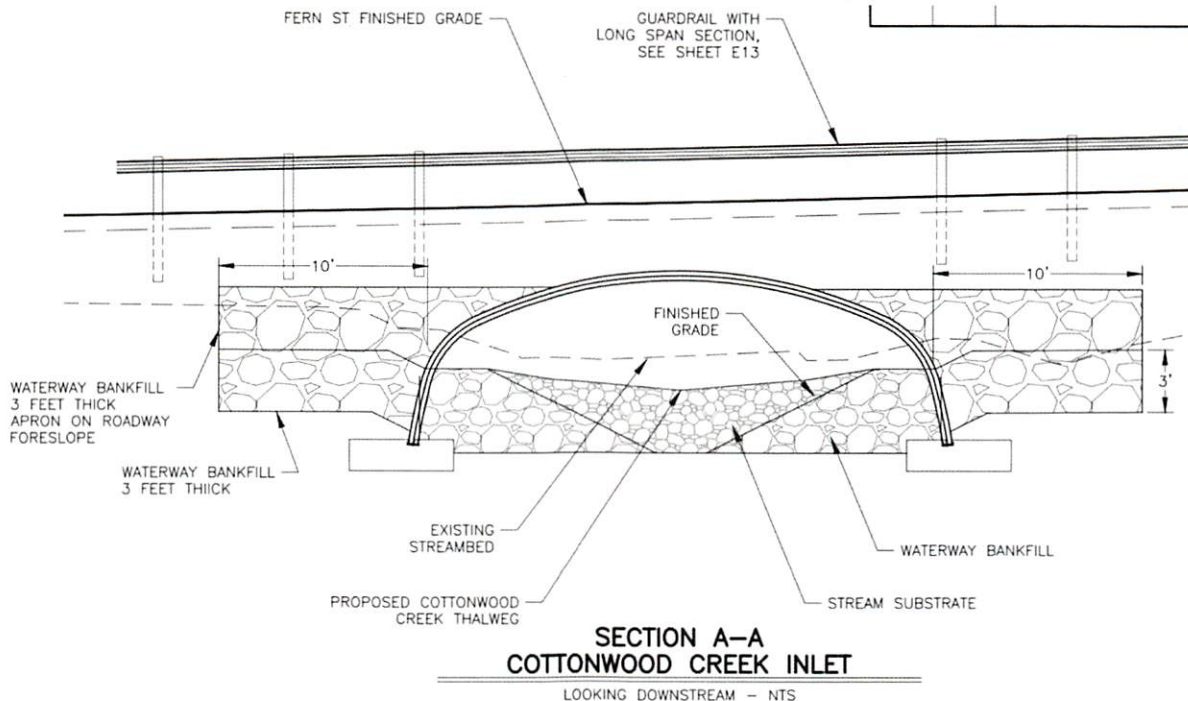
FERN STREET CONSTRUCTION NOTICE

Construction is beginning on Phase 1 (more information on reverse side).

Fern Street Reconstruction, Phase 1, Plan View:



Phase 1 Cottonwood Creek Fish Passage:





CONSTRUCTION NOTICE

FERN STREET RECONSTRUCTION

Phase 1 Construction Kickoff

What's Happening

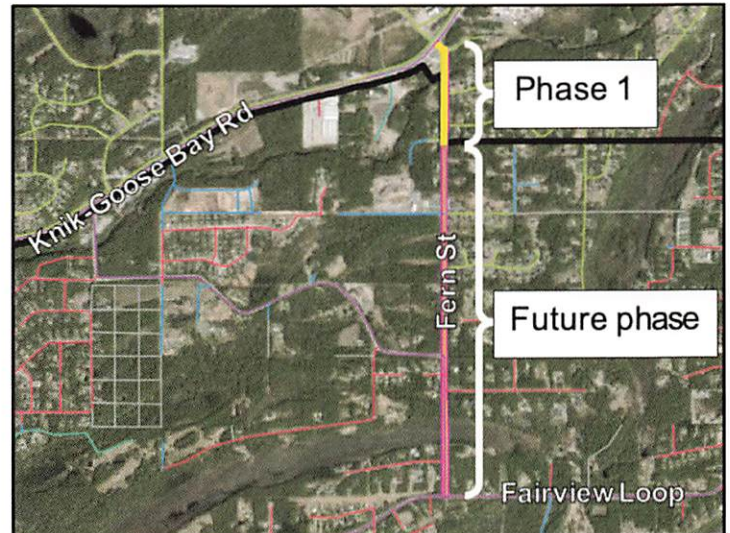
Construction is beginning on Phase 1 of the Fern Street Reconstruction project. The contractor, Tutka, LLC, will start by clearing trees and brush ahead of the bird nesting window. Road construction will start once the borough and state lift seasonal road weight restrictions.

Phase 1 Details

Phase 1 extends from Knik-Goose Bay Road to Mint Drive. The team anticipates substantial completion this year. Please note that Phase 2 is currently dependent on funding and right-of-way acquisitions.

Key features include:

- Upgrading Fern Street to collector-level standards, including shoulders and a separated pathway.
- Replacing the existing culvert at Cottonwood Creek with a wider fish passage culvert.
- Enhanced drainage throughout the project limits.



Contact Information

Austin Kruse

Construction Contractor, Tutka, LLC
austin@tutkallc.com, 907-357-2238

Andrew Strahler

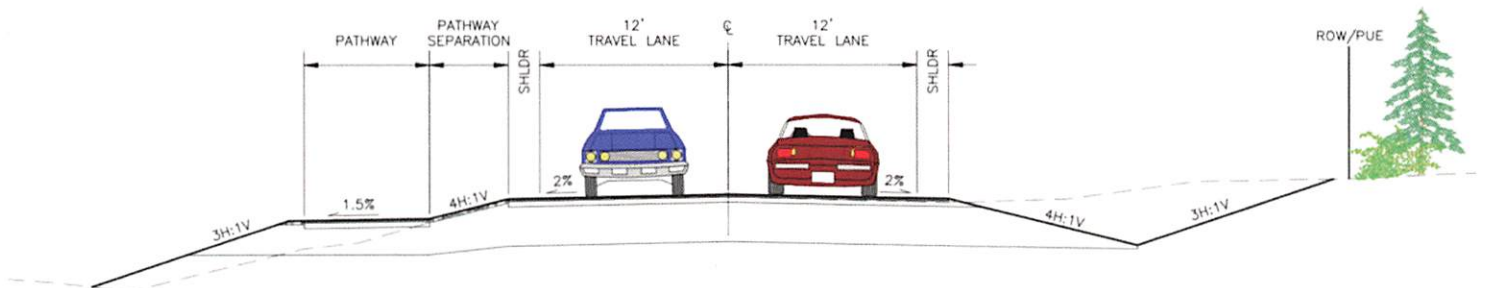
Project Manager, Matanuska-Susitna Borough
Andrew.Strahler@matsugov.us, 907-861-7710

Camden Yehle

Public Involvement Lead, Yehle & Associates
Camden@yehlealaska.com, 907-346-0506

Website:

<https://www.fern-street-reconstruction.com>



FERN STREET TYPICAL SECTION: ROAD AND PATHWAY

EDLUND TO KNIK GOOSE BAY

Commission Business



MATANUSKA-SUSITNA BOROUGH

Planning and Land Use Department

350 East Dahlia Avenue • Palmer, AK 99645

Phone (907) 861-7822

Matsu.gov

MEMORANDUM

DATE: May 4, 2026

TO: Planning Commission

FROM: Alex Strawn, Planning and Land Use Director

SUBJECT: Tentative Future PC Items

Upcoming PC Actions

Quasi-Judicial

- Houdini's Herbs – Marijuana Retail Facility; 8164B01L001A (Staff: Rick Benedict)
- Butte Land Co. – Earth Materials Extraction; 17N02E35A024 (Staff: Natasha Grover)
- Harman Northeast – Earth Materials Extraction; 18N01W15B015 (Staff: Rick Benedict)
- Three Bears Alaska Inc. – Core Area Conditional Use Permit; 8211000L001 (Staff: Rick Benedict)
- Hart Variance - Tax ID# 8578B05L015A (Staff: Natasha Grover)
- Bad Gramm3r LLC – Marijuana Retail Facility; 1068000L020 (Staff: Rick Benedict)
- McIntyre Farms LLC – Marijuana Cultivation Facility; 6025B02L007 (Staff: Rick Benedict)
- Riordan Variance - Tax ID# 6041B08L010 (Staff: Natasha Grover)
- Knik Landing - Alcohol Beverage Uses - 7186000L001 (Staff: Rick Benedict)
- Arctic Fairways – Alcohol Beverage Dispensary; 8242000L004 (Staff: Natasha Grover)
- Punt Brothers Construction – Variance; 6040B03L003 (Staff: Natasha Grover)

Legislative

- Historic Preservation Plan (HPP) (Staff: Paul Clark)
- MSB Borough-Wide Comprehensive Plan (Staff: Jason Ortiz/Alex Strawn)