

AGENDA

MATANUSKA-SUSITNA BOROUGH

350 East Dahlia Avenue, Palmer, Alaska 99645 – 907-861-7874

PLATTING OFFICER
Fred Wagner

PLATTING CLERK
Kayla Smith

PLATTING TECHNICIANS
Matthew Goddard
Chris Curlin
Cayman Reynolds



PLATTING BOARD
Chris Chiavetta, District 1
Vice Chair Michael Liebing, District 2
Michael Gillson, District 3
Amanda Salmon, District 4
Chair Michelle Traxler, District 5
Vacant, District 6
Sidney Bertz, District 7
Karla McBride, Alternate A
Vacant, Alternate B

PLATTING BOARD AGENDA
ASSEMBLY CHAMBERS
350 E DAHLIA AVENUE PALMER

PLATTING BOARD MEETING

1:00 P.M.

February 18, 2026

Ways you can participate in Platting Board meetings:

IN PERSON

IN WRITING: You can submit written comments by email to plattting@matsugov.us or by mail to Matanuska-Susitna Borough, Platting Division, 350 E. Dahlia Avenue, Palmer, AK 99645

TELEPHONIC TESTIMONY: (Audio only)

(We are having intermittent technical difficulties with our software; if you would like to submit comments, please submit comments to the email address above by the Wednesday before the meeting.)

- Dial 1-855-290-3803; you will hear “Joining conference” when you are admitted to the meeting.
- You will be automatically muted and able to listen to the meeting.
- When the Chair announces audience participation or a public hearing you would like to speak to, press *3; you will hear “Your hand has been raised.”
- When it is your turn to testify you will hear “Your line has been unmuted.”
- State your name for the record, spell your last name, and provide your testimony.

OBSERVE: You can observe the meeting via the live stream video at:

- <https://www.facebook.com/MatSuBorough>
- Matanuska-Susitna Borough – YouTube

1. CALL TO ORDER

- A. Roll Call and Determination of Quorum (by Secretary)
- B. Pledge of Allegiance
- C. Approval of Agenda

2. APPROVAL OF MINUTES

- February 4, 2026
- February 5, 2026

3. AUDIENCE PARTICIPATION & PRESENTATIONS

A. **PERSONS TO BE HEARD** (Three minutes per person for Items not scheduled for public hearing)

4. UNFINISHED BUSINESS

A. **CHOPPER INDUSTRIAL PARK:** The request is to create 10 lots and from Parcel 117N01E04C030, to be known as **CHOPPER INDUSTRIAL PARK**, containing 15.2 acres +/-.
Proposed Chopper Circle is to serve as a private road, providing access for all proposed lots. The property is located south of East Mountain Heather Way, west of North Blue Ridge Circle, and east of North Hyer Road, within the SW ¼ Section 04, Township 17 North, Range 01 East, Seward Meridian, Alaska, in the South Lakes Community Council and in Assembly District #3. **This case was continued from the January 15th 2026 Platting Board Meeting.** (Petitioner/Owner: Whiskey Romeo LLC, Staff: Cayman Reynolds, Case # 2025-157)

5. RECONSIDERATIONS/APPEALS

(None)

6. PUBLIC HEARINGS

A. **RAFTER RIDGE:** The request is to create 2 lots from Government Lots 15 & 16, (Tax ID #'s 17N04W25A004 & 17N04W25A005), to be known as **RAFTER RIDGE**, containing 8.59 acres +/-, to be accessed by water. The property is located directly east of Big Lake, in the NE ¼ Section 25, Township 17 North, Range 04 West, Seward Meridian, Alaska. In the Big Lake Community Council and in Assembly District #5. (Petitioner/Owner: James Rafter & Patricia Rafter, Staff: Chris Curlin, Case # 2025-169)

B. **LUCAS 2025:** The request is to create one lot from lots 8, 9, 15, and 16 Lucas Subdivision, Plat 5-65, to be known as **LUCAS 2025**, containing 0.53 acres +/-. The plat is located east of South Glenn Highway, south of West Evergreen Avenue, and north of West Elmwood Avenue, located within the NE ¼ Section 5, Township 17 North, Range 02 East, Seward Meridian, Alaska. No community council, Assembly District is 002. (Petitioner/Owner: Valley Feed LLC, Staff: Cayman Reynolds, Case # 2026-002)

7. ITEMS OF BUSINESS & MISCELLANEOUS

(None)

8. PLATTING STAFF & OFFICER COMMENTS

A. Adjudicatory (*If needed*)

- *Definition: Law. To hear and settle an issue or a question regarding code.*

B. Upcoming Platting Board Agenda Items (Staff: Fred Wagner & Clerk: Kayla Smith)

- March 5, 2026, Platting Board Meeting, we have 1 case to be heard:
 - Wilmington Hill

9. BOARD COMMENTS

10. ADJOURNMENT

MINUTES

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES**

**REGULAR MEETING
February 4, 2026**

The special meeting of the Matanuska-Susitna Borough Platting Board was held on February 4, 2026, at the Matanuska-Susitna Borough 350 E Dahlia Ave, Palmer, Alaska. Chair Traxler called the Meeting to order at 1:00 p.m.

1. CALL TO ORDER

A. ROLL CALL AND DETERMINATION OF QUORUM (by Administrative Specialist)

Platting Board members present and establishing a quorum:

Mr. Michael Liebing, District Seat #2

Mr. Michael Gillson, District Seat #3

Ms. Michelle Traxler, District Seat #5

Ms. Karla McBride, Alternate A

Platting Board members absent and excused were:

Mr. Chris Chiavetta, District Seat #1

Ms. Amanda Salmon, District Seat #4

Vacant, District seat #6

Vacant, District seat #7

Vacant, Alternate B

Platting Board members absent were:

Staff in attendance:

Mr. Fred Wagner, Platting Officer

Mr., Alex Strawn, Planning and Land Use Director

Ms. Kayla Smith, Platting Board Clerk

B. THE PLEDGE OF ALLEGIANCE

Platting Member Traxler led the pledge of allegiance.

C. APPROVAL OF THE AGENDA

Chair Traxler inquired if there were any changes to the agenda.

MOTION: Platting Member Liebing made motion to approve the Agenda. Platting Member McBride seconded.

VOTE: The Agenda was approved unanimously.

2. AUDIENCE PARTICIPATION & PRESENTATIONS

PERSONS TO BE HEARD (Three minutes per person for items not scheduled for public hearing)

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES**

**REGULAR MEETING
February 4, 2026**

(None)

3. ITEMS OF BUSINESS & MISCELLANEOUS

A. RESOLUTION 26-01: Resolution of the Matanuska-Susitna Borough, Platting Board recommending approval of an Ordinance amending Chapter 43.20 Subdivision Development Standards to allow lots to be reduced to 30,000 sq ft with Single Family Residential land use districts. (*Staff: Alex Strawn, Planning and Land Use Director*)

MOTION: Platting Member Liebing made a motion to reopen public testimony. Platting Member Gillson seconded.

VOTE: The motion was approved unanimously.

The following persons spoke:

- Sandra Kreger
- Chuck Lee

Platting Member Liebing had questions.

Platting Member Traxler had questions.

- Ellery Gibbs

There being no one else to be heard, Platting Member Traxler closed public testimony.

Discussion ensued.

Platting Member Liebing had a question for Planning and Land Use Director, Alex Strawn.

Platting Member Traxler had questions for staff.

Platting Member McBride spoke.

Discussion ensued.

Recess 1:44 PM

Reconvened 2:00 PM

MOTION: Platting Member Liebing made motion to amend the Ordinance. Platting Member McBride seconded.

Discussion ensued.

VOTE: The motion passes unanimously.

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES**

**REGULAR MEETING
February 4, 2026**

MAIN MOTION: Platting Member Liebing made a motion to approve the ordinance with the amended changes. Platting Member Gillson seconded the motion.

VOTE: The motion passed unanimously.

4. PLATTING STAFF & OFFICER COMMENTS

- A. Adjudicatory (*if needed*)
- B. Platting Officer, Fred Wagner 4 Cases tomorrow.

5. BOARD COMMENTS.

- Member Liebing – I would like to congratulate the board. I think that we have taken our responsibilities in this matter seriously and everyone gave a lot of consideration to it and I'm proud of our actions today so thank you.
- Member McBride – No comment
- Member Gillson – I agree with the previous comments, thank you.
- Member Traxler – I thank you to the board members that showed today and good work.

6. ADJOURNMENT

With no further business to come before the Platting Board, Chair Traxler adjourned the meeting at 2:11 PM.

MICHELLE TRAXLER
Platting Board Chair

ATTEST:

KAYLA SMITH
Platting Board Clerk

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES**

**REGULAR MEETING
February 5, 2026**

The regular meeting of the Matanuska-Susitna Borough Platting Board was held on February 5, 2026, at the Matanuska-Susitna Borough 350 E Dahlia Ave, Palmer, Alaska. Chair Traxler called the Meeting to order at 1:00 p.m.

1. CALL TO ORDER

A. ROLL CALL AND DETERMINATION OF QUORUM (by Administrative Specialist)

Platting Board members present and establishing a quorum:

Mr. Michael Liebing, District Seat #2

Mr. Michael Gillson, District Seat #3

Ms. Michelle Traxler, District Seat #5

Ms. Karla McBride, Alternate A

Platting Board members absent and excused were:

Mr. Chris Chiavetta, District Seat #1

Ms. Amanda Salmon, District Seat #4

Vacant, District seat #6

Vacant, District seat #7

Vacant, Alternate B

Platting Board members absent were:

Staff in attendance:

Mr. Fred Wagner, Platting Officer

Ms. Kayla Smith, Platting Board Clerk

Mr. Matthew Goddard, Platting Technician

Mr. Chris Curlin, Platting Technician

Mr. Cayman Reynolds, Platting Technician

B. THE PLEDGE OF ALLEGIANCE

Platting Member McBride led the pledge of allegiance.

C. APPROVAL OF THE AGENDA

Chair Traxler inquired if there were any changes to the agenda.

MOTION: Platting Member Liebing made motion to approve the Agenda. Platting Member McBride seconded.

VOTE: The Agenda was approved unanimously.

2. APPROVAL OF MINUTES

- January 15, 2026.

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES**

**REGULAR MEETING
February 5, 2026**

MOTION: Platting Member Liebing made motion to approve January 15, 2026 Minutes. Platting Member McBride seconded.

VOTE: The Minutes were approved unanimously.

3. AUDIENCE PARTICIPATION & PRESENTATIONS

PERSONS TO BE HEARD (Three minutes per person for items not scheduled for public hearing)
(None)

4. UNFINISHED BUSINESS

A. **VANDA VALLEY:** The request is to create 37 lots and one tract from Tax Parcel C6, (Tax ID#18N01E19C006) to be known as Vanda Valley, containing 49.29 acres +/- . The petitioner is requesting a variance from MSB 43.20.300 Lot and Block Design. The property is located directly west of E. Kilo Drive, directly north of E. Foxtrot Avenue, and southeast of N. Wasilla-Fishhook Road; within the SW ¼ Section 3, Township 19 North, Range 01 East, Seward Meridian, Alaska. In the North Lakes Community Council and in Assembly District #1. *(Petitioner/Owner: Kov's LLC, Staff: Chris Curlin, Case #2025-128)*

Chair Traxler read the statement regarding Ex-Parte & Interest on quasi-judicial action into the record.

Kayla Smith provided the mailing report:

- Stating that 91 public hearing notices were mailed out on October 14, 2025.
- Stating that 91 revised public hearing notices were mailed out on January 20, 2026.

Staff gave an overview of the case:

- Staff recommends approval with 10 conditions and 6 findings of facts.

Platting Member Liebing had questions for staff.

Chair Traxler invited the petitioner/petitioner's representative to give an overview.

The petitioner/petitioner's representative chose not to speak.

Chair Traxler opened the public hearing for public testimony.

The following persons spoke:

- Rod Hanson

There being no one else to be heard Chair Traxler closed the public hearing and invited the petitioner and/or the petitioner's representative to further discuss and answer any questions from the Board.

The petitioner's representative, Craig Hanson spoke.

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES**

**REGULAR MEETING
February 5, 2026**

MOTION: Platting Member Liebing made a motion to approve the variance of Vanda Valley. Platting Member McBride seconded the motion.

Discussion ensued.

MOTION: Platting Member Liebing made motion to amend the conditions of approval to add a 10th condition. Platting Member Gillson seconded.

VOTE: The motion passed without objection.

MAIN MOTION: Platting Member Liebing made a motion to approve the preliminary plat and Variance of Vanda Valley. Platting Member McBride seconded the motion.

VOTE: The motion passed without objection.

5. RECONSIDERATIONS/APPEALS

(None)

6. PUBLIC HEARINGS

A. **FEATHER LAKE:** The request is to create eight lots from parcels 217N04W13A002 through A006 and 17N04W13B004, to be known as Feather Lake, containing 168.2 acres +/- . The plat is located east of Horseshoe Lake, north of West Lakes Drive, and north of Big Lake, located within the NE ¼ Section 13, Township 17 North, Range 04 West, Seward Meridian, Alaska. In the Big Lake Community Council and in Assembly District #5. (Petitioner/Owner: Chris & Miranda Wallstrum, Staff: Chris Reynolds, Case #2025-176)

Chair Traxler read the statement regarding Ex-Parte & Interest on quasi-judicial action into the record.

Kayla Smith provided the mailing report:

- Stating that 23 public hearing notices were mailed out on January 9, 2026.

Staff gave an overview of the case:

- Staff recommends a continuance to March 19, 2026 Platting Board Hearing.

Chair Traxler invited the petitioner/petitioner's representative to give an overview.

The petitioners representative Dayna Rumfelt, spoke.

Chair Traxler had questions.

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES**

**REGULAR MEETING
February 5, 2026**

There being no one to be heard Chair Traxler left the public hearing.

MOTION: Platting Member Liebing made a motion to continue the preliminary plat of Feather Lake to the March 19th, 2026, Platting Board Hearing. Platting Member McBride seconded the motion.

VOTE: The motion passed without objection.

B. **URSULA ACRES**: The request is to create 2 lots from Tax Parcel C3,(Tax ID# 18N02W13C003), to be known as Ursula Acres, containing 39.98 acres +/- . The petitioner is dedicating a 30' easement along the northern boundary of the property for W. Sunshine Road. The property is located directly south of W. Sunshine Road and east of N. Mahoney Road; within the SW ¼ Section 13, Township 18 North, Range 02 West, Seward Meridian, Alaska. . In the Meadow Lakes Community Council and in Assembly District #7. (*Petitioner/Owner: Timothy Stowell, Staff: Chris Curlin, Case #2025-179*)

Chair Traxler read the statement regarding Ex-Parte & Interest on quasi-judicial action into the record.

Kayla Smith provided the mailing report:

- Stating that 23 public hearing notices were mailed out on January 9, 2026.

Staff gave an overview of the case:

- Staff recommends approval with 8 conditions and 5 findings of facts.

Chair Traxler invited the petitioner/petitioner's representative to give an overview.

The petitioner's representative Owen Dicks chose not to speak.

Chair Traxler opened the public hearing for public testimony.

There being no one to be heard Chair Traxler closed the public hearing open and invited the petitioner and/or the petitioner's representative to further discuss and answer any questions from the Board.

The petitioner's representative spoke.

MOTION: Platting Member Liebing made a motion to approve the preliminary plat of Ursula Acres. Platting Member Gillson seconded the motion.

VOTE: The motion passed without objection.

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES**

**REGULAR MEETING
February 5, 2026**

C. **BLAIR RESIDENCE:** The request is to vacate the drainage easement from Lot 4 Cornelius Lakeview Subdivision, Plat 99-90 and create a drainage easement along the boundary of lot 3 Cornelius Lakeview Subdivision, Plat 99-90. To be known as Blair Residence. The plat is located directly north of Cornelius lake, east of North Engstrom Road, and north of East Bogard Road, located within the SW ¼ Section 22, Township 18 North, Range 01 East, Seward Meridian, Alaska. (*Petitioner/Owner: Garren Blair, Staff: Cayman Reynolds, Case #2025-181*)

Chair Traxler read the statement regarding Ex-Parte & Interest on quasi-judicial action into the record.

Kayla Smith provided the mailing report:

- Stating that 50 public hearing notices were mailed out on January 9, 2026.

Staff gave an overview of the case:

- Staff recommends approval with 6 conditions and 5 findings of facts.

Platting Members Gillson and Liebing had questions for staff.
Chair Traxler had questions for staff.

Chair Traxler invited the petitioner/petitioner's representative to give an overview.

The petitioner's representative Dayna Rumfelt spoke.

Chair Traxler opened the public hearing for public testimony.
The following persons spoke:

- Stephen Duffin
- Cyd Duffin

There being no one else to be heard Chair Traxler closed the public hearing open and invited the petitioner and/or the petitioner's representative to further discuss and answer any questions from the Board.

The petitioner/petitioner's representative spoke.

Chair Traxler and Platting Members Liebing and McBride had questions for petitioner's representative.

MOTION: Platting Member Liebing made a motion to approve the preliminary plat of Blair Residence. Platting Member Gillson seconded the motion.

VOTE: The motion passed without objection.

**MATANUSKA-SUSITNA BOROUGH
PLATTING BOARD MINUTES**

**REGULAR MEETING
February 5, 2026**

7. ITEMS OF BUSINESS & MISCELLANEOUS
(None)

8. PLATTING STAFF & OFFICER COMMENTS

- A. Adjudicatory *(if needed)*
- B. Upcoming Platting Board Agenda Items

Platting Officer, Fred Wagner informed the board of upcoming items:

- o There are 3 cases scheduled for February 18, 2026 Platting Board. This is a Wednesday.
 - o Chopper Industrial Park
 - o Rafter Ridge
 - o Lucas 2025

9. BOARD COMMENTS.

- Member Liebing – Ill think ab out you on the 18th while you are here in the meeting and I am playing golf in Hawaii.
- Member McBride – We'll miss you
- Member Gillson – I will miss you too, who is going to submit motions.
- Member Traxler – Have a great time.

10. ADJOURNMENT

With no further business to come before the Platting Board, Chair Traxler adjourned the meeting at **2:04 PM**.

MICHELLE TRAXLER
Platting Board Chair

ATTEST:

KAYLA SMITH
Platting Board Clerk

UNFINISHED

BUSINESS

4A

STAFF REVIEW AND RECOMMENDATIONS
PUBLIC HEARING
FEBRUARY 18, 2026

PRELIMINARY PLAT: CHOPPER INDUSTRIAL PARK

LEGAL DESCRIPTION: SEC 04, T17N, R01E, Seward Meridian AK

PETITIONERS: WHISKEY ROMEO LLC

SURVEYOR/ENGINEER: S4 GROUP

ACRES: 15.2 ± PARCELS: 1

REVIEWED BY: CAYMAN REYNOLDS CASE #: 2025-157

REQUEST: The request is to create 10 lots from Parcel 117N01E04C030, to be known as **CHOPPER INDUSTRIAL PARK**, containing 15.2 acres +/- . Proposed Chopper Circle is to serve as a public road, providing access for all proposed lots. The property is located south of East Mountain Heather Way, west of North Blue Ridge Circle, and east of North Hyer Road, within the SW ¼ Section 04, Township 17 North, Range 01 East, Seward Meridian, Alaska, in the South Lakes Community Council and in Assembly District #3.

EXHIBITS:

SUPPORTING DOCUMENTATION:

Vicinity Map and Aerial Photos

EXHIBIT A – 4 pgs

Topographic Map and As-Built

EXHIBIT B – 1 pg

Soils Report

EXHIBIT C – 30 pgs

Grading & Drainage Plan

EXHIBIT D – 5 pgs

Average Daily Traffic (ADT) Calculations

EXHIBIT E – 1 pg

AGENCY COMMENTS

Department of Public Works

EXHIBIT F – 1 pg

Utilities

EXHIBIT G – 3 pgs

DISCUSSION: The proposed subdivision is southeast of East Palmer Wasilla Highway. Petitioner will be creating ten lots, ranging in size from 1.02 acres to 2.55 acres. Access will be from East Palmer Wasilla Highway to the north connecting to a public road, to be named Chopper Circle.

Access: Legal and physical access to the proposed lots are required pursuant to MSB 43.20.100 Access Required, MSB 43.20.120 Legal Access and MSB 43.20.140 Physical Access. Access requirements will be met once interior street is constructed.

Soils Report: A geotechnical report was submitted, pursuant to MSB 43.20.281(A). Brandon Marcott, PE, notes Areas north of the proposed ROW containing lots 1-4, GM and SM soils were encountered to the full depth of the test holes. Remaining five test holes encountered one to four feet of fill above primarily GW in situ soils. Testhole location map and soils log are attached.

Groundwater was encountered at test holes 4 and 5 on lots 7 and 9 respectively. The groundwater table was encountered at approximately 13' of depth for TH-4 and at 14' of depth for TH-5. There exists an excavated hole on lot 8 that contains standing water at the time of the soils testing. The groundwater table for TH-4 was encountered roughly 13' below grade. According to available survey data, the surface of TH-4 is at elevation 353' and the water surface elevation of the hole is at elevation 339.50'. This correlates to an elevation difference between the surface of TH-4 to the groundwater table is of roughly 13.50 feet. The water surface elevation in the hole can serve as accurate means of groundwater monitoring for the site.

The Proposed Lots 1-4 have GM and SM soils were encountered through the full depth of the test holes. Hardpan soils of varying density were encountered at approximately 4 feet below existing grade in Test Holes 1 and 2. Sieve analyses were performed on samples from Lots 1-4 and confirmed GM in-situ materials. For the proposed Lots 5-10, the remaining five test holes conducted on the south half of the project encountered varying depths (approximately 1 to 4 feet) of fill overlying primarily GW in-situ soils. These soils were visually classified and are suitable for on-site septic systems.

All proposed lots 1-10 have at least 10,000 square feet of usable building area and 10,000 square feet of contiguous usable area for a septic drain field.

Comments: PD&E comments that “Coordinate with ADOT&PF for an approach road permit. Unless authorized by ADOT&PF any above ground utility facilities shall not be located within the Palmer-Wasilla Highway right of way nearer than 40’ to the proposed right of way of Chopper Circle, per 2022 SCM H02.2 (c).” As indicated on handout #1, RSA#9 objects on condition that Chopper Circle is to be a public road and part of the RSA. Has no objections if Chopper Circle were to become a private road.

Utilities: MTA asks that the dedication block be added to the plat. Enstar has no comments, recommendations or objections. GCI has no objections. MTA did not respond.

At the time of staff report write-up, there were no responses to the Request for Comments from US Army Corps of Engineers; Community Council Fishhook; Fire Service Area #132 Greater Palmer Consolidated; MSB Emergency Services, Community Development, Assessments, Planning, Pre-Design Division or Development Services.

CONCLUSION: The preliminary plat of Chopper Industrial Park is consistent with AS 29.40.070 Platting Regulations and MSB 43.15.016 Preliminary Plats. There were no objections from any federal or state agencies, Borough departments, or utilities. There were no objections to the plat from the public in response to the Notice of Public Hearing. Legal and physical access will exist to the proposed lots, consistent with MSB 43.20.100 Access Required, MSB 43.20.120 Legal Access and MSB 43.20.140 Physical Access. Frontage for the subdivision will exist, pursuant to MSB 43.20.320 Frontage. A soils report was submitted, pursuant to MSB 43.20.218(A)(1).

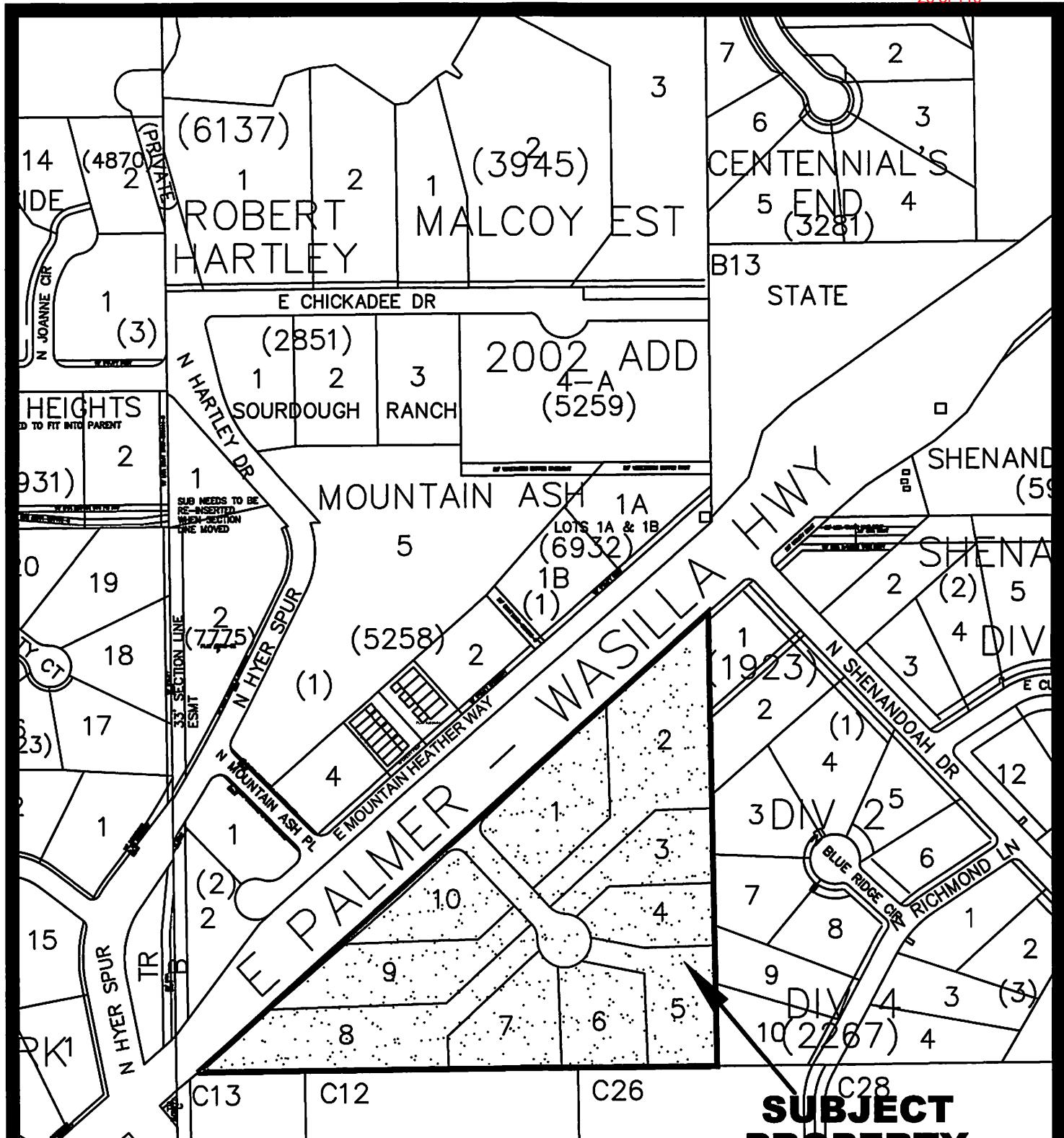
FINDINGS OF FACT

1. The plat of Chopper Industrial Park is consistent with AS 29.40.070 Platting Regulations and MSB 43.15.016 Preliminary Plats.
2. A soils report was submitted, pursuant to MSB 43.20.281(A)(1)
3. The lot has the required frontage pursuant to MSB 43.20.320.
4. At the time of staff report write-up, there were no responses to the Request for Comments from US Army Corps of Engineers; Alaska Department Fish & Game; Community Council South Lakes; Fire Service Area #130 Central Mat-Su; Road Service Area #9 Midway; MSB Emergency Services, Community Development, Assessments, Planning, or Development Services.
5. There were no objections from any federal or state agencies, Borough departments, or utilities.
6. There were no objections from the public in response to the Notice of Public Hearing.

RECOMMENDATIONS OF CONDITIONS OF APPROVAL

Suggested motion: I move to approve the preliminary plat of Chopper Industrial Park, Section 04, Township 17 North, Range 01 East, Seward Meridian, Alaska, contingent on staff recommendations

1. Taxes and special assessments must be paid in full for the year of recording, pursuant to MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs), by CERTIFIED FUNDS OR CASH.
2. Provide updated Certificate to Plat executed within seven (7) days of recording of plat and submit Beneficiary Affidavit for any holders of a beneficial interest.
3. Pay postage and advertising fees.
4. Obtain Approach Road Permit from ADOT&PF.
5. Construct the access road and cul-de-sac to pioneer standard according to the 2022 Subdivision Construction Manual (SCM):
 - a) Submit drainage report and other construction plans to Department of Public Works (DPW) per SCM F01.2;
 - b) Arrange preconstruction conference with DPW per SCM F01.3, sign Subdivision Construction Plan, pay inspection fee, and obtain Notice to Proceed from Platting staff;
 - c) Arrange Pre-Final and Final Inspections with DPW per SCM F01.6 and F01.7 and submit Final Report to Platting per F01.8;
 - d) Obtain Certificate of Construction Acceptance from DPW per F01.9.
 - e) Submit as-built of streets and drainage improvements to Platting staff once construction is complete.
 - f) Obtain approval of street names from Platting Assistant.
6. Show all easements of record on final plat.
7. Submit recording fees, payable to Department of Natural Resources (DNR).
8. Submit plat in full compliance with Title 43.

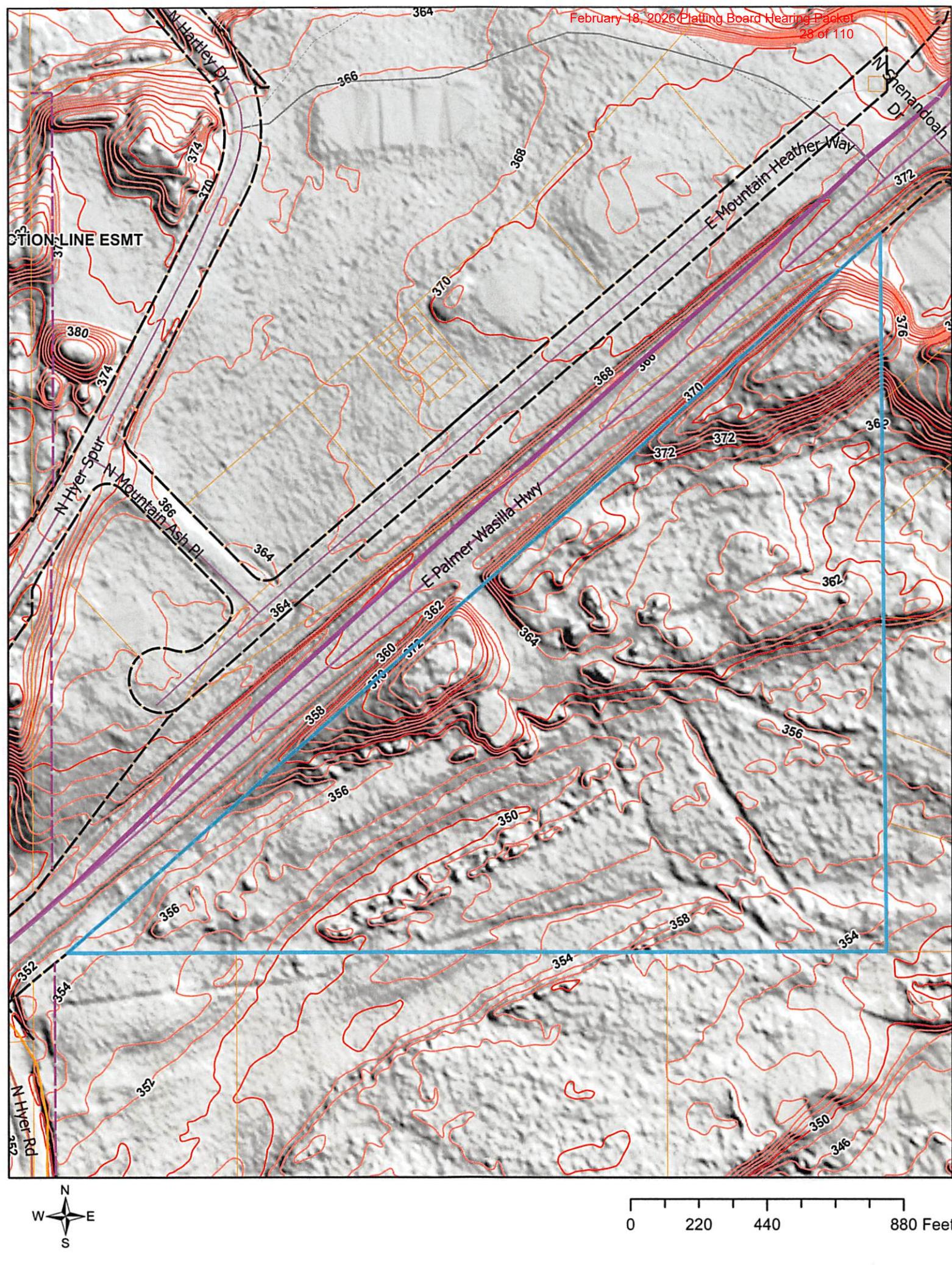


VICINITY MAP
FOR PROPOSED CHOPPER INDUSTRIAL PARK
SUBDIVISION
LOCATED WITHIN
SECTION 04, T17N, R01E, Seward Meridian
ALASKA
WA10 MAP



0 220 440 880 Feet

Matanuska-Susitna Borough, Microsoft







ENGINEERING, LLC

PHYSICAL

615 E. 82nd Ave., Suite 101
Anchorage, AK 99518

MAILING

P.O. Box 111989
Anchorage, AK 99511

OFFICE

907-561-6537

WEB

triadak.com

November 20th, 2025

Mat-Su Borough Planning Department
350 E. Dahlia Ave.
Palmer, AK 99645

RECEIVED
NOV 25 2025
PLATTING

Attention: Fred Wagner, PLS
Subject: **Proposed Chopper Industrial Park Subdivision, Lots 1-10 REV 1
Usable Area Report**

Mr. Wagner,

This letter provides a usable area analysis for proposed Lots 1-10, Chopper Industrial Park Subdivision in accordance with the Mat-Su Borough (MSB) Title 43 Code Requirements.

Project Description

The project site consists of an existing 15.2-acre parcel identified as T17N R01E Section 04. The proposed plat will subdivide the parcel into 10 lots. The property is located in the Matanuska-Susitna Borough, Alaska, immediately east of the intersection of N. Hyer Road and E. Palmer-Wasilla Highway.

The property has been previously cleared, grubbed, and graded, with the exception of native trees and vegetation remaining on Lot 9. A hole was excavated at the westerly end of Lot 8 to locate the water table and provide a water source for grading operations.

Title 43 Requirements

Title 43.20.281A.1.f states the following requirements for usable wastewater disposal area;

- (f) *Soils in a usable wastewater disposal area must be:*
 - (i) *clearly shown to be visually classified as GW, GP, SW, or SP under the Unified Soils Classification System and expected to have a percolation rate of 15 minutes per inch or less (faster);*
 - (ii) *clearly shown to be GM or SM under the Unified Soils Classification System by a sieve analysis; or*
 - (iii) *shown by a percolation test conducted in accordance with (ADEC) Alaska State Department of Environmental Conservation regulations to have a percolation rate of 60 minutes per inch or less (faster).*

Soils Investigation

Triad Engineering, LLC performed a soils investigation on May 2 and May 12, 2025. BC Excavation mobilized a Hitachi 350 LC excavator to the site and provided an operator for the investigation. Test holes were excavated at the locations shown on the location map on the following page. Soils encountered

November 20th, 2025
Subject: Proposed Chopper Industrial Park Subdivision, Lots 1-10 REV 1
Usable Area Report
Page 2 of 4

during the investigation were visually and mechanically classified in general accordance with the Unified Soil Classification System (USCS).

Two distinct subsurface profiles were encountered during the investigation:

- **Lots 1–4 (north of the proposed ROW):**

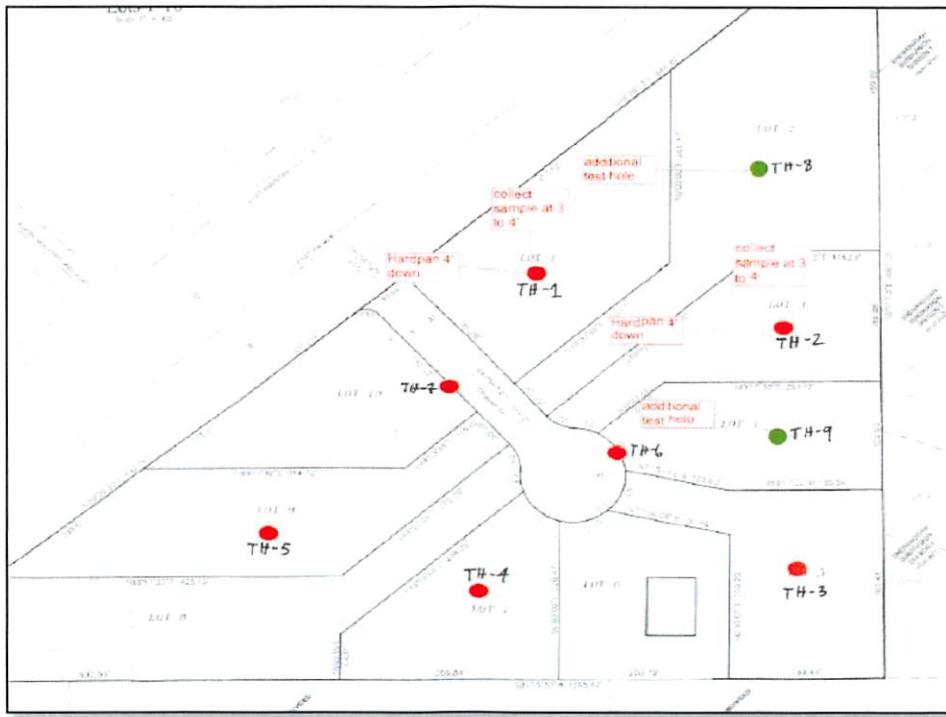
GM and SM soils were encountered through the full depth of the test holes. Hardpan soils of varying density were encountered at approximately 4 feet below existing grade in Test Holes 1 and 2. Sieve analyses were performed on samples from Lots 1–4 and confirmed GM in-situ materials.

- **Lots 5–10 (south of the proposed ROW):**

The remaining five test holes conducted on the south half of the project encountered varying depths (approximately 1 to 4 feet) of fill overlying primarily GW in-situ soils. These soils were visually classified and are suitable for on-site septic systems.

Percolation testing was completed in two locations along the cul-de-sac, at benches roughly 4 feet below the existing ground surface. The tests resulted in percolation rates of approximately 7.5 minutes per inch near Lot 10 and less than 1 minute per inch near Lot 4.

Test hole logs are attached to this report. Visual soil classification and percolation testing were performed by Triad Engineering, LLC, and sieve analysis was completed by Terra Firma Testing, Inc. Test hole logs and corresponding photos are attached to this report. A map of the test hole locations across the site is provided with this report.



Location Map

November 20th, 2025
Subject: Proposed Chopper Industrial Park Subdivision, Lots 1-10 REV 1
Usable Area Report
Page 3 of 4

Groundwater

Groundwater was encountered in Test Holes 4 and 5, located on Lots 7 and 9, respectively. The groundwater table was encountered at approximately 13 feet below grade in TH-4 and at approximately 14 feet below grade in TH-5. An excavated hole on Lot 8 contained standing water at the time of the soils testing.

For TH-4, groundwater was encountered roughly 13.5 feet below grade. Available survey data indicate the surface elevation at TH-4 is approximately 353.0 feet and the water surface elevation in the excavation is approximately 339.5 feet, which correlates to a groundwater depth of about 13.5 feet. The water surface elevation in this excavation can serve as a practical means of groundwater monitoring for the site.

Useable Area & Title 43 Compliance

Based on field observations, soil testing, and review of existing topography, adjacent properties, and overall site conditions, each of the proposed Lots 1–10 contains:

- **At least 10,000 square feet of usable building area, and**
- **At least 10,000 square feet of contiguous usable area for an on-site septic drain field, in accordance with MSB Title 43, Section 43.20.281.**

For Lots 5–10, the relatively uniform GW in-situ soils and percolation test results support the provision of both adequate building area and contiguous septic disposal area. These six lots were confirmed to have usable wastewater disposal area per *f.i* and *f.iii* above.

Lots 1–4 exhibit consistent GM and SM soils across the lots, with hardpan encountered at approximately 4 feet in two of the test holes. These four lots were confirmed to have usable wastewater disposal area per *f.ii* above. While Lots 1 and 3 may require mounded septic systems or shallow beds to place the drain fields in suitable infiltrative soils above the hardpan, each of these lots still provides the required 10,000 square feet of usable building area and 10,000 square feet of contiguous usable septic area.

Conclusion

In summary, the soils investigation, groundwater observations, and review of site conditions confirm that **all proposed Lots 1–10 contain a minimum of 10,000 square feet of usable building area and 10,000 square feet of usable septic area**, satisfying the applicable MSB Title 43 usable area requirements.

Thank you for your time and consideration in this matter. If you require additional information, please call 907-344-3114 or email brandonmarcott@triadak.com.

Sincerely,

Triad Engineering, LLC



Brandon Marcott, P.E.



November 20th, 2025
Subject: Proposed Chopper Industrial Park Subdivision, Lots 1-10 REV 1
Usable Area Report
Page 4 of 4

Attachments: Excavation Photos
Test Hole Logs
Sieve Analysis



Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 1 Township, Range, Section:

TH-1	Depth (Feet)	Slope										Site Plan										
1-	SILTY GRAVEL (GM)																					
2-																						
3-																						
4-	HARDPAN (see comments)																					
5-																						
6-																						
7-	SILTY GRAVEL (GM)																					
8-																						
9-	WAS GROUND WATER ENCOUNTERED? <u>No</u>																					
10-	IF YES, AT WHAT DEPTH? <u></u>																					
11-	Depth to Water After Monitoring? <u>N/A</u>																					
12-	BOH @ 12' NGWE	Date: <u>5.2.25</u>										SLOPE										
13-																						
14-																						
15-																						
16-																						
17-																						
18-																						
19-																						
20-																						
		PERCOLATION RATE <u>N/A</u> (minutes/inch)										PERC HOLE DIAMETER <u></u>										
		TEST RUN BETWEEN <u></u> FT AND <u></u> FT																				
COMMENTS <u>Top 4 feet confirmed as GM through sieve analysis. Visually and mechanically classified as Silty Gravel. Perc rate is anticipated to be 15 min/in or less. (MSB Standards 43.20.281.A.1.f.i)</u>																						
PERFORMED BY: <u>Triad Engineering, LLC</u> <u>John Walatka</u>													CERTIFY THAT THIS TEST WAS									
PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE.													DATE: <u>5.2.25</u>									





Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 3 Township, Range, Section:

TH-2	Depth (Feet)	Slope										Site Plan									
1-	SILTY GRAVEL (GP-GM)																				
2-																					
3-																					
4-	HARDPAN (see comments)																				
5-																					
6-																					
7-	GRAVEL w/ SILT & SAND (GP-GM)																				
8-																					
9-	WAS GROUND WATER ENCOUNTERED? <u>No</u>																				
10-	IF YES, AT WHAT DEPTH? <u> </u>																				
11-	Depth to Water After Monitoring? <u>N/A</u>																				
12-	BOH @ 12' NGWE	Date: <u>5.2.25</u>										SLOPE									
13-																					
14-	Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop															
15-																					
16-																					
17-																					
18-																					
19-																					
20-																					

PERCOLATION RATE N/A (minutes/inch)
TEST RUN BETWEEN FT AND FT
PERC HOLE DIAMETER

COMMENTS Top 4 feet confirmed as GP-GM through sieve analysis. Visually and mechanically classified as Poorly-graded Gravel w/ Silt and Sand.
Perc rates anticipated to be 15 min/in or less. (MSB Standards 43.20.281.A.1.f.i)

PERFORMED BY: Triad Engineering, LLC | John Walatka CERTIFY THAT THIS TEST WAS
PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE. DATE: 5.2.25





Soils Log - Percolation Test

Performed For: **Whiskey Romeo, LLC** Date Performed: **5.2.25**

Date Performed: 5.2.25

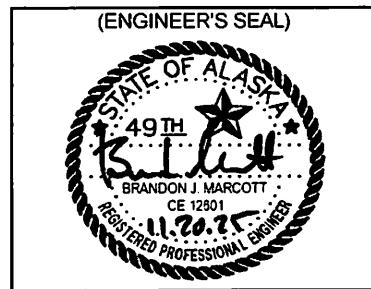
Legal Description: Chopper Industrial Park Subdivision, Lot 5 Township, Range, Section: _____

COMMENTS Soils visually classified as GW. Perc rates anticipated to be less than 1 min/in. (MSB Standards 43.20.281.A.1.f.i)

PERFORMED BY: Triad Engineering, LLC | John Walatka CERTIFY THAT THIS TEST WAS

PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE. DATE: 5.2.25





Soils Log - Percolation Test

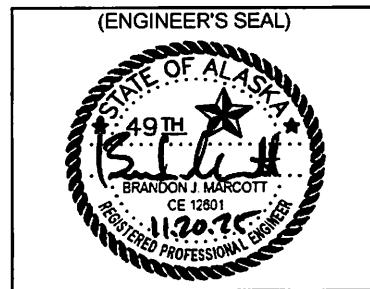
Performed For: **Whiskey Romeo, LLC** Date Performed: **5.2.25**

Legal Description: Chopper Industrial Park Subdivision, Lot 7 Township, Range, Section: _____

COMMENTS Groundwater seeps encountered at roughly 13' depth. Soils visually classified as GW. Perc rates anticipated to be less than 1 min/in.
(MSB Standards 43.20.281.A.1.f.)

PERFORMED BY: Triad Engineering, LLC | John Walatka CERTIFY THAT THIS TEST WAS
PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE. DATE: 5.2.25





Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 9 Township, Range, Section:

TH-5		Slope						Site Plan					
Depth (Feet)	PEAT (PT)												
1-													
2-													
3-													
4-													
5-													
6-	WELL GRADED GRAVEL (GW)												
7-													
8-													
9-													
10-													
11-													
12-	SAND (SP)												
13-	BOH @ 12'												
14-	▽ GWT @ 14'												
15-													
16-													
17-													
18-													
19-													
20-													

WAS GROUND WATER
ENCOUNTERED? YES

IF YES, AT WHAT DEPTH? 14'

Depth to Water After
Monitoring? N/A

Date: 5.2.25

S L O P E

Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop

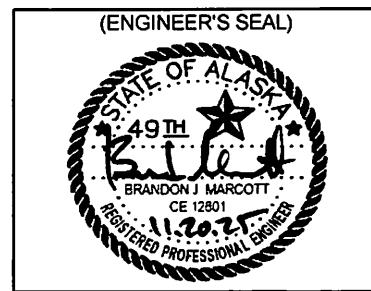
PERCOLATION RATE N/A (minutes/inch)
TEST RUN BETWEEN FT AND FT

COMMENTS Groundwater encountered at roughly 14' depth. Soils visually classified as GW. Perc rates anticipated to be less than 1 min/in.
BOH was at roughly 12' of depth, with 2' additional removed due to reporting the groundwater table. (MSB Standards 43.20.281.A.1.f.i.)

(MSB Standards 43.20.281.A.1.b.ii.bb)

PERFORMED BY: Triad Engineering, LLC | John Walatka CERTIFY THAT THIS TEST WAS
 PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE. DATE: 5.2.25





Soils Log - Percolation Test

Performed For: **Whiskey Romeo, LLC** Date Performed: **5.2.25**

Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 4 (cul-de-sac) Township, Range, Section: _____

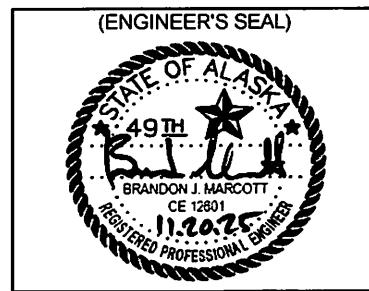
TH-6		Slope		Site Plan		
Depth (Feet)						
1-						
2-						
3-						
4-	SANDY GRAVEL (GPS)					
5-						
6-						
7-						
8-						
9-		WAS GROUND WATER ENCOUNTERED?	NO			
10-	SILTY SAND (SP-SM)	IF YES, AT WHAT DEPTH?		S		
11-		Depth to Water After Monitoring?	N/A	L		
12-	BOH @ 12' NGWE		Date: 5.2.25	O		
13-				P		
14-				E		
15-						
16-						
17-						
18-	Reading No.	Gross Time Start/Stop (HH:MM:SS)	Net Time (Minutes)	Depth to Water Start/Stop (Feet)	Net Drop (In)	
19-	1	0:00:00 / 0:01:05	1.08	4.17	4.67	6
20-	2	0:00:00 / 0:01:40	1.67	4.17	4.67	6

PERCOLATION RATE < 1 (minutes/inch) PERC HOLE DIAMETER 6"
 TEST RUN BETWEEN 4 FT AND 5 FT

COMMENTS Soil strata used for the perc test visually classified as Sandy Gravel (GPS). Perc test performed along 4' deep bench. Perc test was conducted in accordance with ADEC regulations. (MSB Standards 43.20.281.A.1.f.iii)

PERFORMED BY: Triad Engineering, LLC I John Walatka CERTIFY THAT THIS TEST WAS
PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE. DATE: 5.2.25





Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC Date Performed: 5.2.25

Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 10 (cul-de-sac) Township, Range, Section:

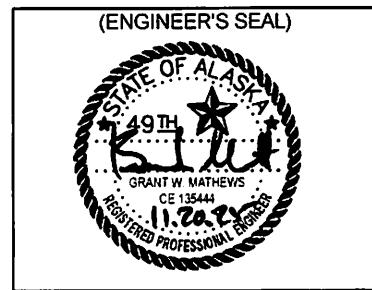
PERCOLATION RATE 7.5 (minutes/inch) PERC HOLE DIAMETER 6"
TEST RUN BETWEEN 5 FT AND 6 FT

COMMENTS Soils were visually classified as Well Graded Gravel (GW). Perc test was performed at 5' bench in accordance with ADEC regulations.

(MSB Standards 43.20.281.A.1.f.iii)

PERFORMED BY: Triad Engineering, LLC | John Walatka CERTIFY THAT THIS TEST WAS
PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE. DATE: 5.2.25





Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC Date Performed: 5.12.25

Legal Description: Chopper Industrial Park Subdivision, Lot 2 Township, Range, Section:

TH-8	Depth (Feet)	Soil Description	Slope			Site Plan		
			1	2	3	4	5	6
1-		WELL GRADED GRAVEL (GW) FILL						
2-								
3-								
4-								
5-								
6-								
7-								
8-								
9-			WAS GROUND WATER ENCOUNTERED? <u>NO</u>					
10-			IF YES, AT WHAT DEPTH? <u> </u>					
11-			Depth to Water After Monitoring? <u>N/A</u>					
12-			Date: <u>5.12.25</u>					
13-	<u>BOH @ 13'</u> <u>NGWE</u>							
14-								
15-								
16-								
17-								
18-								
19-								
20-								

PERCOLATION RATE N/A (minutes/inch) PERC HOLE DIAMETER
TEST RUN BETWEEN FT AND FT

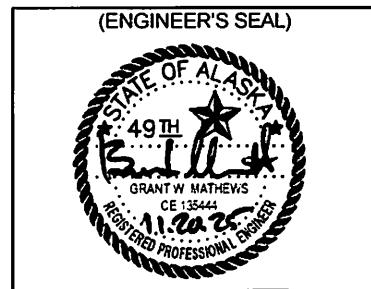
COMMENTS Soils visually classified as GW and SM. Visually and Mechanically classified as Silty Sand.

Perc rates anticipated to be 15 min/in or less. (MSB Standards 43.20.281.A.1.f.i.)

PERFORMED BY: Triad Engineering, LLC | John Walatka CERTIFY THAT THIS TEST WAS

PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE. DATE: 5.12.25





Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC Date Performed: 5.12.25

Legal Description: Chopper Industrial Park Subdivision, Lot 4 Township, Range, Section:

		Slope			Site Plan		
TH-9							
Depth (Feet)							
1-							
2-							
3-							
4-							
5-	SILTY GRAVEL (GM)						
6-							
7-							
8-							
9-							
10-							
11-							
12-	BOH @ 12' NGWE						
13-							
14-							
15-							
16-							
17-							
18-							
19-							
20-							

WAS GROUND WATER
ENCOUNTERED? NO

IF YES, AT WHAT DEPTH? _____

Depth to Water After
Monitoring? N/A

Date: 5.12.25

S
L
O
P
E

Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop

PERCOLATION RATE N/A (minutes/inch)
TEST RUN BETWEEN _____ FT AND _____ FT

COMMENTS Top 4 feet confirmed as GM through sieve analysis. Mechanically and Visually classified as Silty Gravel.

Perc rates anticipated to be 15 min/in or less. (MSB Standards 43.20.281.A.1.f.i)

PERFORMED BY: Triad Engineering, LLC | John Walatka CERTIFY THAT THIS TEST WAS
PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE. DATE: 5.12.25



Northern Geotechnical Engineering, Inc. -
Terra Firma Testing
11301 Olive Lane, Anchorage, Alaska 99515
Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-2
Issue No: 2

This report replaces all previous issues of this report
signed on 05/20/2025

Material Test Report

Client: Triad Engineering, LLC
Project: 10016-25
Chopper Industrial Park

Reviewed By: Andrew Smith, Senior Geologist, P.E., C.P.G.
Date: 5/21/2025

The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made. Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

Sample Details		Sample Description:																															
Sample ID	25-92-2																																
Field Sample ID	TH-1 (LOT 1)																																
Date Sampled	5/13/2025																																
Material	Soil Grab																																
Sampling Method																																	
Particle Size Distribution		Grading: ASTM C136																															
		Drying By: Oven Date Tested: 5/15/2025 Tested By: Jacob Marvin																															
		Sieve Size % Passing Limits																															
<table border="1"> <thead> <tr> <th>Sieve Size</th> <th>% Passing</th> </tr> </thead> <tbody> <tr><td>6in</td><td>100</td></tr> <tr><td>3in</td><td>94</td></tr> <tr><td>1 1/2in</td><td>85</td></tr> <tr><td>3/4in</td><td>77</td></tr> <tr><td>1/2in</td><td>71</td></tr> <tr><td>3/8in</td><td>68</td></tr> <tr><td>1/4in</td><td>64</td></tr> <tr><td>No.4</td><td>61</td></tr> <tr><td>No.10</td><td>55</td></tr> <tr><td>No.20</td><td>49</td></tr> <tr><td>No.40</td><td>42</td></tr> <tr><td>No.60</td><td>37</td></tr> <tr><td>No.100</td><td>31</td></tr> <tr><td>No.200</td><td>24</td></tr> </tbody> </table>		Sieve Size	% Passing	6in	100	3in	94	1 1/2in	85	3/4in	77	1/2in	71	3/8in	68	1/4in	64	No.4	61	No.10	55	No.20	49	No.40	42	No.60	37	No.100	31	No.200	24		
Sieve Size	% Passing																																
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<table border="1"> <thead> <tr> <th rowspan="2">BOULDERS</th> <th rowspan="2">COBBLES</th> <th colspan="2">GRAVEL (33%)</th> <th colspan="3">SAND (37%)</th> <th rowspan="2">SILT/CLAY</th> </tr> <tr> <th>COARSE</th> <th>FINE</th> <th>COARSE</th> <th>MEDIUM</th> <th>FINE</th> </tr> </thead> <tbody> <tr> <td>0%</td> <td>6%</td> <td>16.3%</td> <td>16.8%</td> <td>5.4%</td> <td>12.7%</td> <td>18.9%</td> <td>24%</td> </tr> </tbody> </table>		BOULDERS	COBBLES	GRAVEL (33%)		SAND (37%)			SILT/CLAY	COARSE	FINE	COARSE	MEDIUM	FINE	0%	6%	16.3%	16.8%	5.4%	12.7%	18.9%	24%	D85: 38.2549 D60: 4.3248 D50: 0.9900 D30: 0.1394 D15: N/A D10: N/A Cu: N/A Cc: N/A										
BOULDERS	COBBLES			GRAVEL (33%)		SAND (37%)				SILT/CLAY																							
		COARSE	FINE	COARSE	MEDIUM	FINE																											
0%	6%	16.3%	16.8%	5.4%	12.7%	18.9%	24%																										

Northern Geotechnical Engineering, Inc. -
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Report No: MAT:25-92-2
Issue No: 2

This report replaces all previous issues of this report
signed on 05/20/2025

Material Test Report

Client: Triad Engineering, LLC
Project: 10016-25
Chopper Industrial Park

Reviewed By: Andrew Smith, Senior Geologist, P.E., C.P.G.
Date: 5/21/2025

The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made. Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

Sample Details

Sample ID	25-92-2
Field Sample ID	TH-1
Date Sampled	5/13/2025
Material	Soil
Sampling Method	Grab

Other Test Results

Description	Method	Result	Limits
Cu	ASTM D2487		
Cc			
FM	ASTM C136		
Procedure	ASTM C117	A	
Water Content (%)	ASTM D2216	6.3	
Date Tested		5/13/2025	
Tested By		Jacob Marvin	
Group Symbol	ASTM D2487	[GM]	
Group Name		Silty gravel with sand	
Gravel (%)		39	
Sand (%)		37	
Fines (%)		24	
Date Tested		5/21/2025	

Comments

N/A

Northern Geotechnical Engineering, Inc. -
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11301 Olive Lane, Anchorage, Alaska 99515
Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-3
Issue No: 2

This report replaces all previous issues of this report
signed on 05/20/2025

Material Test Report

Client: Triad Engineering, LLC
Project: 10016-25
Chopper Industrial Park

Reviewed By: Andrew Smith, Senior Geologist, P.E., C.P.G.
Date: 5/21/2025

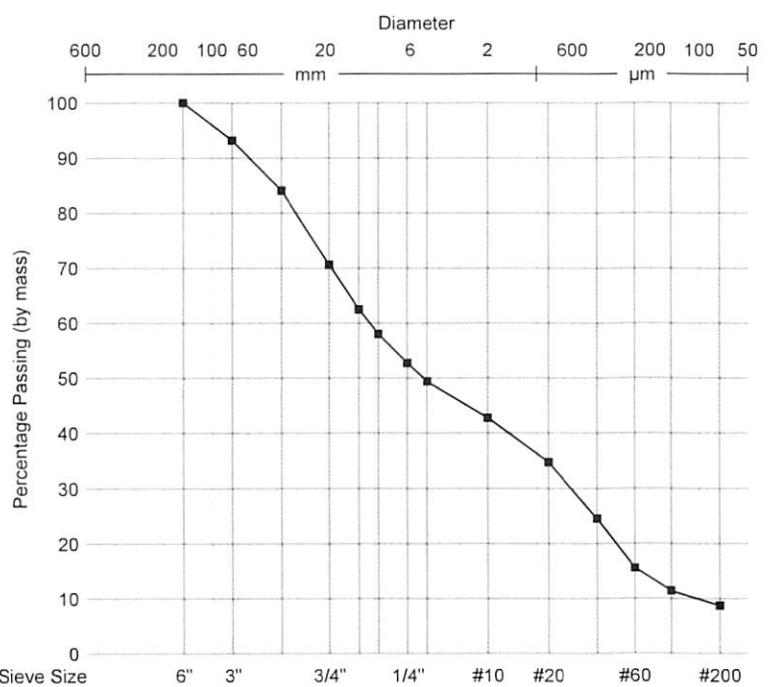
The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made. Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

Sample Details

Sample ID 25-92-3
Field Sample ID TH-2 (LOT 3)
Material Soil Grab
Sampling Method

Sample Description:

Particle Size Distribution



BOULDERS	COBBLES	GRAVEL (44%)		SAND (41%)			SILT/CLAY
		COARSE	FINE	COARSE	MEDIUM	FINE	
0%	7%	22.5%	21.2%	6.7%	18.1%	15.8%	9%

Grading: ASTM C136

Drying By: Oven
Date Tested: 5/15/2025
Tested By: Jacob Marvin

Sieve Size	% Passing	Limits
6in	100	
3in	93	
1 1/2in	84	
3/4in	71	
1/2in	63	
3/8in	58	
1/4in	53	
No.4	49	
No.10	43	
No.20	35	
No.40	25	
No.60	16	
No.100	11	
No.200	8.7	

D85: 40.2079 D60: 10.7133 D50: 5.0003
D30: 0.6148 D15: 0.2325 D10: 0.1043
Cu: 102.74 Cc: 0.34

Northern Geotechnical Engineering, Inc. -
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Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-3

Issue No: 2

This report replaces all previous issues of this report
signed on 05/20/2025

Material Test Report

Client: Triad Engineering, LLC

Project: 10016-25
Chopper Industrial Park

Reviewed By: Andrew Smith, Senior Geologist, P.E., C.P.G.
Date: 5/21/2025

The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made. Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

Sample Details

Sample ID	25-92-3
Field Sample ID	TH-2
Material	Soil
Sampling Method	Grab

Other Test Results

Description	Method	Result	Limits
Cu	ASTM D2487	102.74	
Cc		0.34	
FM	ASTM C136		
Procedure	ASTM C117		A
Water Content (%)	ASTM D2216	4.2	
Date Tested		5/13/2025	
Tested By		Jacob Marvin	
Group Symbol	ASTM D2487	[GP-GM]	
Group Name		Poorly-graded gravel with silt and sand	
Gravel (%)		50	
Sand (%)		41	
Fines (%)		9	
Date Tested		5/21/2025	

Comments

N/A

Northern Geotechnical Engineering, Inc. -
Terra Firma Testing
11301 Olive Lane, Anchorage, Alaska 99515
Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-4

Issue No: 2

This report replaces all previous issues of this report
signed on 05/20/2025

Material Test Report

Client: Triad Engineering, LLC
Project: 10016-25
Chopper Industrial Park

Reviewed By: Andrew Smith, Senior Geologist, P.E., C.P.G.
Date: 5/21/2025

The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made. Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

Sample Details		Sample Description:																																														
Sample ID	25-92-4																																															
Field Sample ID	TH-8 (LOT 2)																																															
Material	Soil Grab																																															
Sampling Method																																																
Particle Size Distribution																																																
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Northern Geotechnical Engineering, Inc. -
Terra Firma Testing
11301 Olive Lane, Anchorage, Alaska 99515
Phone: (907) 344-5934 | www.ngt-tft.com



Report No: MAT:25-92-4

Issue No: 2

*This report replaces all previous issues of this report
signed on 05/20/2025*

Material Test Report

Client: Triad Engineering, LLC
Project: 10016-25
Chopper Industrial Park

Reviewed By: Andrew Smith, Senior Geologist, P.E., C.P.G.
Date: 5/21/2025

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Sample Details

Sample ID	25-92-4
Field Sample ID	TH-8
Material	Soil
Sampling Method	Grab

Other Test Results

Description	Method	Result	Limits
Cu	ASTM D2487		
Cc			
FM	ASTM C136		
Procedure	ASTM C117	A	
Water Content (%)	ASTM D2216	6	
Date Tested		5/13/2025	
Tested By		Jacob Marvin	
Group Symbol	ASTM D2487	[SM]	
Group Name		Silty sand with gravel	
Gravel (%)		41	
Sand (%)		47	
Fines (%)		12	
Date Tested		5/21/2025	

Comments

N/A

**Northern Geotechnical Engineering, Inc. -
Terra Firma Testing**
11301 Olive Lane, Anchorage, Alaska 99515
Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-5

Issue No: 2

*This report replaces all previous issues of this report
signed on 05/20/2025*

Material Test Report

Client: Triad Engineering, LLC
Project: 10016-25
Chopper Industrial Park

Reviewed By: Andrew Smith, Senior Geologist, P.E., C.P.G.
Date: 5/21/2025

The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made. Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

Sample Details

Sample ID	25-92-5
Field Sample ID	TH-9 (LOT 4)
Material	Soil Grab
Sampling Method	

Sample Description:

Grading: ASTM C136

Drying By: Oven
 Date Tested: 5/15/2025
 Tested By: Jacob Marvin

Sieve Size	% Passing	Limits
6in	100	
3in	95	
1½in	82	
¾in	68	
½in	62	
3/8in	58	
¼in	54	
No.4	52	
No.10	47	
No.20	44	
No.40	36	
No.60	26	
No.100	22	
No.200	19	

Particle Size Distribution

Sieve Size	6"	3"	3/4"	1/4"	#10	#20	#40	#60	#100	#200		
Percentage Passing (by mass)	100	~95	~82	~68	~58	~52	~46	~44	~37	~25	~22	~20

BOULDERS	COBBLES	GRAVEL (43%)		SAND (33%)			SILT/CLAY	
		COARSE	FINE	COARSE	MEDIUM	FINE		
0%	5%	26.9%	15.9%	5.3%	10.1%	17.6%	19%	

D85: 45.0308 D60: 10.8251 D50: 3.4924
 D30: 0.3079 D15: N/A D10: N/A
 Cu: N/A Cc: N/A

CHOPPER INDUSTRIAL SUBDIVISION LOTS 1-10

STREET, GRADING, & DRAINAGE IMPROVEMENT PLANS

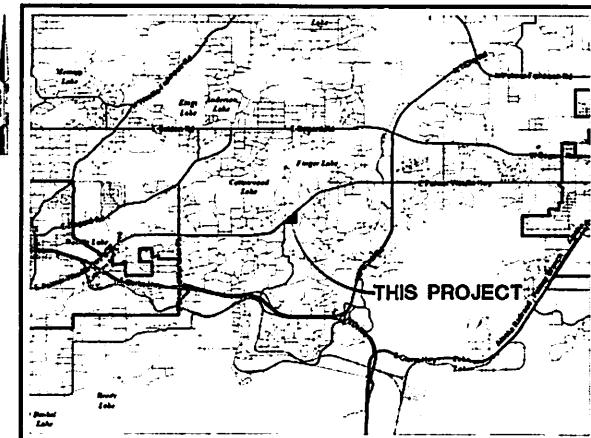
PA# 20250073

AUGUST 2025

ENGINEERED TRIAD ENGINEERING, LLC
BY: P.O. BOX 111989
ANCHORAGE, AK 99511
(907) 344-3114

SURVEYED S4 GROUP
BY: 124 E. 7TH AVENUE
ANCHORAGE, AK 99501
(907) 308-8104

OWNER:
WHISKEY ROMEO, LLC
2809 S CHARMING VALLEY LP
PALMER, AK 99645
(907) 947-1939
CONTACT PERSON: BEN RYAN



LOCATION MAP

SCALE: 1 INCH = 1000 FEET

CHOPPER INDUSTRIAL SUBDIVISION, LOTS 1-10

RECEIVED
OCT 16 2025
PLATTING



TRIAD
ENGINEERING, LLC
124 E. 7th Avenue
Anchorage, AK 99501
(907) 344-3114
Fax: (907) 344-3115
Email: info@triadak.com

RECORD DRAWING
1. DATA PROVIDED
2. DATA TRANSFERRED
3. DATA TRANSFERRED
Based on survey. No representations by the Surveyor
or Engineer as to the correctness of the street improvement. The
Surveyor or Engineer is not responsible for any errors or omissions
in the drawing. The Surveyor or Engineer is responsible for the
accuracy of the survey and the correctness of the street improvement.
Surveyor or Engineer: [Signature]

CHOPPER INDUSTRIAL
SUBDIVISION, LOTS 1-10
TITLE SHEET

DESCRIPTION
SHEET
TITLE SHEET C1 of 5
KEY MAPS C2 of 5
NOTES & LEGENDS C3 of 5
SITE & GRADING PLANS C4 of 5
CHOPPER CIRCLE C5 of 5

INDEX

SHEET	INDEX
1	1
2	2
3	3
4	4
5	5

PA#20250073

5

EXHIBIT D

EXISTING UTILITIES

- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES (GAS, ELECTRIC, TELEPHONE, CABLE) PRIOR TO DRAWDING AND/OR CONSTRUCTION.
- THE CONTRACTOR SHALL SCHEDULE ALL NECESSARY UTILITY RELOCATIONS (GAS, ELECTRIC, TELEPHONE, CABLE) PRIOR TO DRAWDING AND/OR CONSTRUCTION.

QUALITY CONTROL AND QUALITY ASSURANCE PROGRAM

- COMPACTION TESTING SHALL BE PER ASTM D2922.
- ENGINEER BY A QUALIFIED TECHNICIAN, UNDER THE DIRECT SUPERVISION OF THE PROJECT ENGINEER SHALL OCCUR DURING CONSTRUCTION.
- QUALITY CONTROL PLANS AND TESTING STANDARDS MUST COMPLY WITH SECTION 6 CONSTRUCTION REQUIREMENTS OF THE MATAHUSA-SUSITNA BOROUGH 2022 SUBDIVISION CONSTRUCTION MANUAL.

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE INSTALLED AS SPECIFIED IN THE MATAHUSA-SUSITNA BOROUGH 2022 SUBDIVISION CONSTRUCTION MANUAL.
- MANTAIN MINIMUM OF 12" (30 CM) HORIZONTAL AND 18" (45 CM) VERTICAL SEPARATION BETWEEN ANY WATERLINE (WATER OR SERVICES) AND SANITARY SEWER (WATER OR SERVICES) OR STORM SEWER (WATER OR SERVICES). SANITARY AND STORM SEWER PIPE JOINTS SHALL BE PLACED AT LEAST 18" (45 CM) FEET FROM ANY WATERLINE CROSSING. SEPARATION DISTANCES ARE MEASURED FROM THE OUTSIDE OF PIPES.
- MANTAIN A MINIMUM THIRTY-SEVEN (37) INCHES OF VERTICAL SEPARATION BETWEEN ANY STORM SEWER (WATER OR SERVICES) AND WATERLINE (WATER OR SERVICES) OF SANITARY SEWER (WATER OR SERVICES). THIRTY-SEVEN (37) INCHES CANNOT BE MANTAINED, PROCE A MINIMUM OF 4'-8" (1.4M) MODULUS.
- CONTRACTOR SHALL VERIFY AND RECORD THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL UTILITIES ENCOUNTERED IN THE FIELD AND RECORD ANY CHANGES ON THE CONTRACTOR'S RECORD DRAWINGS.
- CONTRACTOR SHALL RESTORE ALL PROPERTY, INCLUDING DRAINAGE SWALES DISTURBED BY CONTRACT ACTIVITIES TO PRE-CONSTRUCTION CONDITION.
- IN CASE OF CONFLICT BETWEEN STATIONING LOCATION OF PIPE OR FITTINGS AND DIMENSIONED LOCATIONS RELATED TO CENTERLINE AND PROPERTY LINE, THE DIMENSIONED LOCATIONS SHALL DOMINATE.
- THE CONTRACTOR SHALL RECORD SURVEY NOTES FOR SUBMITAL WITH RECORD DRAWING PLANS PRIOR TO CONTRACT FINAL PAYMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS AS NECESSARY TO COMPLY WITH FEDERAL, STATE, AND MUNICIPAL LAWS THAT PROHIBIT UN-PERMITTED DISCHARGE OF EROSION AND SEDIMENT INTO WATERS OF THE UNITED STATES. DURING CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL CONSTRUCT A SEPARATE SEDIMENT PIT TRANSPORTED OUT BY THE ROADWAY OR ADJACENT PROPERTY. AT A MINIMUM, THE CONTRACTOR SHALL SHEET OFF ANY TRACTED CROW FACES SURFACES IN PUBLIC RIGHT-OF-WAYS AND OTHER PROPERTY TO MINIMIZE THE SPILL-OFF OF SEDIMENT INTO THE STORM DRAINS OR WATERWAYS.

STORM DRAIN NOTES

- ALL STORM DRAIN SHALL BE HIGH DENSITY CORRUGATED POLYPROPYLENE (PP) SMOOTH INTERIOR PIPE, AS3030 OR EQUAL.
- ALL CULVERT CONSTRUCTION SHALL BE IN ACCORDANCE WITH MASS. THE PIPE MANUFACTURER'S RECOMMENDATION AND ASTM D 231-03 WITH PROPER PLACEMENT AND COMBINATION OF BACKFILL, HANGING, AND BACKFILL.
- ALL FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED BY AASHTO T-180-METHOD-D.

AGGREGATE PROPERTIES FOR BASE COURSE

PROPERTY	TEST RESULTS	Base Course
L.A. Wear, %	AASHTO T96	50, max
Degradation Value	ATM 313	45, min
Fracture, %	ATM 305	70, max
Plastic Index	ATM 205	6, max
Sodium Sulfate (loss, %)	AASHTO T104	9, max (5 cycles)

AGGREGATE GRADATIONS

Stone Description	Subgrade	Base Course	Surface Course
1 1/2 inch		100	
1 inch		100	
3/4 inch	70 to 100	70 to 100	
3/8 inch	50 to 80	50 to 85	
No. 4	20 to 60	35 to 65	35 to 75
No. 8	20 to 50	20 to 60	
No. 50	6 to 30	15 to 30	
No. 200	0 to 10	0 to 6	7 to 13

Percent Passing By Weight.

Percent Passing By Weight.

STREET NOTES

- ALL GROUNDS AND ELEVATIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- WATER FLOWING FROM THE CONTRACTOR'S DEMARLING EFFORT MAY ALSO BE PUMPED OR OTHERWISE DIVERTED INTO EXISTING STORM DRAINS UNLESS REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO THE MUNICIPALITY OF ANCHORAGE STORM WATER PLAN REVIEW OFFICE, ARE OBTAINED BY THE CONTRACTOR. UNDER NO CIRCUMSTANCES WILL THE CONTRACTOR ALLOW ANY WATER TO FLOW INTO THE CONTRACTOR'S PROPERTY. THE CONTRACTOR SHALL PROVIDE A DEDICATED SITE FOR EXCESS WATER AND BE RESPONSIBLE FOR SECURING ALL NECESSARY PERMITS AND APPROVALS. CONTRACTOR SHALL PROVIDE COPIES OF PERMITS AND APPROVALS TO THE MUNICIPALITY OF ANCHORAGE.
- IN PREPARATION FOR AND IMMEDIATELY PRIOR TO PAVING, CONTRACTOR SHALL SAW CUT AND REMOVE ADDITIONAL MATERIAL AS REQUIRED TO ESTABLISH PAVEMENT EDGE. THE ENGINEER MAY REQUIRE MORE THAN A 12"-INCH ADDITIONAL CUT IF THE EXISTING PAVEMENT HAS BEEN LIFTED IN THE REMOVAL PROCESS. IF THE JOINT DOES NOT OCCUR ON UNDISTURBED MATERIAL OR IF THE JOINT IS LOCATED ON THE SAME CUT, CUTS WILL BE MADE WITH SAME SAW CUT. THE JOINT MAY NOT BE PERPENDICULAR TO CENTERLINE, BUT SHALL BE SICKLE SHAPED (T-SHAPED) AND 12"-INCH DEEP.
- LEVELS OF EXCAVATION SHOWN ON THE PLANS ARE APPROXIMATE FINAL LEVELS TO BE DETERMINED IN THE FIELD BY THE ENGINEER TO INSURE THAT OVER EXCAVATION DOES NOT OCCUR. THE CONTRACTOR WILL LIMIT THE INITIAL MASS EXCAVATION OF THE ROADBED TO A MAXIMUM OF 12" (30 CM) DEEP. EXCAVATION DEEPER THAN 12" (30 CM) DEEP WILL BE APPROVED BY THE ENGINEER. EXCAVATION DEEPER THAN 12" (30 CM) DEEP WILL REQUIRE REMOVAL OF MATERIAL TO THE APPROXIMATE LEVELS OF EXCAVATION DEPTH. DEEP EXCAVATION DEPTH WILL OCCUR AFTER INSTALLATION OF WATER AND SANITARY SEWER MAINS. SANITARY SERVICE CONNECTS AS WELL AS STORM DRAIN IMPROVEMENTS.
- ALL FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED BY AASHTO T-180-METHOD-D.

ASPHALT CONCRETE, AS APPROVED BY THE ENGINEER, MATCH EXISTING, (2" MIN.)

NATURAL AREAS

STREETS

VARIES

12"

MIN.

EXISTING PAVEMENT

STREETS

AREAS

12"

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EXISTING PAVEMENT

STREETS

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EXISTING PAVEMENT</

INFILTRATION TRENCH SCHEDULE

STREET	START	END	STATION	OFFSET	LENGTH	INC 30
CHOPPER CIRCLE	1745' 65	1741' 66	22.50 P	20.00'	12.5'	
CHOPPER CIRCLE	12451' 66	12451' 66	22.56 L	20.00'	12.5'	
CHOPPER CIRCLE	13487' 03	14406' 00	47.35 L	25.00'	12.5'	
CHOPPER CIRCLE	13486' 99	14405' 66	47.35 R	20.00'	12.5'	
CHOPPER CIRCLE	14405.41	14405.82	0.00	23.00	12.5'	

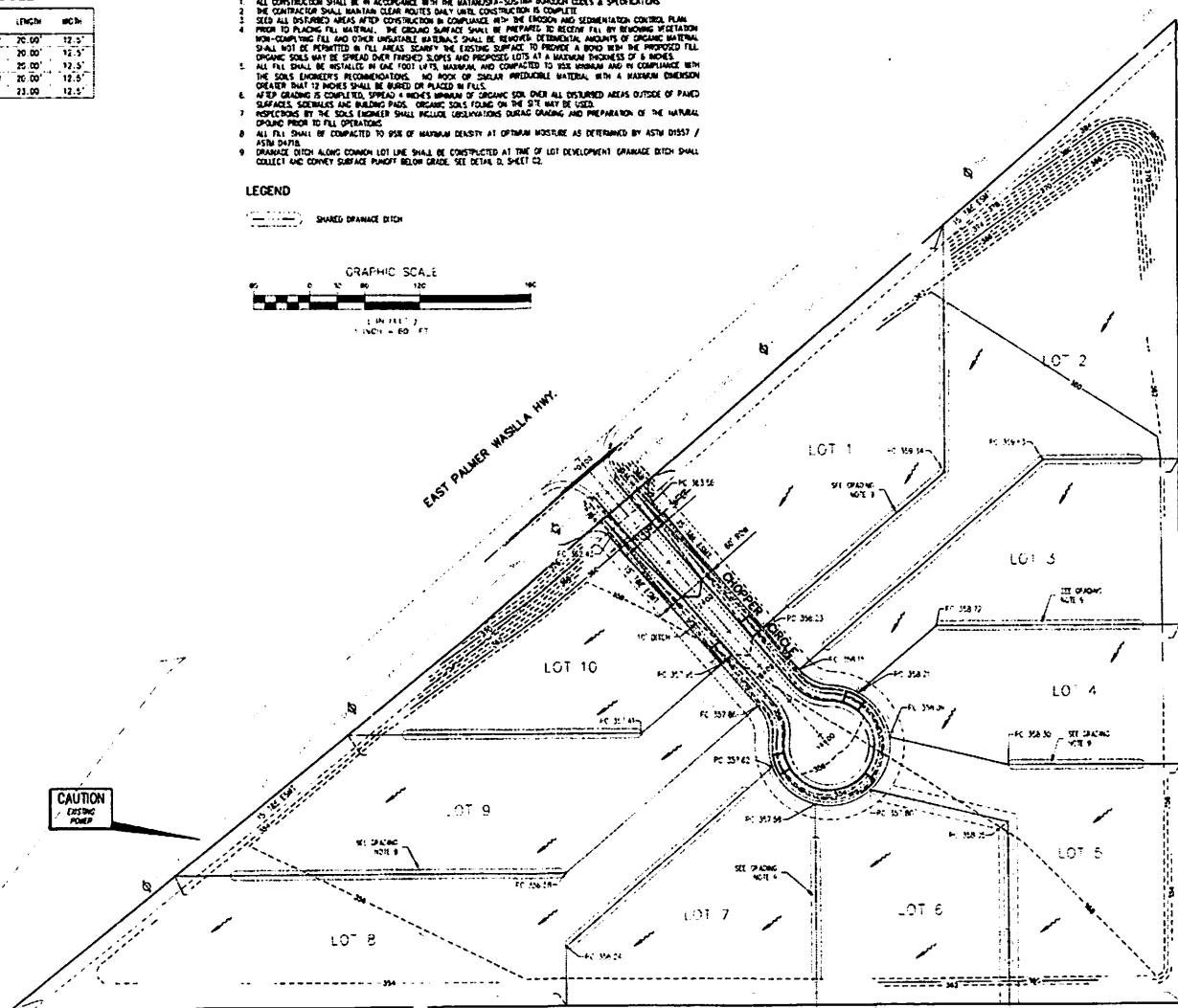
NOTES
1. SEE DETAIL C ON SHEET C2
2. OFFSET DENOTES MIDPOINT OF TRENCH NOT THE FLOOR
LINE

GRADING NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE MARYLAND-AUGUSTA BOROUGH CODES & SPECIFICATIONS.
2. THE CONSTRUCTION SHALL MAINTAIN CLEAR ROUTES DAILY UNTIL CONSTRUCTION IS COMPLETE.
3. SEED ALL DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND THE EROSION AND SEDIMENTATION CONTROL PLAN IS APPROVED. PLANT SEEDS AND OTHER UNDISTURBED MATERIALS SHALL NOT BE REMOVED. DECOMPOSING AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FULL AREAS. SEEDS SHALL BE SPREAD ON THE EXISTING SURFACE TO PREVENT A BOND WITH THE PROPOSED FILL. ORGANIC MATERIAL SHALL NOT BE SPREAD OVER FINISHED SURFACES AND PROPOSEDLOTS AT A MAXIMUM THICKNESS OF 12 INCHES. THE CONSTRUCTION CONTRACTOR SHALL NOT SPREAD ORGANIC MATERIAL OVER THE EXISTING SURFACE UNLESS APPROVED IN WRITING BY THE SOILS ENGINEER'S RECOMMENDATION. NO ROCK OR GRANULABLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN 12 INCHES SHALL BE BURIED OR PLACED IN FILLS.
4. AFTER GRADING IS COMPLETED, SPREAD A WEEDS MULCH OR ORGANIC SOIL OVER ALL DISTURBED AREAS OUTSIDE OF PAVED AREAS. THE MULCH OR SOIL SHALL NOT EXCEED 12 INCHES IN THICKNESS. THE MULCH OR SOIL SHALL NOT BE SPREAD ON THE EXISTING SURFACE UNLESS APPROVED IN WRITING BY THE SOILS ENGINEER'S RECOMMENDATION.
5. INSPECTIONS BY THE SOILS ENGINEER SHALL INCLUDE INSPECTIONS DURING DRAINAGE DRAINING AND PREPARATION OF THE NATURAL GROUND PRIOR TO FULL OPERATIONS.
6. ALL FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED BY ASTM D3557 / 56 TEST.
7. ALL DRAINS SHALL BE PLACED IN THE DRAINED AREAS.
8. DRAINAGE DITCH ALONG COMMON LOT LINE SHALL BE CONSTRUCTED AT TIME OF LOT DEVELOPMENT. DRAINAGE DITCH SHALL COLLECT AND CONVEY SURFACE PUNCHED BELOW GRADE. SEE DETAIL D, SHEET C2.

LEGEND

— — — SHARED DRAINAGE DITCH



CHOPPER INDUSTRIAL SUBDIVISION, LOTS 1-10

PA#20250073

C4

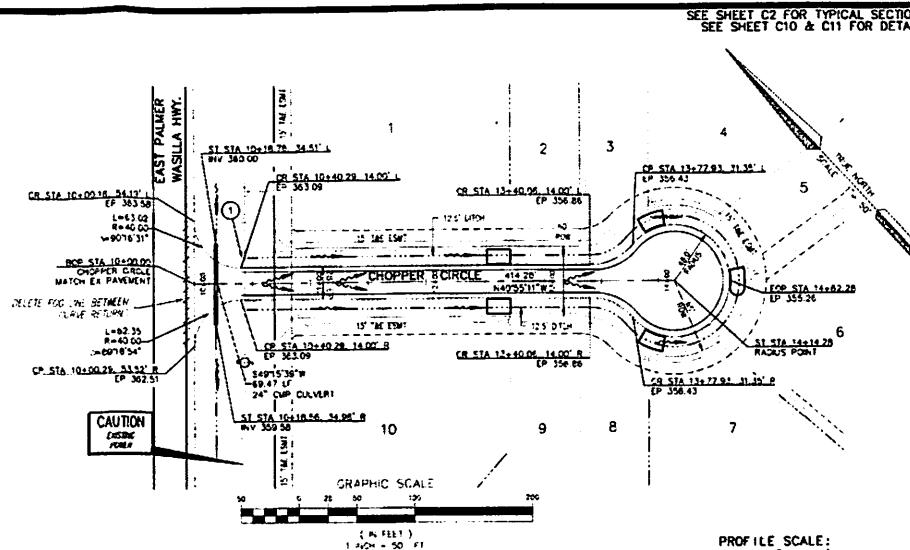


SIGN SCHEDULE

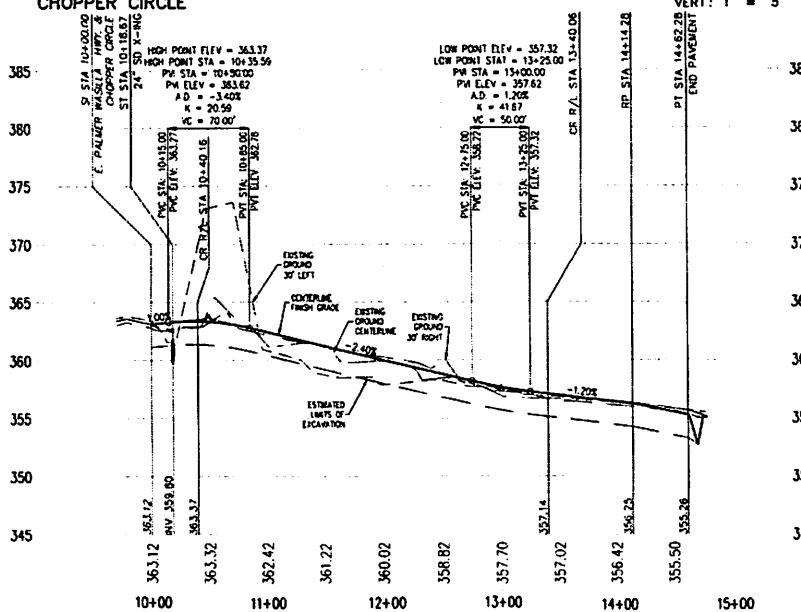
POST SHEET (TSPAD)	POST SIZE (INCHES)	DIRECTION (NORTH, ETC.)	DON FACES	STREET	STATION	OFFSET	NAME	SIGN CODE	SIZE	AREA(S) ¹	
										SECT	SECT
1	CS	237-625°	NEAR	CHOPPER	10+40.18	20.05 L	E. PAMER BISILLA	33-101	18" VARIES	VARIES	NO
			SEAS	CIRCLE			STOP	81-1	30" 30"	6.25	NO
			NEAR				END END (2)	104-140.16	36" 36"	2.00	NO

SIGNAGE NOTES:

1. SIGN SHALL BE 5' ABOVE THE EDGE OF THE TRAVEL WAY

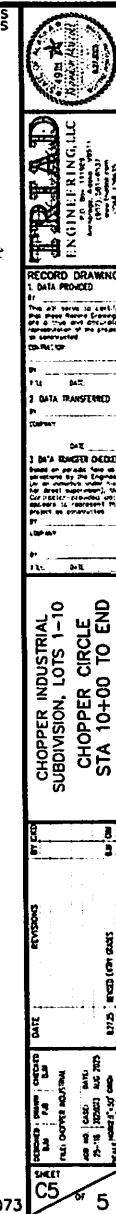


CHOPPER CIRCLE



CHOPPER INDUSTRIAL SUBDIVISION, LOTS 1-10

PA#20250073





ENGINEERING, LLC

PHYSICAL

615 E. 82nd Ave., Suite 101
Anchorage, AK 99518

MAILING

P.O. Box 111989
Anchorage, AK 99511

OFFICE

907-561-6537
Anchorage, AK 99511

WEB

triadak.com

May 30th, 2025

Matanuska-Susitna Borough
Planning and Land Use Department
350 E. Dahlia Avenue
Palmer, AK 99645

Subject: Trip Generation Estimate – Chopper Industrial Subdivision (10-Lot Industrial Park)

Planning Staff,

Triad Engineering, LLC is submitting this letter to provide estimated Average Daily Trips (ADT) for the proposed Chopper Industrial Subdivision, a 10-lot industrial park located on a 15.18-acre site south of the Palmer-Wasilla Highway in the Matanuska-Susitna Borough.

Lots 1-10 consist of 14.50-acres of developable industrial park. Trip generation rates were derived from the Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition. Based on Land Use Code 130 (Industrial Park), the average trip generation rate is:

- **Weekday ADT: 38.67 trips per acre of development**

Applying this rate to the 14.50-acre site results in the following estimated traffic volume:

- **Estimated ADT: $38.67 \times 14.50 = 561$ Average Daily Trips**

This estimate reflects estimated traffic generation for an industrial park at full build-out.

Thank you for your time and consideration in this matter. If you require additional information, please call 344-3114 or email me at brandonmarcott@triadak.com.

Sincerely,

TRIAD ENGINEERING, LLC

A handwritten signature in black ink, appearing to read "Brandon Marcott".

Brandon Marcott, P.E.

Cayman Reynolds

From: Tammy Simmons
Sent: Tuesday, November 4, 2025 4:07 PM
To: Cayman Reynolds
Cc: Brad Sworts; Jamie Taylor; Wheeler Nevels; Tammy Simmons
Subject: RE: RFC Chopper Industrial Park Subdivision CR

Hello,

Coordinate with ADOT&PF for an approach road permit. Please provide an ADT estimate. Unless authorized by ADOT&PF any above ground utility facilities shall not be located within the Palmer-Wasilla Highway right of way nearer than 40' to the proposed right of way of Chopper Circle, per 2022 SCM H02.2 (c).

Thank you.

PD&E Review Group

From: Cayman Reynolds <Cayman.Reynolds@matsugov.us>
Sent: Tuesday, October 28, 2025 10:57 AM
To: Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pd&e@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; row@mtasolutions.com; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; ospdesign@gci.com; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>
Subject: RFC Chopper Industrial Park Subdivision CR

Hello,

The following link is a request for comments for the proposed Chopper Industrial Subdivision.

Please ensure all comments have been submitted by November 17, 2025, so they can be incorporated in the staff report packet that will be presented during the public hearing.

Chopper Industrial Park

Feel free to contact me if you have any questions.

Thank you,

Cayman Reynolds

From: OSP Design Group <ospdesign@gci.com>
Sent: Monday, November 17, 2025 4:25 PM
To: Cayman Reynolds
Cc: OSP Design Group
Subject: RE: RFC Chopper Industrial Park Subdivision CR
Attachments: Agenda Plat (85).pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Cayman,

In review GCI has no comments or objections to the plat, attached is the signed plat for your records.

Thanks,
GCI | OSP Design
1001 Northway Dr., 1st Floor, Anchorage, AK 99508
e: OSPDesign@gci.com | w: www.gci.com

From: Cayman Reynolds <Cayman.Reynolds@matsugov.us>
Sent: Tuesday, October 28, 2025 10:57 AM
To: Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pde@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; row@mtasolutions.com; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; OSP Design Group <ospdesign@gci.com>; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>
Subject: RFC Chopper Industrial Park Subdivision CR

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

The following link is a request for comments for the proposed Chopper Industrial Subdivision.

Please ensure all comments have been submitted by November 17, 2025, so they can be incorporated in the staff report packet that will be presented during the public hearing.

[Chopper Industrial Park](#)

Feel free to contact me if you have any questions.



ENSTAR Natural Gas Company, LLC
Engineering Department, Right of Way Section
401 E. International Airport Road
P. O. Box 190288
Anchorage, Alaska 99519-0288
(907) 277-5551
FAX (907) 334-7798

October 28, 2025

Matanuska-Susitna Borough, Platting Division
350 East Dahlia Avenue
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed the following preliminary plat and has no comments or recommendations.

- **CHOPPER INDUSTRIAL PARK SUBDIVISION
(MSB Case # 2025-157)**

If you have any questions, please feel free to contact me at 334-7944 or by email at james.christopher@enstarnaturalgas.com.

Sincerely,

A handwritten signature in black ink that reads "James Christopher".

James Christopher
Right of Way & Permitting Agent
ENSTAR Natural Gas Company, LLC

Cayman Reynolds

From: Kiley Guggenmos <kguggenmos@mtasolutions.com>
Sent: Friday, October 31, 2025 8:21 AM
To: Cayman Reynolds
Subject: RE: RFC Chopper Industrial Park Subdivision CR

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

Can we please ask that the dedication block be added to the plat? No other comments.

CERTIFICATE OF OWNERSHIP & DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY
SHOWN AND DESCRIBED IN THIS PLAN AND THAT I ADOPT THIS
PLAN OF SUBDIVISION BY MY FREE CONSENT, DEDICATE ALL
RIGHTS-OF-WAY TO THE MATAKUSKA SUSTINA BOROUGH AND
GRANT ALL EASEMENTS TO THE USE SHOWN.

Thank you,

Kiley Guggenmos, Right of Way Assistant
1740 S. Chugach St., Palmer, Alaska 99645
Office: (907) 761-2687 | www.mtasolutions.com



From: Cayman Reynolds <Cayman.Reynolds@matsugov.us>
Sent: Tuesday, October 28, 2025 10:57 AM
To: Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pd@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; Right of Way Dept. <row@mtasolutions.com>; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; ospdesign@gci.com; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>
Subject: RFC Chopper Industrial Park Subdivision CR

Hello,

From: Dan Tucker <antiquetuck@gmail.com>
Sent: Monday, December 29, 2025 9:18 AM
To: Platting
Subject: Inre: Chopper Industrial Park; Plat-2025-000157

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Greetings,

I have NO OBJECTION to this proposal as proposed – **specifically and only because proposed Chopper Circle is to be a “private road”, and NOT AN RSA-maintained road.**

Restated, I have only one concern about this replat. Specifically, if this plan came before the board *without ensuring that* proposed “Chopper Circle” “is to serve as a private road” I would OBJECT strongly. Further, if this plat was ever returned with an application for proposed Chopper Circle to become a public road and part of the RSA, I would vehemently OBJECT.

Justified, I know this property intimately – having spent parts of two summers working the land with heavy equipment students when I was the lead instructor for NIT (Northern Industrial Training, LLC) Heavy Equipment Operator training program. I know the general wind direction in this area. I’m well aware of the trend of the blowing snowdrifts in this area.

I vehemently abhor and disagree with any ‘hub-and-spoke’ developments, more specifically development that depends upon or allows/promotes/uses ‘flag lot’ access such as is proposed here. Lots 2 and 8, and to an only slightly lesser degree lots 3, 5, and 9 feature narrow, limited access driveways. Flag lot driveways tend to create significant issues for snow removal/storage. And proposed Chopper Circle will do nothing to reduce this problem; it will exacerbate it. I (as RSA #9) would not want the responsibility of ‘keeping it open’ during winters.

Again, NO OBJECTION as proposed. But a caution that if there is a way to prevent/preclude proposed Chopper Circle from ever being petitioned and accepted as an RSA road, I would include that *forever* ban in this original acceptance.

--

Daniel J. Tucker
RSA #9 Road Services Board Primary Member
(907) 376-2630 home
(907) 863-1313 cell
MatSu Problem Reporter link
<https://survey123.arcgis.com/share/166cb8a69f8441908700860c85bbc6ee>

HANDOUT #1
CHOPPER INDUSTRIAL PARK
CASE # 2025-157
MEETING DATE: JANUARY 15, 2026

LEGEND

SET 3-1/4" TYPICAL ALUMINUM CAP MONUMENT AS DESCRIBED ON SHEET 1
FOUND 3-1/4" ALUMINUM CAP MONUMENT AS DESCRIBED ON SHEET 1
FOUND 2" ALUMINUM CAP AS DESCRIBED ON SHEET 1
FOUND 5/8" REBAR AS DESCRIBED ON SHEET 1

MEASURED MEASUREMENT
COMPUTED BY THIS PLAT
(M)
(C)
(DTP)

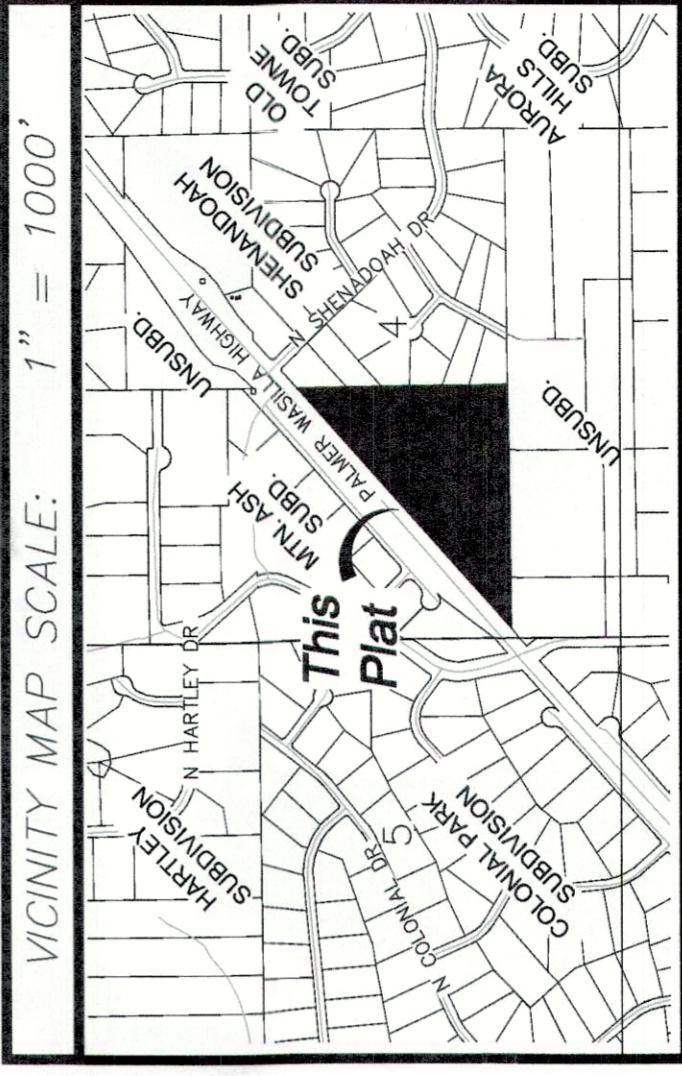
S4

1" = 60'
GRAPHIC SCALE

RECEIVED
OCT 16 2025

PLATTING

Agenda Copy



Chopper Industrial Park Subdivision Lots 1-10

A Preliminary Plat of:
That portion of the Northwest one-quarter of the Southwest one-quarter (NW 1/4 SW 1/4), Section 17, Township 17 North, Range East, Second Meridian, Alaska, located in the Palmer Judicial District, Third Judicial District, State of Alaska, which lies South of the Palmer-Wasilla Highway right-of-way, EXCEPTING THEREFROM that portion conveyed by Warranty Deed, Alaska Project No. 34572 (1), Transportation and Public Facilities by Warranty Deed, Alaska Project No. 34572 (1), containing 15.78 acres more or less.

S4

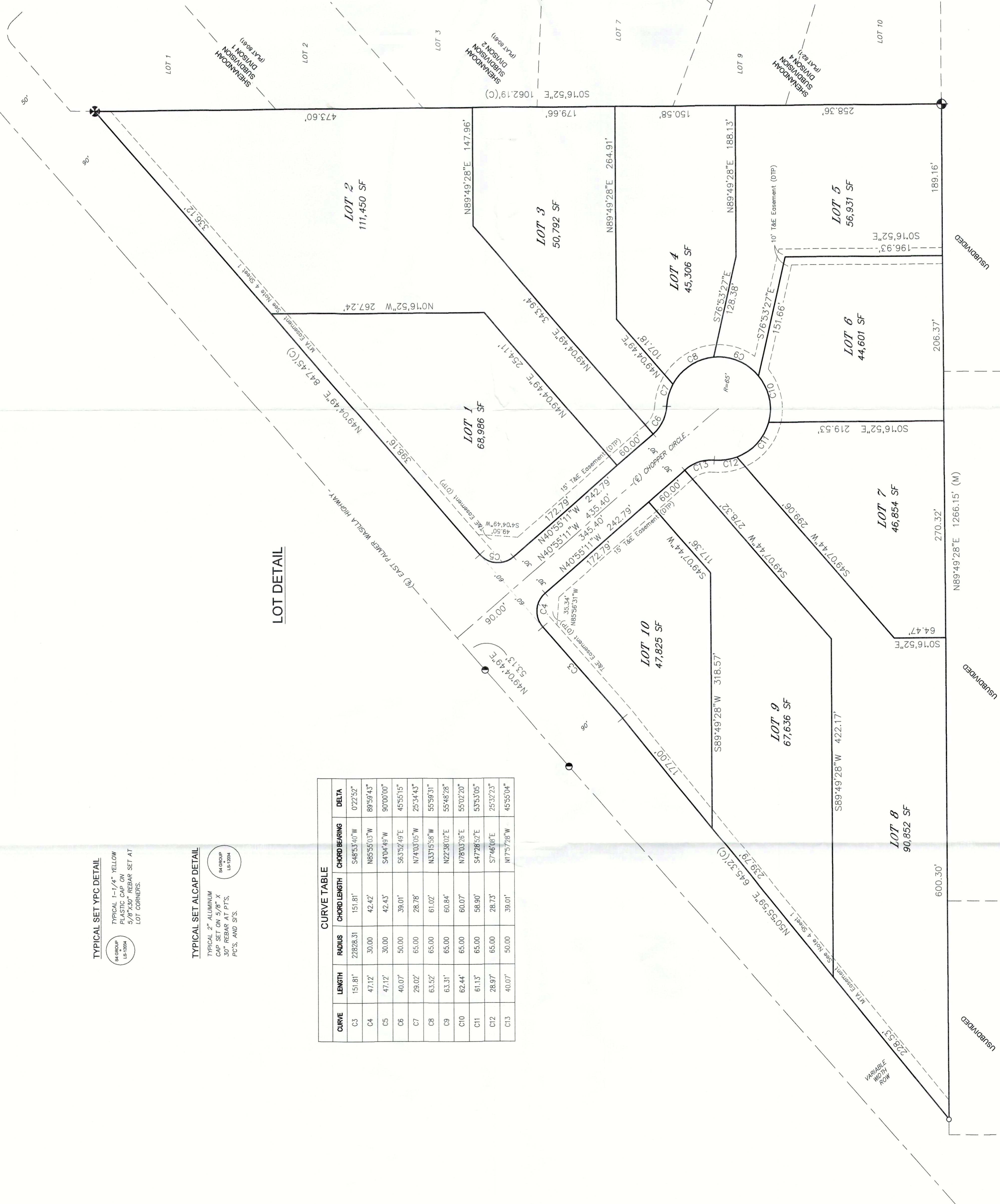
Land Surveying
Land Development Consultants
Subdivision Specialist
Construction Surveying
Group
Scale " = 60'
Field Book: 159
Drawn By: AK
Checked by: SC
Tax Map: WA10
Date: 10/13/2025
Job: 2025-30
Sheet 2 of 2

TYPICAL SET YPC DETAIL
TYPICAL 1-1/4" YELLOW
PLASTIC CAP ON
5/8" X 30" REBAR AT
LOT CORNERS.
LS-1204

TYPICAL SET ALCAP DETAIL
TYPICAL 2" ALUMINUM
CAP SET ON 5/8" X
30" REBAR AT PTS,
PC'S, AND S'S.
LS-1204

LOT DETAIL

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	DETA
C3	151.81'	228.28'31	151.81'	S48°53'40" W	0°22'52"
C4	47.12'	30.00	42.42'	N89°59'43" W	89°59'43"
C5	47.12'	30.00	42.43'	S49°44'49" W	90°00'00"
C6	49.07'	50.00	39.01'	S63°52'49" E	49°56'15"
C7	29.02'	65.00	28.78'	N74°03'05" W	25°34'43"
C8	63.52'	65.00	61.02'	N33°15'58" W	55°59'31"
C9	63.31'	65.00	60.84'	N22°38'02" E	55°48'28"
C10	62.44'	65.00	60.07'	N78°03'26" E	55°02'20"
C11	61.13'	65.00	58.90'	S47°28'52" E	53°53'05"
C12	28.97'	65.00	28.73'	S74°01'08" E	25°32'23"
C13	40.07'	50.00	39.01'	N175°29'28" W	45°53'04"



6A

STAFF REVIEW AND RECOMMENDATIONS
PUBLIC HEARING
FEBRUARY 18, 2026

PRELIMINARY PLAT: Rafter Ridge
LEGAL DESCRIPTION: SEC 25, T17N, R04W S.M., AK
PETITIONERS: JAMES Rafter
SURVEYOR/ENGINEER: BULL MOOSE SURVEYING/HOLLER ENGINEERING
ACRES: 8.59 +/- PARCELS: 2
REVIEWED BY: CHRIS CURLIN CASE #: 2025-169

REQUEST:

The request is to create 2 lots from Government Lots 15 & 16, (Tax ID #'s 17N04W25A004 & 17N04W25A005), to be known as **Rafter Ridge**, containing 8.59 acres +/-, to be accessed by water. The property is located directly east of Big Lake, in the NE ¼ Section 25, Township 17 North, Range 04 West, Seward Meridian, Alaska. In the Big Lake Community Council and in Assembly District #5.

EXHIBITS:

Vicinity Map and Aerial Photos

Exhibit A – 4 pgs

Topographic Narrative

Exhibit B – 4 pgs

COMMENTS:

USACE

Exhibit C – 1 pg

MSB Pre-Design and Engineering

Exhibit D – 1 pg

MSB Permit Center

Exhibit E – 1 pg

Utilities

Exhibit F – 7 pgs

DISCUSSION: The proposed subdivision is creating 2 lots ranging in size from 3.71 acres to 4.88 acres +/- . Proposed lots will be accessed via water.

Pursuant to MSB 43.20.100(B) Upon finding that no practical means of providing road access to a proposed subdivision exists and upon a showing that permanent public access by air, water, or railroad is both practical and feasible, the Platting Board shall waive the road requirements of subsection (A) of this section. If other than road access is approved, the mode of access shall be noted on the plat.

Soils Report: A geotechnical report was submitted (**Exhibit B**), pursuant to MSB 43.20.281(A). Curtis Holler, P.E. notes that the soils investigation consisted of one test hole dug to a depth of 13.5 feet. No groundwater was encountered in the test hole. Soil specifications for the test hole are noted on the Soil Inspection Log Sheet. The engineer states that based on Title 43.20.281 of the Matanuska-Susitna Borough Code all lots contain sufficient overall area. All lots have at least 10,000 square feet of useable building area. All lots have at least 10,000 square feet of contiguous useable septic area.

COMMENTS:

USACE (Exhibit C) Thank you for bringing this project to our attention and for allowing us to comment. The United States Army Corps of Engineers does have a comment regarding the proposed Rafter Ridge Subdivision. Based on aerial imagery and the Matanuska-Susitna Borough (MSB) Wetlands Mapper, it appears that there may be aquatic resources within the proposed boundaries of the eastern parcel.

Department of the Army authorization is required if anyone proposes to place dredged and/or fill material into waters of the U.S., including wetlands and/or perform work in navigable waters of the U.S.

A copy of the DA permit application can be found online at www.poa.usace.army.mil/Missions/Regulatory.

Sample drawings can also be found on our website at www.poa.usace.army.mil/Portals/34/docs/regulatory/guidetodrawings2012.pdf.

Section 404 of the Clean Water Act requires that a DA permit be obtained for the placement or discharge of dredged and/or fill material into waters of the U.S., including jurisdictional wetlands (33 U.S.C. 1344). USACE defines wetlands as those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions.

Section 10 of the Rivers and Harbors Act of 1899 requires that a DA permit be obtained for structures or work in or affecting navigable waters of the U.S. (33 U.S.C. 403). Section 10 waters are those waters subject to the ebb and flow of the tide shoreward to the mean high water mark, and/or other waters identified by the Alaska District. Aquaculture structures and work would require Section 10 Authorization.

The applicant is welcome to submit a preapplication meeting request, a jurisdictional determination request, or a permit application directly to our general mailbox (regpagemaster@usace.army.mil) and they will be assigned a project manager to assist them. Please feel free to contact our main line if you or the applicant have any questions or concerns at 907-753-2712.

MSB DPW Pre-design and Engineering (Exhibit D) PD&E has no comments.

MSB Permit Center (Exhibit E) has no comment.

Utilities: (Exhibit F) ENSTAR has no comments or recommendations. GCI has no objections. MTA requests an easement changed to T&E or Utility Easement and attached the easement to their comment.

Staff notes this has been added to the updated agenda plat.

MEA did not respond.

There were no objections received from Borough departments, outside agencies, or the public at the time this staff report was written. Comments received afterward, if any, can be found in the handouts.

CONCLUSION

The plat of **RAFTER RIDGE** is consistent with AS 29.40.070 Platting Regulations and MSB 43.15.016 Preliminary Plats. A Soils Report was submitted, water access exist, as-built survey, and topographic information were submitted. There were no objections received from borough departments, outside agencies, utilities, or the public at the time of this staff report.

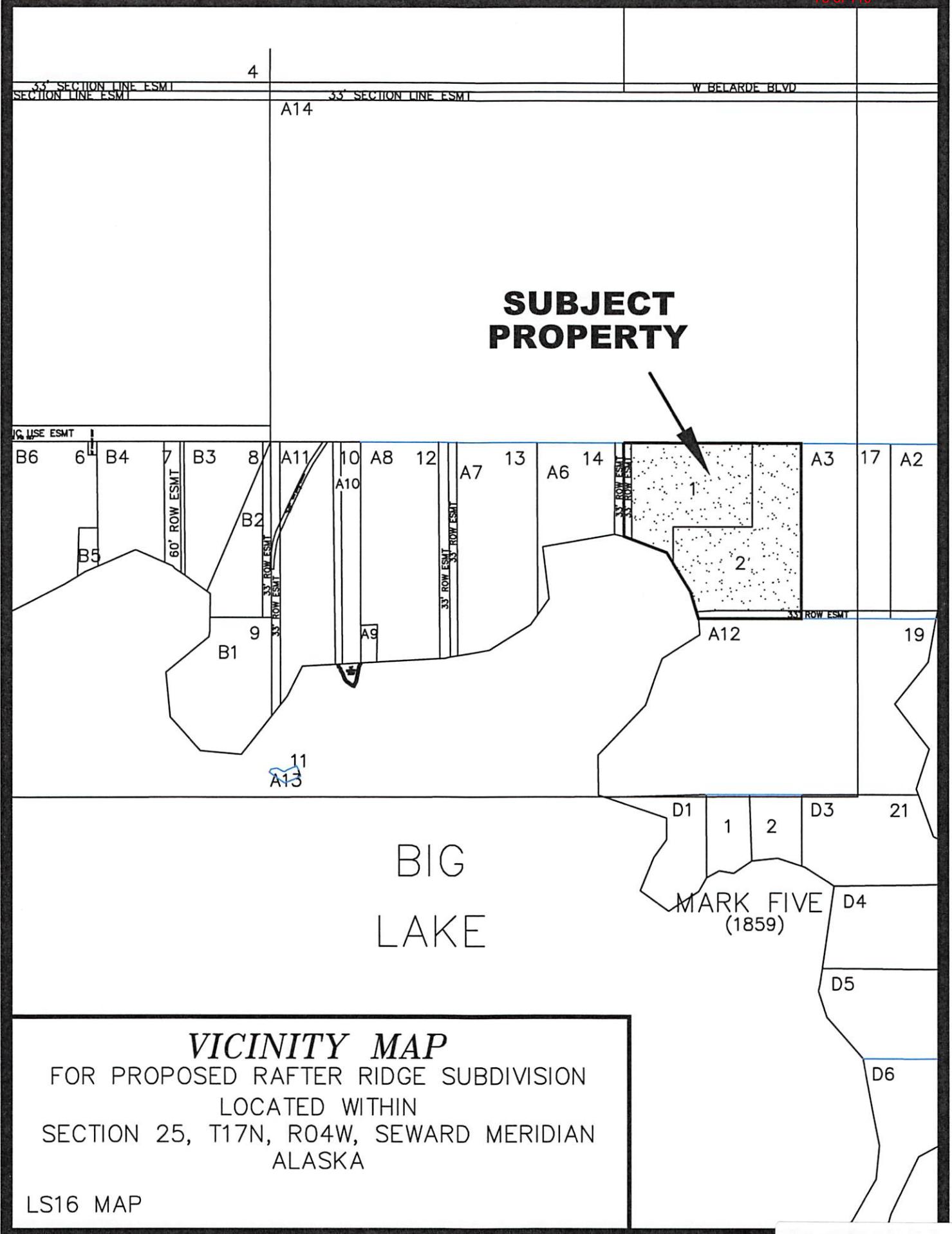
FINDINGS OF FACT:

1. The plat of **RAFTER RIDGE** is consistent with AS 29.40.070 Platting Regulations and MSB 43.15.016 Preliminary Plats.
2. A soils report was submitted pursuant to MSB 43.20.281(A). All lots have the required usable area.
3. All lots will have the required frontage pursuant to MSB 43.20.320
4. Pursuant to MSB 43.20.100(B) Upon finding that no practical means of providing road access to a proposed subdivision exists and upon a showing that permanent public access by air, water, or railroad is both practical and feasible, the Platting Board shall waive the road requirements of subsection (A) of this section. If other than road access is approved, the mode of access shall be noted on the plat.
5. There were no objections from any borough departments, outside agencies, or utilities.
6. At the time of staff report write-up, there were no responses to the Request for Comments from, AKF&G, Community Development, or Assessments; or MEA, or the public.

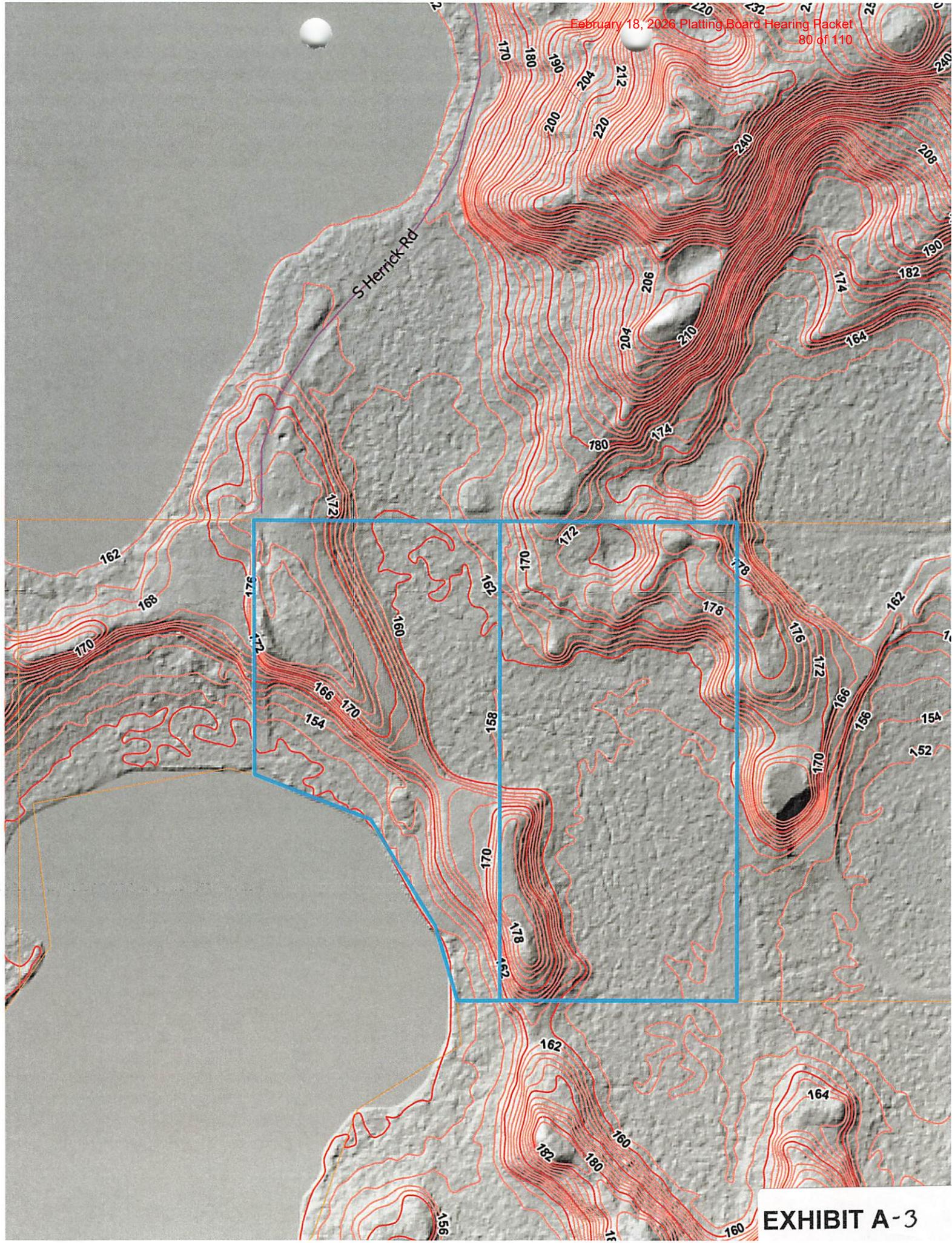
RECOMMENDED CONDITIONS OF APPROVAL:

Suggested motion: I move to approve the Preliminary Plat of **RAFTER RIDGE**, Section 25, Township 17 North, Range 04 West, Seward Meridian, Alaska, contingent on staff recommendations:

1. Taxes and special assessments must be paid in full for the year of recording, pursuant to MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs), by CERTIFIED FUNDS OR CASH.
2. Provide updated Certificate to Plat executed within seven (7) days of recording of plat and submit Beneficiary Affidavit for any holders of a beneficial interest.
3. Add a plat note "Water Access for all Lots."
4. Pay postage and advertising fees.
5. Show all easements of record on final plat.
6. Submit recording fees, payable to Department of Natural Resources (DNR).
7. Submit final plat in full compliance with Title 43.











November 12, 2025

Fred Wagner
MSB Platting Officer
350 East Dahlia Avenue
Palmer, Alaska 99645

RECEIVED
NOV 21 2025
PLATTING

Re: *Rafter Ridge Subdivision; Useable Areas, Soils, and Drainage*
HE #25035

Dear Mr. Wagner:

At the request of the project owners, we have performed a soils review and related preliminary design work for the referenced proposed subdivision. The project will create 2 new lots from two existing parcels totaling 8.6 acres. Our soils evaluation included logging a single new testhole on the parent parcel, review of the provided topography information, review of aerial imagery, and our other observations at the site. See the attached testhole location and topography map for details.

Topography. The project site forms an incomplete square, with its southwest corner being within the perimeter of Big Lake. A ridge feature runs from the northwest corner to the south center, with an adjacent low swampy area to the east. The northeast corner also has higher ground, comprised of rolling hills. The lowest areas are the lake and the southeast corner. Several areas containing steep slopes exceeding 25% were noted and are delineated on the attached map. The total elevation differential indicated by the provided topographical map is approximately 34'.

Soils & Vegetation. With the exception of a driveway, gravel pad near the lake, clearing for overhead power lines along the north and east edge, and a cabin site, the parent parcel is forested and largely remains in a native or near native state. Existing vegetation primarily consists of young to mature growth birch trees and spruce trees, with tall grasses and minor shrubs scattered in between. Lower areas are predominately black spruce. A single testhole was logged on 8/22/25 in order to evaluate existing soil conditions. Near surface soils encountered included a thin organic mat over a layer of silty loess topsoil which extended down to 2'. Receiving soils under the topsoils were sands and gravels with a minor silt content. Soils encountered were typical for the area, based on our prior experiences in the neighborhood. A copy of the testhole log and a location/topography map is attached.

Groundwater. Groundwater was not encountered in the testhole, dug to a depth of 13.5'. Groundwater is not expected to be a limiting factor for the proposed lots, with the exception of lower areas near the wetlands.

Useable Areas. The proposed lots have a few limitations on areas defined by MSB code as *useable septic area* or *useable building area*. Useable septic areas will be limited by setbacks to surface water, a water well, lot lines and steep areas. For useable building area, lotlines, utility easements, and ROW/PUE setbacks will be limiting factors. For each of the proposed lots, adequate unencumbered area exists to readily meet the code requirements. Based on the available soils and water table information, topography MSB Title 43 Code definitions, and our observations at the site, *each of the proposed lots will contain over 10,000 square feet of contiguous useable septic area, and an additional 10,000 square feet of useable building area.*

Roads and Drainage. The proposed 2 new lots can each be accessed their waterfront, and via existing private access. As such the project will not require the creation of any new roads. As no new roads are proposed, a full drainage plan is not required; however, existing drainage patterns have been indicated on the attached map.

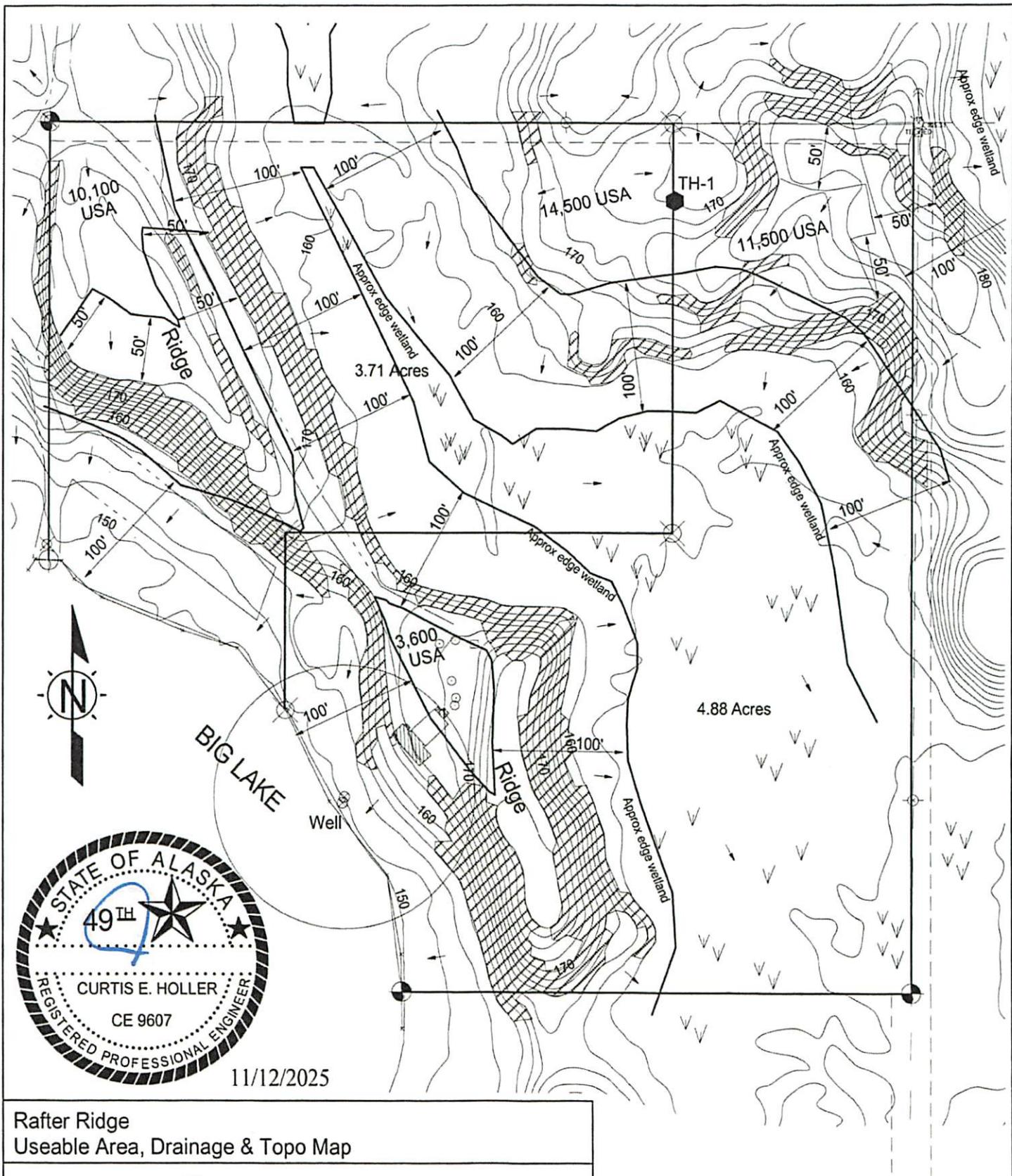
Please do not hesitate to call with any questions you may have.

Sincerely,


Curtis Holler, PE

c: J. Rafter, w/attachments





Rafter Ridge
Useable Area, Drainage & Topo Map



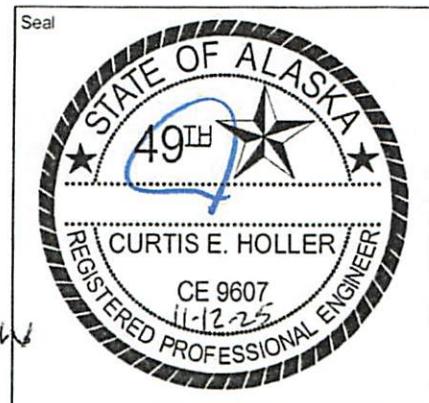
Notes:

- 1) Base drawing from surveyor with MSB 2' LiDAR contours.
- 2) Arrows denote approximate drainage patterns.
- 3) Hatched areas have +25% grade.

Job # 25035

Scale: 1" = 100'

Date: 11/12/2025



SOILS LOG / PERCOLATION TEST

TEST HOLE # 1 of 1

Performed For: Tom Rafter

Legal Description: RFTER RIDGE SURON TPAH S 25 T 17N R 46E

Depth, feet

Soil Type

1		OL, ROOTS
2		ML SOFT BROWN LOESS SILT
3		
4		SF-GP, dune, MEDIUM SANDS,
5		
6		W/HEAVY TRACE SILT
7		VARIES TO "W/SILT"
8		HOST ROCK $\angle 4^{\circ}$
9		WAS GROUND
10		IF YES, AT WH
11		DEPTH AFTER
12		
13		
		Reading

Slope

Site Plan

WAS GROUNDWATER ENCOUNTERED?

IF YES, AT WHAT DEPTH?

DEPTH AFTER MONITORING

—

Slope

- PERCOLATION RATE _____ (min/inch) PERC HOLE DIAMETER _____

- TEST RUN BETWEEN 10 FT AND 10 FT DEPTH

- COMMENTS: TH FOR SUBDIVISION PURPOSE ONLY; CONTACT
HOMER ENGR. FOR OTHER USE

- PERFORMED BY: C. Heller DATE: 8-22-2025
C. DEAL

Chris Curlin

From: Ortiz, Olivia K CIV USARMY CEPOA (USA) <Olivia.K.Ortiz@usace.army.mil>
Sent: Wednesday, December 3, 2025 12:11 PM
To: Chris Curlin
Cc: CEPOA-SM-RD-Pagemaster
Subject: RFC Rafter Ridge (CC)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

Thank you for bringing this project to our attention and for allowing us to comment. The United States Army Corps of Engineers does have a comment regarding the proposed Rafter Ridge Subdivision. Based on aerial imagery and the Matanuska-Susitna Borough (MSB) Wetlands Mapper, it appears that there may be aquatic resources within the proposed boundaries of the eastern parcel.

Department of the Army authorization is required if anyone proposes to place dredged and/or fill material into waters of the U.S., including wetlands and/or perform work in navigable waters of the U.S.

A copy of the DA permit application can be found online at www.poa.usace.army.mil/Missions/Regulatory. Sample drawings can also be found on our website at www.poa.usace.army.mil/Portals/34/docs/regulatory/guidetodrawings2012.pdf.

Section 404 of the Clean Water Act requires that a DA permit be obtained for the placement or discharge of dredged and/or fill material into waters of the U.S., including jurisdictional wetlands (33 U.S.C. 1344). USACE defines wetlands as those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions.

Section 10 of the Rivers and Harbors Act of 1899 requires that a DA permit be obtained for structures or work in or affecting navigable waters of the U.S. (33 U.S.C. 403). Section 10 waters are those waters subject to the ebb and flow of the tide shoreward to the mean high water mark, and/or other waters identified by the Alaska District. Aquaculture structures and work would require Section 10 Authorization.

The applicant is welcome to submit a preapplication meeting request, a jurisdictional determination request, or a permit application directly to our general mailbox (regpagemaster@usace.army.mil) and they will be assigned a project manager to assist them. Please feel free to contact our main line if you or the applicant have any questions or concerns at 907-753-2712.

Thank you,
Olivia Ortiz
Regulatory Specialist
Alaska District|POA
U.S. Army Corps of Engineers
P: (907) 753-2586

Chris Curlin

From: Jamie Taylor
Sent: Wednesday, December 10, 2025 11:34 AM
To: Chris Curlin
Cc: Tammy Simmons; Wheeler Nevels; Brad Sworts
Subject: Re: RFC Rafter Ridge (CC)

Hi Chris,

PD&E has no comment.

Thank you,
PD&E Review Group

From: Chris Curlin <Chris.Curlin@matsugov.us>
Sent: Wednesday, December 3, 2025 10:43 AM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Amie Jacobs <Amie.Jacobs@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Christina Sands <Christina.Sands@matsugov.us>; Colton Percy <colton.percy@alaska.gov>; DNR <dnr.scro@alaska.gov>; Erin Ashmore <Erin.Ashmore@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Sarah Myers <sarah.myers@alaska.gov>; Tammy Simmons <Tammy.Simmons@matsugov.us>; The Postmaster <eric.r.schuler@usps.gov>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; terry.gorlick@gmail.com <terry.gorlick@gmail.com>; nate81hunter@gmail.com <nate81hunter@gmail.com>; ibmillinginalaska@gmail.com <ibmillinginalaska@gmail.com>; aknatz@aol.com <aknatz@aol.com>; akchief@mtaonline.net <akchief@mtaonline.net>; Bill Gamble <Bill.Gamble@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop <mearow@mea.coop>; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC Rafter Ridge (CC)

Hello,

The following link contains a Request for Comments for Rafter Ridge, MSB Case 2025-166.
Comments are due by December 19, 2025.

[Rafter Ridge](#)

Sincerely,

Chris Curlin
Platting Technician
Matanuska-Susitna Borough

Chris Curlin

From: Permit Center
Sent: Wednesday, December 3, 2025 11:13 AM
To: Chris Curlin
Subject: RE: RFC Rafter Ridge (CC)

No comments from the Permit Center.

Brandon Tucker

Permit Technician
Matanuska-Susitna Borough Permit Center
350 E Dahlia Ave
Palmer AK 99645
P (907) 861-7871
F (907) 861-8158

From: Chris Curlin <Chris.Curlin@matsugov.us>
Sent: Wednesday, December 3, 2025 10:43 AM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Amie Jacobs <Amie.Jacobs@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Christina Sands <Christina.Sands@matsugov.us>; Colton Percy <colton.percy@alaska.gov>; DNR <dnr.scro@alaska.gov>; Erin Ashmore <Erin.Ashmore@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Sarah Myers <sarah.myers@alaska.gov>; Tammy Simmons <Tammy.Simmons@matsugov.us>; The Postmaster <eric.r.schuler@usps.gov>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; terry.gorlick@gmail.com; nate81hunter@gmail.com; ibmillinginalaska@gmail.com; aknatz@aol.com; akchief@mtaonline.net; Bill Gamble <Bill.Gamble@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC Rafter Ridge (CC)

Hello,

The following link contains a Request for Comments for Rafter Ridge, MSB Case 2025-166.
Comments are due by December 19, 2025.

[Rafter Ridge](#)

Sincerely,

Chris Curlin
Platting Technician
Matanuska-Susitna Borough
(907) 861-7873



ENSTAR Natural Gas Company, LLC
Engineering Department, Right of Way Section
401 E. International Airport Road
P. O. Box 190288
Anchorage, Alaska 99519-0288
(907) 277-5551
FAX (907) 334-7798

December 3, 2025

Matanuska-Susitna Borough, Platting Division
350 East Dahlia Avenue
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed the following preliminary plat and has no comments or recommendations.

- **RAFTER RIDGE**
(MSB Case # 2025-166)

If you have any questions, please feel free to contact me at 334-7944 or by email at james.christopher@enstarnaturalgas.com.

Sincerely,

A handwritten signature in cursive script that reads "James Christopher".

James Christopher
Right of Way & Permitting Agent
ENSTAR Natural Gas Company, LLC

Chris Curlin

From: OSP Design Group <ospdesign@gci.com>
Sent: Wednesday, December 17, 2025 9:06 AM
To: Chris Curlin
Cc: OSP Design Group
Subject: RE: RFC Rafter Ridge (CC)
Attachments: Agenda Plat (100).pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Chris,

In review GCI has no comments or objections to the plat, attached is the signed plat for your records.

Thanks,

GCI | OSP Design

1001 Northway Dr., 1st Floor, Anchorage, AK 99508

e: OSPDesign@gci.com | w: www.gci.com

From: Chris Curlin <Chris.Curlin@matsugov.us>
Sent: Wednesday, December 3, 2025 10:43 AM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Amie Jacobs <Amie.Jacobs@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Christina Sands <Christina.Sands@matsugov.us>; Colton Percy <colton.percy@alaska.gov>; DNR <dnr.scro@alaska.gov>; Erin Ashmore <Erin.Ashmore@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Sarah Myers <sarah.myers@alaska.gov>; Tammy Simmons <Tammy.Simmons@matsugov.us>; The Postmaster <eric.r.schuler@usps.gov>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; terry.gorlick@gmail.com; nate81hunter@gmail.com; ibmillinginalaska@gmail.com; aknatz@aol.com; akchief@mtaonline.net; Bill Gamble <Bill.Gamble@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC Rafter Ridge (CC)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

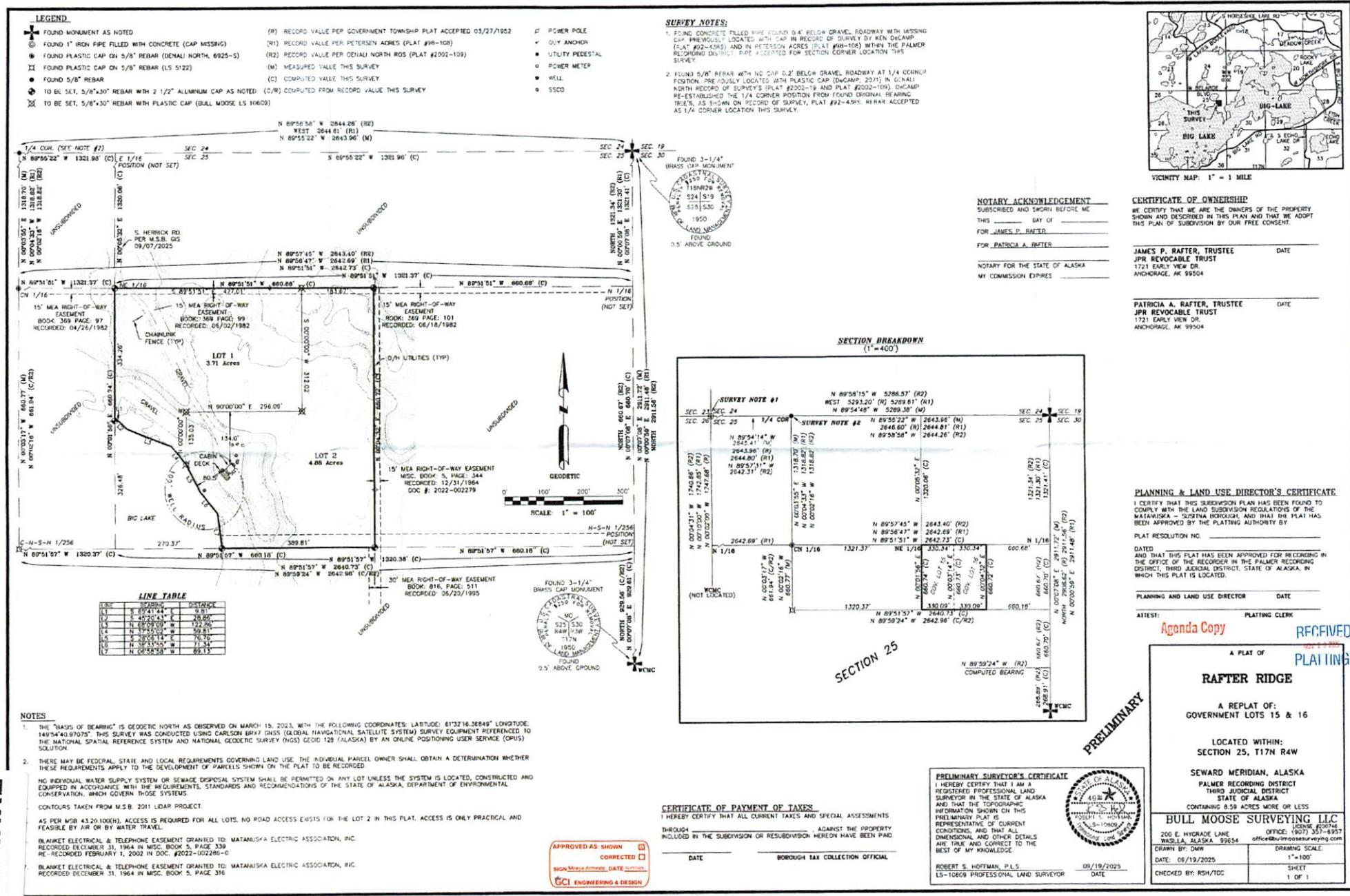
Hello,

The following link contains a Request for Comments for Rafter Ridge, MSB Case 2025-166.
Comments are due by December 19, 2025.

[Rafter Ridge](#)

Sincerely,

Chris Curlin
Platting Technician



Chris Curlin

From: Kiley Guggenmos <kguggenmos@mtasolutions.com>
Sent: Friday, December 12, 2025 10:42 AM
To: Chris Curlin
Subject: RE: RFC Rafter Ridge (CC)
Attachments: 311-1984-018349-0.tif

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good morning,

Can we please have the easement on the North side changed to T&E or Utility Easement. I have attached the MTA Easement Book 369 Pg 99.

Thank you,

Kiley Guggenmos, Right of Way Assistant

1740 S. Chugach St., Palmer, Alaska 99645

Office: (907) 761-2687 | www.mtasolutions.com



From: Chris Curlin <Chris.Curlin@matsugov.us>
Sent: Wednesday, December 3, 2025 10:43 AM
To: Alex Strawn <Alex.Strawn@matsugov.us>; Amie Jacobs <Amie.Jacobs@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Christina Sands <Christina.Sands@matsugov.us>; Colton Percy <colton.percy@alaska.gov>; DNR <dnr.scro@alaska.gov>; Erin Ashmore <Erin.Ashmore@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Sarah Myers <sarah.myers@alaska.gov>; Tammy Simmons <Tammy.Simmons@matsugov.us>; The Postmaster <eric.r.schuler@usps.gov>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; terry.gorlick@gmail.com; nate81hunter@gmail.com; ibmillinginalaska@gmail.com; aknatz@aol.com; akchief@mtaonline.net; Bill Gamble <Bill.Gamble@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>
Subject: RFC Rafter Ridge (CC)

Hello,

The following link contains a Request for Comments for Rafter Ridge, MSB Case 2025-166. Comments are due by December 19, 2025.

Matanuska Telephone Association, Inc.

RIGHT-OF-WAY AGREEMENT

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned William A. O'Neill, (hereinafter called GRANTOR, whether one or more) for good and valuable consideration, receipt of which is hereby acknowledged, does hereby grant, bargain, sell, convey, and warrant unto MATANUSKA TELEPHONE ASSOCIATION, INC., a cooperative corporation, duly organized and existing under and by virtue of the laws of the State of Alaska, whose address is Palmer, Alaska, its successors and assigns (hereinafter called GRANTEE), a right-of-way and easement to enter upon the lands of the GRANTOR and to construct, reconstruct, lay, maintain, operate, alter, repair, remove, and replace telephone lines, poles, or systems and appurtenances thereto, and make changes and additions thereto, to cut and trim trees and shrubbery that may interfere with or threaten to endanger the operation and maintenance of said lines or systems and to license, permit or otherwise agree to the joint use or occupancy of said lines or systems by any other person, firm or corporation for telephone or electrification purposes, utilizing such facilities, under, upon, over, and through lands which the undersigned owns or in which the undersigned has an interest and/or in, or under all streets, roads or highways abutting said lands. The said Grantor is to fully use and enjoy said premises and said Grantor shall not construct or permit to be constructed any structures or obstructions on, under, or over or that will interfere with the construction, maintenance or operation of any telephone lines or systems, or appurtenances constructed hereunder. Said easement is situated in the Palmer Recording District, Third Judicial District, State of Alaska, described as follows:

Sec. 25 Twp. 17N Rgt. 4W, Seward, Mendiss, Alaska

A 15 foot wide easement under the existing M.E.A. pole line extending from the west property line to the east property line in government lot #15, Section 25, Township 17N, Range 4W, Seward Meridian, Alaska.

The Grantee, its successors and assigns, is hereby expressly given and granted the right to assign said right-of-way and easement herein granted and conveyed, or any part thereof, or interest therein.

TO HAVE AND TO HOLD unto the GRANTEE, his successors and assigns, with ingress to and egress from the premises for the purposes herein created.

The undersigned covenant that they are the owners of the above-described lands and that the said lands are free and clear of encumbrances and liens of whatsoever character except those held by the following names:

IN WITNESS WHEREOF, the Grantees have executed this conveyance this 2nd day of January, 1982.

Signed, sealed and delivered
in the presence of:

Patricia A. Entwistle
Patricia C. Jenkins

Violet R. Orne U.S. Country

48

UNITED STATES OF AMERICA
STATE OF ALASKA

THIS IS TO CERTIFY, that on this 27th day of July in 1882, before

the undersigned, a Notary Public in and for the State of Alaska, personally appeared

Victor R. O'nicie, Executive each to me personally known and to me known to be the individual(s) described in and who executed the foregoing TELEPHONE RIGHT-OF-WAY EASEMENT and each acknowledged to me that he or she, as the case may be, signed and sealed the same freely and voluntarily for the uses and purposes therein mentioned.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year
in this certificate first above written.

Patricia A. Estrada
NOTARY PUBLIC for Alameda County

My consumption average 12-18-15

84-018349
1100

RECORDED
PALMER REC.
DISTRICT

JUL 18 10 45 AM '84

REQUESTED

ADDRESS

RECORDED
PALMER REC.
DISTRICT
JUL 18 10 45 AM '84
REQUESTED
ADDRESS
PALMER ALASKA 99645

B

**STAFF REVIEW AND RECOMMENDATIONS
PUBLIC HEARING
FEBRUARY 18, 2026**

ABBREVIATED PLAT: **LUCAS 2025**

LEGAL DESCRIPTION: **SEC 05, T17N, R02E S.M., AK**

PETITIONER: **Valley Feed LLC, Ken Kincaid Managing Member**

SURVEYOR: **KEYSTONE SURVEYING**

ACRES: **0.53 +/-** PARCELS: **1**

REVIEWED BY: CAYMAN REYNOLDS

CASE: 2026-002

REQUEST:

The request is to create one lot from lots 8, 9, 15, and 16 Lucas Subdivision, Plat 5-65, to be known as **LUCAS 2025**, containing 0.53 acres +/- . The plat is located east of South Glenn Highway, south of West Evergreen Avenue, and north of West Elmwood Avenue, located within the NE ¼ Section 5, Township 17 North, Range 02 East, Seward Meridian, Alaska.

EXHIBITS

Vicinity Map and Aerial Photos

Exhibit A – 4 pgs

AGENCY COMMENTS

PD&E

Exhibit B – 1 pg

City of Palmer

Exhibit C – 1 pg

Utilities

Exhibit D – 3 pgs

DISCUSSION: The request is to create one lot from lots 8, 9, 15, and 16 Lucas Subdivision. The proposed subdivision is heard under MSB 43.15.025, *Abbreviated Plats* and MSB 43.15.054(G), *Exemptions*. Elimination of common lot lines are exempt from survey and monumentation requirements and allows the surveyor to use record information from the prior plat.

COMMENTS:

There were no objections or concerns received from Borough departments, outside agencies or the public at the time of this staff report. Palmer city community development notes that the lots 8-1, 15, and 16 do not appear on the vicinity map. This is due to MSB parcel viewer being inaccurate.

CONCLUSION

The plat of Lucas 2025 is consistent with AS 29.40.070 *Platting Regulations*, MSB 43.15.025 *Abbreviated Plats* and MSB 43.15.054(G) *Exemptions*. Plats to remove lot lines are exempt from provisions of the code, which require soils report submittals, legal and physical access, as-built survey,

and topographic information. There were no objections received from borough departments, outside agencies or the public at the time of this staff report.

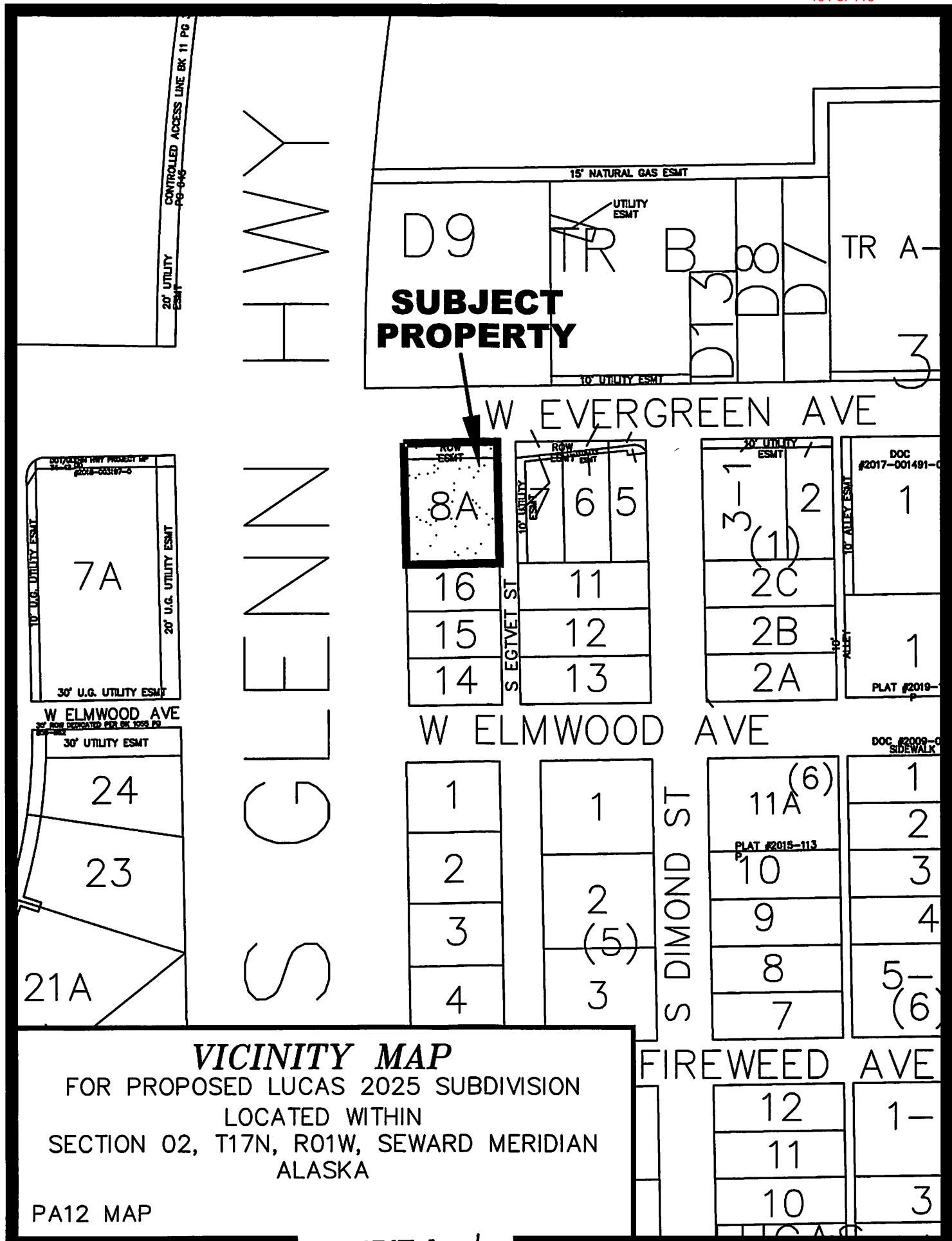
FINDINGS of FACT:

1. The abbreviated plat of Lucas 2025 is consistent with AS 29.40.070 *Platting Regulations*, MSB 43.15.025 *Abbreviated Plats*, and MSB 43.15.054(G) *Exemptions*.
- 2.
3. This plat combines four lots within Lucas Subdivision, lessening the lot density in the area.
4. There were no objections from any borough departments, outside agencies or the public.
5. An elimination of common lot line plat is exempt from provisions of the code, which require soils report submittals, legal and physical access requirements, as-built survey or topographic information.
6. MSB 43.15.054(G) allows the surveyor to use record information from the recorded plat of Lucas Subdivision (Plat #5-65), and does not require additional monumentation.

RECOMMENDED CONDITIONS OF APPROVAL:

Staff recommends approval of the abbreviated plat of Lucas 2025 contingent on the following recommendations:

1. Pay postage and advertising fee.
2. Provide updated Certificate to Plat executed within 7 days prior to recording and provide beneficiary affidavits from holders of beneficial interest, if any.
3. Taxes and special assessments must be paid in full prior to recording the plat, per MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs) by certified funds or cash.
4. Submit recording fee payable to DNR.
5. Submit final plat in full compliance with Title 43.



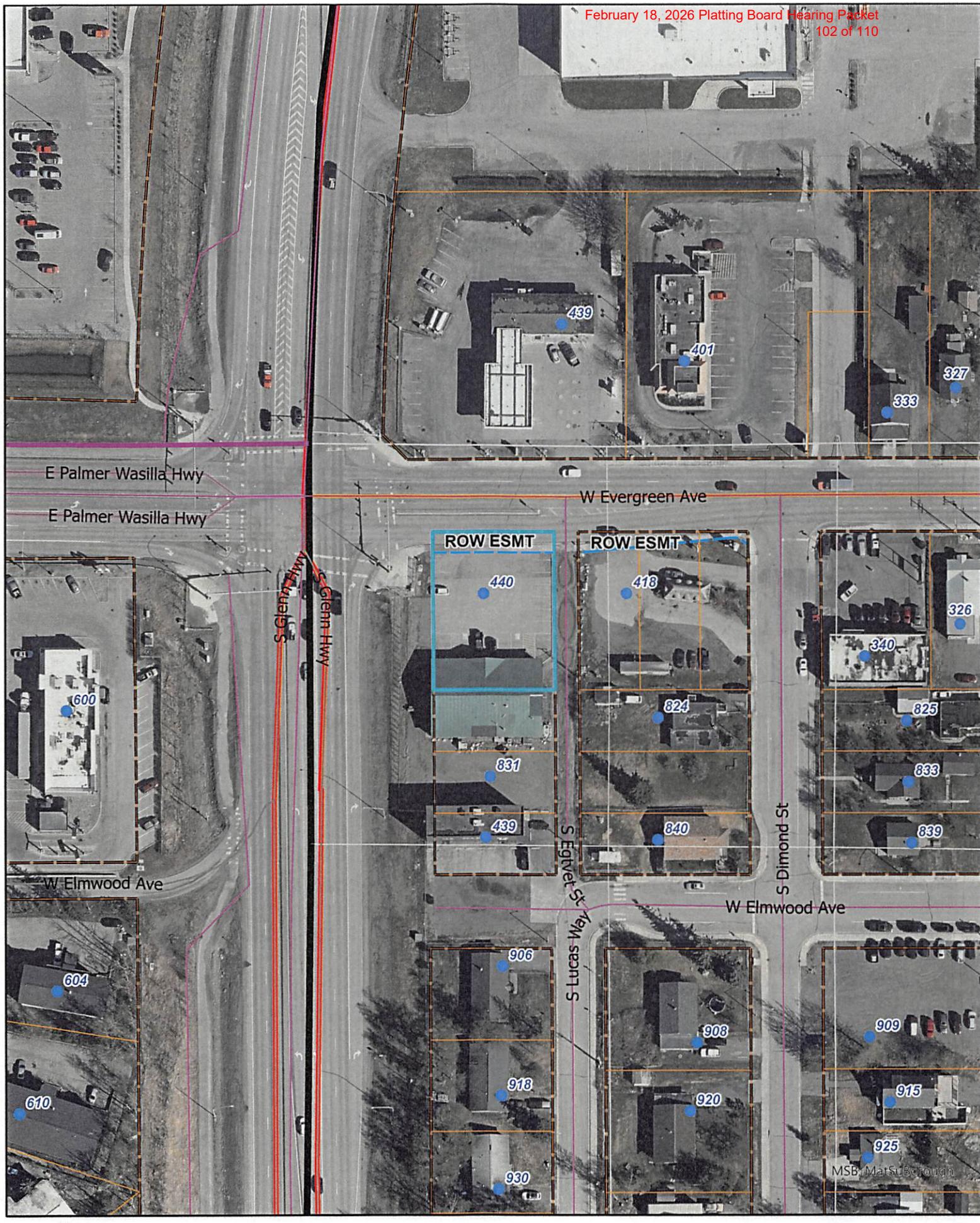


EXHIBIT A -2

0 120 240 480 Feet

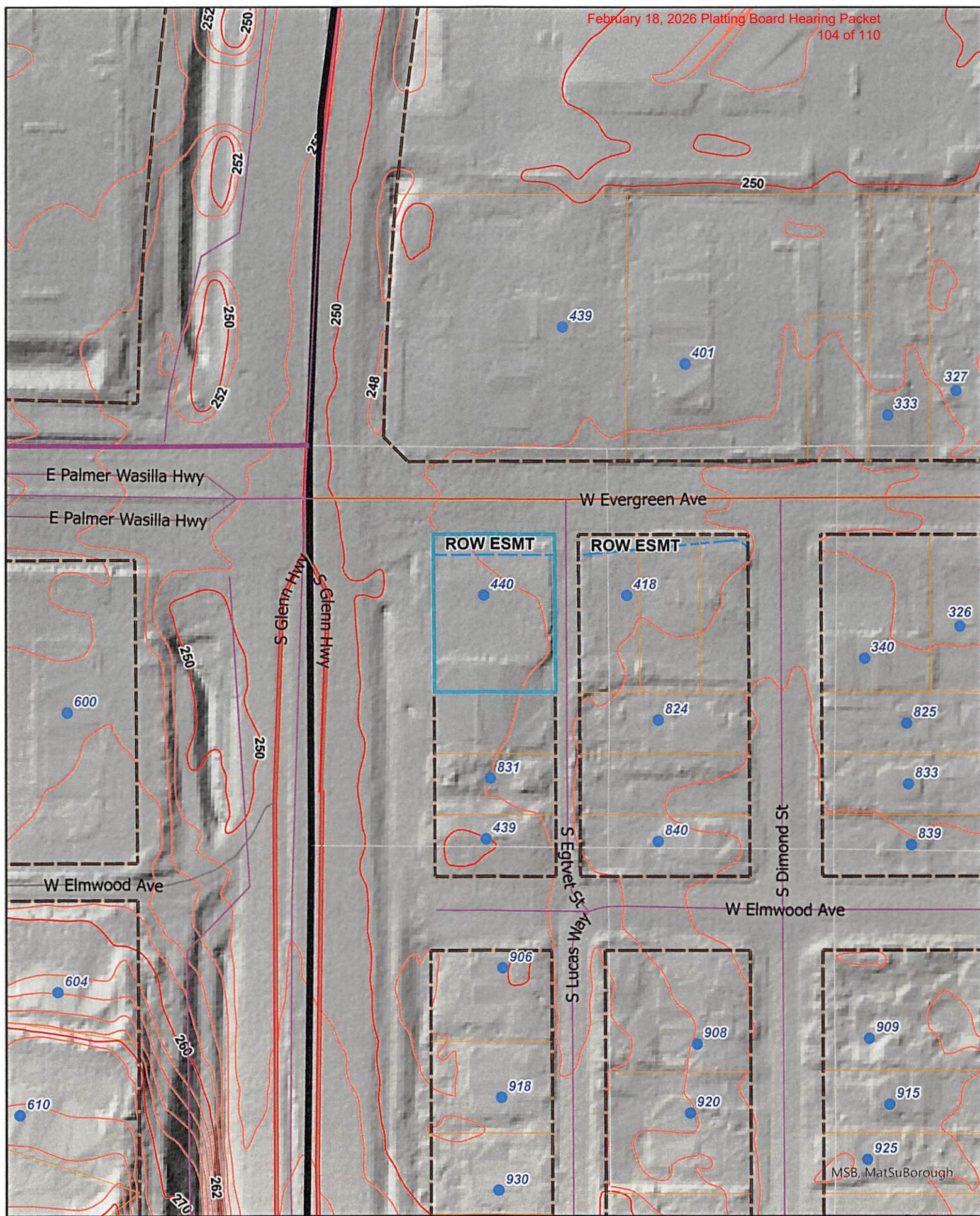


EXHIBIT A - 4

Cayman Reynolds

From: Tammy Simmons
Sent: Tuesday, January 27, 2026 2:11 PM
To: Cayman Reynolds
Cc: Brad Sworts; Jamie Taylor; Wheeler Nevels; Tammy Simmons
Subject: RE: RFC Lucas 2025 CR

Hello,

PD&E has no comments.

Thank you.

PD&E Review Group

From: Cayman Reynolds <Cayman.Reynolds@matsugov.us>
Sent: Wednesday, January 21, 2026 11:10 AM
To: Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pde@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; row@mtasolutions.com; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; ospdesign@gci.com; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; clinchnot@yahoo.com; Tawnya Hightower <Tawnya.Hightower@matsugov.us>; akchief@mtaonline.net; hessmer@mtaonline.net; Fire Code <Fire.Code@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Michael Keenan <Michael.Keenan@matsugov.us>; avann@plamerak.org; Kalea Myers <kmymers@palmerak.org>; nouzts@palmerak.org
Subject: RFC Lucas 2025 CR

Hello,

The following link is a request for comments for the proposed Lucas 2025.

Please ensure all comments have been submitted by February 4, 2026, so they can be incorporated in the staff report packet that will be presented during the public hearing.

[Lucas 2025](#)

Feel free to contact me if you have any questions.

Thank you,

EXHIBIT B



DEPARTMENT OF COMMUNITY DEVELOPMENT

Nathaniel Ouzts
Director

Joy Bailey
Library Director

Ailis Vann
Parks & Facilities Manager

Ian Dorman
Building Inspector

Mail: 231 W. Evergreen Ave.
Location: 645 E. Cope Industrial Way
Palmer, AK 99645-6748
Phone: 907-745-3709
www.palmerak.org

MEMORANDUM

TO: Fred Wagner, Chief of Platting
FROM: Kalea Myers, Community Development Specialist
DATE: February 3, 2026
LOCATION: Lots 8-1, 16, 15 Lucas Subdivision in Section 05, Township 17
North, Range 2 East
SUBJECT: Abbreviated Plat RFC – Create one lot
TAX ACCT#: 5012B02L008-1, 5012B02L016, 5012B02L015
 Inside City Limits Outside City Limits

We have distributed the pre-application packet for the subject project and have received the following comments from the following departments:

1. City Manager: No comments
2. Building Inspector: No comments
3. Community Development: Plat Application request details that Lot(s) 8-1, 15 & 16 to be combined but "Subject Property Map (page 2) only highlights 8A as "subject" not ALL 3 lots pertaining to re-plat. Otherwise, full support of re-plat.
4. Fire Chief: No comments
5. Public Works: No comments
6. Airport Superintendent: No comments
7. Planning and Zoning Commission: The proposed platting action is scheduled to be reviewed at the February 19, 2026, Planning & Zoning Commission meeting; any additional comments will be forwarded at this time.

Cayman Reynolds

From: OSP Design Group <ospdesign@gci.com>
Sent: Wednesday, February 4, 2026 1:57 PM
To: Cayman Reynolds
Cc: OSP Design Group
Subject: RE: RFC Lucas 2025 CR
Attachments: Agenda Plat.PDF

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Cayman,

In review GCI has no comments or objections to the plat, attached is the signed plat for your records.

Thanks,
GCI | OSP Design
1001 Northway Dr., 1st Floor, Anchorage, AK 99508
e: OSPDesign@gci.com | w: www.gci.com

From: Cayman Reynolds <Cayman.Reynolds@matsugov.us>
Sent: Wednesday, January 21, 2026 11:10 AM
To: Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pd&e@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; row@mtasolutions.com; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; OSP Design Group <ospdesign@gci.com>; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; clinchnot@yahoo.com; Tawnya Hightower <Tawnya.Hightower@matsugov.us>; akchief@mtaonline.net; hessmer@mtaonline.net; Fire Code <Fire.Code@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Michael Keenan <Michael.Keenan@matsugov.us>; avann@plamerak.org; Kalea Myers <kmyers@palmerak.org>; nouzts@palmerak.org
Subject: RFC Lucas 2025 CR

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

The following link is a request for comments for the proposed Lucas 2025.

Please ensure all comments have been submitted by February 4, 2026, so they can be incorporated in the staff report packet that will be presented during the public hearing.

[Lucas 2025](#)



ENSTAR Natural Gas Company, LLC
Engineering Department, Right of Way Section
401 E. International Airport Road
P. O. Box 190288
Anchorage, Alaska 99519-0288
(907) 277-5551
FAX (907) 334-7798

February 5, 2026

Matanuska-Susitna Borough, Platting Division
350 East Dahlia Avenue
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed the following preliminary and abbreviated plats and has no comments or recommendations.

- **Windhaven Subdivision**
(MSB Case # 26-005)
- **Lucas 2025**
(MSB Case # 26-002)

If you have any questions, please feel free to contact me at (907) 252-1294 or by email at skylar.furlong@enstarnaturalgas.com.

Sincerely,

Skylar Furlong

Skylar Furlong
Environmental Permitting & Compliance Specialist
ENSTAR Natural Gas Company, LLC

Cayman Reynolds

From: Kiley Guggenmos <kguggenmos@mtasolutions.com>
Sent: Wednesday, February 4, 2026 9:12 AM
To: Cayman Reynolds
Subject: RE: RFC Lucas 2025 CR

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good morning,

MTA has no comments.

Thank you,

Kiley Guggenmos, Right of Way Assistant

1740 S. Chugach St., Palmer, Alaska 99645

Office: (907) 761-2687 | www.mtasolutions.com

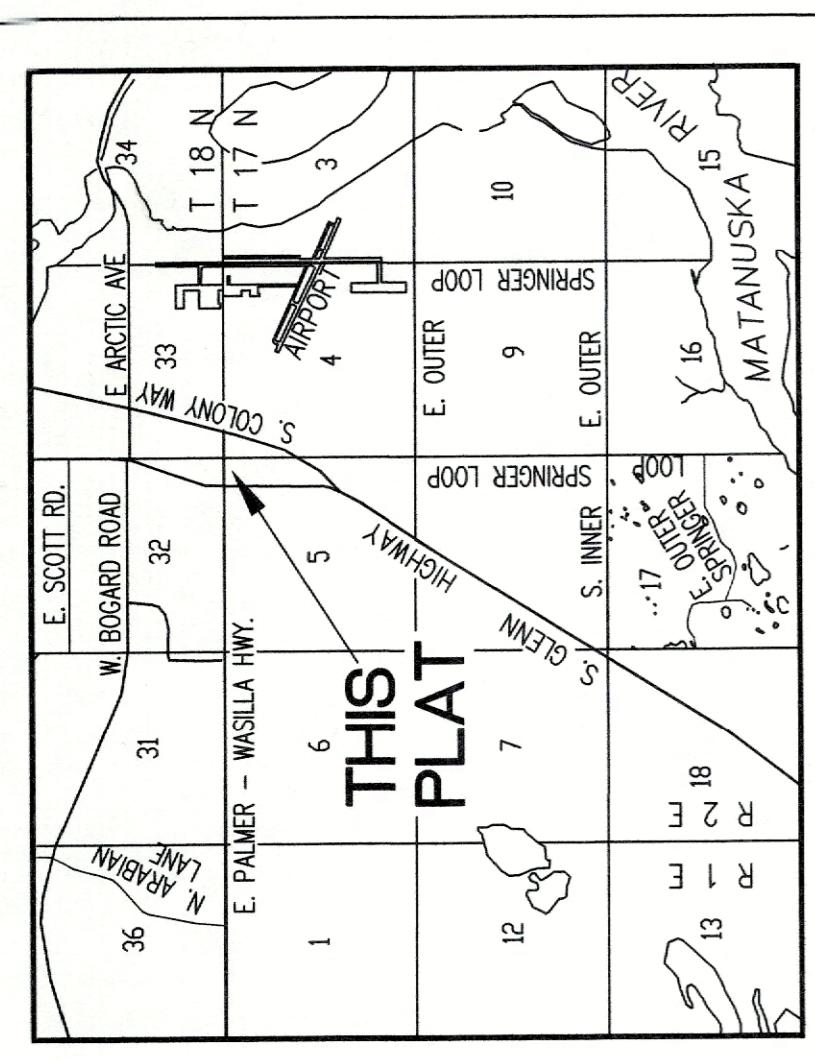


Life. Technology. Together.

From: Cayman Reynolds <Cayman.Reynolds@matsugov.us>
Sent: Wednesday, January 21, 2026 11:10 AM
To: Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pd&e@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; Right of Way Dept. <row@mtasolutions.com>; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; ospdesign@gci.com; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; clinchnot@yahoo.com; Tawnya Hightower <Tawnya.Hightower@matsugov.us>; akchief@mtaonline.net; hessmer@mtaonline.net; Fire Code <Fire.Code@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Michael Keenan <Michael.Keenan@matsugov.us>; avann@plamerak.org; Kalea Myers <kmyers@palmerak.org>; nouzts@palmerak.org
Subject: RFC Lucas 2025 CR

Hello,

The following link is a request for comments for the proposed Lucas 2025.



NOTES
 1. THERE MAY BE FEDERAL, STATE AND LOCAL REQUIREMENTS GOVERNING LAND USE. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL PARCEL OWNER TO OBTAIN A DETERMINATION WHETHER SUCH REQUIREMENTS APPLY TO THE DEVELOPMENT OF PARCELS SHOWN HEREON.
 2. BASIS OF BEARING FROM G.P.S. OBSERVATION TAKEN AT THE SURVEY CONTROL POINT SHOWN HEREON.
 3. 5/8" x 30" REBAR WITH 1-1/4" SELF-IDENTIFYING PLASTIC CAP SET AT ALL LOT CORNERS, P.C.S. P.T.S AND P.R.C.S. UNLESS NOTED.
 4. NO INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY LOT UNLESS SUCH SYSTEM IS LOCATED, CONSTRUCTED AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS AND RECOMMENDATIONS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERN THOSE SYSTEMS.
 5. EASEMENTS OF RECORD NOT PLOTTED HEREON:
 a) MEA EASEMENT RECORDED SEPTEMBER 9, 1985
 IN BOOK 434, PAGE 35.

17' WIDE EASEMENT GRANTED TO
THE STATE OF ALASKA DEPT. OF
TRANSPORTATION AND PUBLIC FACILITIES
RECEPTION SERIAL # 2017-003680-0

FOUND BRASS CAP MONUMENT,
SECTION 10, T 18 N, R 18 E,
SHEET 47 OF 68 ADULT & PF
RIGHT OF WAY PLANS - DATED MARCH 2013.
STATION 164+68.31 - 751.68' RIGHT

STATION 164+68