

# AGENDA



# MATANUSKA-SUSITNA BOROUGH

350 East Dahlia Avenue, Palmer, Alaska 99645 – 907-861-7874

PLATTING OFFICER  
Fred Wagner

PLATTING CLERK  
Kayla Smith

PLATTING TECHNICIANS  
Matthew Goddard  
Chris Curlin  
Cayman Reynolds



PLATTING BOARD  
Chris Chiavetta, District 1  
Vice Chair Michael Liebing, District 2  
Michael Gillson, District 3  
Amanda Salmon, District 4  
Chair Michelle Traxler, District 5  
Vacant, District 6  
Sidney Bertz, District 7  
Karla McBride, Alternate A  
Vacant, Alternate B

## **PLATTING BOARD AGENDA** **ASSEMBLY CHAMBERS** **350 E DAHLIA AVENUE PALMER**

**PLATTING BOARD MEETING**                      **1:00 P.M.**                      **February 18, 2026**

Ways you can participate in Platting Board meetings:

### **IN PERSON**

**IN WRITING:** You can submit written comments by email to [platting@matsugov.us](mailto:platting@matsugov.us) or by mail to Matanuska-Susitna Borough, Platting Division, 350 E. Dahlia Avenue, Palmer, AK 99645

### **TELEPHONIC TESTIMONY:** (Audio only)

**(We are having intermittent technical difficulties with our software; if you would like to submit comments, please submit comments to the email address above by the Wednesday before the meeting.)**

- Dial 1-855-290-3803; you will hear “Joining conference” when you are admitted to the meeting.
- You will be automatically muted and able to listen to the meeting.
- When the Chair announces audience participation or a public hearing you would like to speak to, press \*3; you will hear “Your hand has been raised.”
- When it is your turn to testify you will hear “Your line has been unmuted.”
- State your name for the record, spell your last name, and provide your testimony.

**OBSERVE:** You can observe the meeting via the live stream video at:

- <https://www.facebook.com/MatSuBorough>
- Matanuska-Susitna Borough – YouTube

### **1. CALL TO ORDER**

- A. Roll Call and Determination of Quorum (by Secretary)
- B. Pledge of Allegiance
- C. Approval of Agenda

## 2. APPROVAL OF MINUTES

- February 4, 2026
- February 5, 2026

## 3. AUDIENCE PARTICIPATION & PRESENTATIONS

- A. **PERSONS TO BE HEARD** (Three minutes per person for Items not scheduled for public hearing)

## 4. UNFINISHED BUSINESS

- A. **CHOPPER INDUSTRIAL PARK:** The request is to create 10 lots and from Parcel 117N01E04C030, to be known as **CHOPPER INDUSTRIAL PARK**, containing 15.2 acres +/- . Proposed Chopper Circle is to serve as a private road, providing access for all proposed lots. The property is located south of East Mountain Heather Way, west of North Blue Ridge Circle, and east of North Hyer Road, within the SW ¼ Section 04, Township 17 North, Range 01 East, Seward Meridian, Alaska, in the South Lakes Community Council and in Assembly District #3. **This case was continued from the January 15<sup>th</sup> 2026 Platting Board Meeting.** (Petitioner/Owner: Whiskey Romeo LLC, Staff: Cayman Reynolds, Case # 2025-157)

## 5. RECONSIDERATIONS/APPEALS

(None)

## 6. PUBLIC HEARINGS

- A. **RAFTER RIDGE:** The request is to create 2 lots from Government Lots 15 & 16, (Tax ID #'s 17N04W25A004 & 17N04W25A005), to be known as **RAFTER RIDGE**, containing 8.59 acres +/-, to be accessed by water. The property is located directly east of Big Lake, in the NE ¼ Section 25, Township 17 North, Range 04 West, Seward Meridian, Alaska. In the Big Lake Community Council and in Assembly District #5. (Petitioner/Owner: James Rafter & Patricia Rafter, Staff: Chris Curlin, Case # 2025-169)
- B. **LUCAS 2025:** The request is to create one lot from lots 8, 9, 15, and 16 Lucas Subdivision, Plat 5-65, to be known as **LUCAS 2025**, containing 0.53 acres +/- . The plat is located east of South Glenn Highway, south of West Evergreen Avenue, and north of West Elmwood Avenue, located within the NE ¼ Section 5, Township 17 North, Range 02 East, Seward Meridian, Alaska. No community council, Assembly District is 002. (Petitioner/Owner: Valley Feed LLC, Staff: Cayman Reynolds, Case # 2026-002)

## 7. ITEMS OF BUSINESS & MISCELLANEOUS

(None)

## 8. PLATTING STAFF & OFFICER COMMENTS

- A. Adjudicatory (If needed)
- Definition: Law. To hear and settle an issue or a question regarding code.
- B. Upcoming Platting Board Agenda Items (Staff: Fred Wagner & Clerk: Kayla Smith)
- March 5, 2026, Platting Board Meeting, we have 1 case to be heard:
    - Wilmington Hill



**9. BOARD COMMENTS**

**10. ADJOURNMENT**



# MINUTES



**MATANUSKA-SUSITNA BOROUGH  
PLATTING BOARD MINUTES**

**REGULAR MEETING  
February 4, 2026**

The special meeting of the Matanuska-Susitna Borough Platting Board was held on February 4, 2026, at the Matanuska-Susitna Borough 350 E Dahlia Ave, Palmer, Alaska. Chair Traxler called the Meeting to order at 1:00 p.m.

**1. CALL TO ORDER**

**A. ROLL CALL AND DETERMINATION OF QUORUM (by Administrative Specialist)**

Platting Board members present and establishing a quorum:

Mr. Michael Liebing, District Seat #2  
Mr. Michael Gillson, District Seat #3  
Ms. Michelle Traxler, District Seat #5  
Ms. Karla McBride, Alternate A

Platting Board members absent and excused were:

Mr. Chris Chiavetta, District Seat #1  
Ms. Amanda Salmon, District Seat #4  
Vacant, District seat #6  
Vacant, District seat #7  
Vacant, Alternate B

Platting Board members absent were:

Staff in attendance:

Mr. Fred Wagner, Platting Officer  
Mr., Alex Strawn, Planning and Land Use Director  
Ms. Kayla Smith, Platting Board Clerk

**B. THE PLEDGE OF ALLEGIANCE**

Platting Member Traxler led the pledge of allegiance.

**C. APPROVAL OF THE AGENDA**

Chair Traxler inquired if there were any changes to the agenda.

MOTION: Platting Member Liebing made motion to approve the Agenda. Platting Member McBride seconded.

VOTE: The Agenda was approved unanimously.

**2. AUDIENCE PARTICIPATION & PRESENTATIONS**

**PERSONS TO BE HEARD** (Three minutes per person for items not scheduled for public hearing)

**MATANUSKA-SUSITNA BOROUGH  
PLATTING BOARD MINUTES**

**REGULAR MEETING  
February 4, 2026**

*(None)*

**3. ITEMS OF BUSINESS & MISCELLANEOUS**

- A. RESOLUTION 26-01:** Resolution of the Matanuska-Susitna Borough, Platting Board recommending approval of an Ordinance amending Chapter 43.20 Subdivision Development Standards to allow lots to be reduced to 30,000 sq ft with Single Family Residential land use districts. *(Staff: Alex Strawn, Planning and Land Use Director)*

**MOTION:** Platting Member Liebing made a motion to reopen public testimony. Platting Member Gillson seconded.

**VOTE:** The motion was approved unanimously.

The following persons spoke:

- Sandra Kreger
- Chuck Lee

Platting Member Liebing had questions.

Platting Member Traxler had questions.

- Ellery Gibbs

There being no one else to be heard, Platting Member Traxler closed public testimony.

Discussion ensued.

Platting Member Liebing had a question for Planning and Land Use Director, Alex Strawn.

Platting Member Traxler had questions for staff.

Platting Member McBride spoke.

Discussion ensued.

Recess 1:44 PM

Reconvened 2:00 PM

**MOTION:** Platting Member Liebing made motion to amend the Ordinance. Platting Member McBride seconded.

Discussion ensued.

**VOTE:** The motion passes unanimously.

**MATANUSKA-SUSITNA BOROUGH  
PLATTING BOARD MINUTES**

**REGULAR MEETING  
February 4, 2026**

MAIN MOTION: Platting Member Liebing made a motion to approve the ordinance with the amended changes. Platting Member Gillson seconded the motion.

VOTE: The motion passed unanimously.

**4. PLATTING STAFF & OFFICER COMMENTS**

- A. Adjudicatory (*if needed*)
- B. Platting Officer, Fred Wagner 4 Cases tomorrow.

**5. BOARD COMMENTS.**

- Member Liebing – I would like to congratulate the board. I think that we have taken our responsibilities in this matter seriously and everyone gave a lot of consideration to it and I'm proud of our actions today so thank you.
- Member McBride – No comment
- Member Gillson – I agree with the previous comments, thank you.
- Member Traxler – I thank you to the board members that showed today and good work.

**6. ADJOURNMENT**

With no further business to come before the Platting Board, Chair Traxler adjourned the meeting at **2:11 PM**.

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MICHELLE TRAXLER  
Platting Board Chair

ATTEST:

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KAYLA SMITH  
Platting Board Clerk

**MATANUSKA-SUSITNA BOROUGH  
PLATTING BOARD MINUTES**

**REGULAR MEETING  
February 5, 2026**

The regular meeting of the Matanuska-Susitna Borough Platting Board was held on February 5, 2026, at the Matanuska-Susitna Borough 350 E Dahlia Ave, Palmer, Alaska. Chair Traxler called the Meeting to order at 1:00 p.m.

**1. CALL TO ORDER**

**A. ROLL CALL AND DETERMINATION OF QUORUM (by Administrative Specialist)**

Platting Board members present and establishing a quorum:

Mr. Michael Liebing, District Seat #2  
Mr. Michael Gillson, District Seat #3  
Ms. Michelle Traxler, District Seat #5  
Ms. Karla McBride, Alternate A

Platting Board members absent and excused were:

Mr. Chris Chiavetta, District Seat #1  
Ms. Amanda Salmon, District Seat #4  
Vacant, District seat #6  
Vacant, District seat #7  
Vacant, Alternate B

Platting Board members absent were:

Staff in attendance:

Mr. Fred Wagner, Platting Officer  
Ms. Kayla Smith, Platting Board Clerk  
Mr. Matthew Goddard, Platting Technician  
Mr. Chris Curlin, Platting Technician  
Mr. Cayman Reynolds, Platting Technician

**B. THE PLEDGE OF ALLEGIANCE**

Platting Member McBride led the pledge of allegiance.

**C. APPROVAL OF THE AGENDA**

Chair Traxler inquired if there were any changes to the agenda.

MOTION: Platting Member Liebing made motion to approve the Agenda. Platting Member McBride seconded.

VOTE: The Agenda was approved unanimously.

**2. APPROVAL OF MINUTES**

- January 15, 2026.



**MATANUSKA-SUSITNA BOROUGH  
PLATTING BOARD MINUTES**

**REGULAR MEETING  
February 5, 2026**

MOTION: Platting Member Liebing made motion to approve January 15, 2026 Minutes. Platting Member McBride seconded.

VOTE: The Minutes were approved unanimously.

**3. AUDIENCE PARTICIPATION & PRESENTATIONS**

**PERSONS TO BE HEARD** (Three minutes per person for items not scheduled for public hearing)  
(None)

**4. UNFINISHED BUSINESS**

A. **VANDA VALLEY:** The request is to create 37 lots and one tract from Tax Parcel C6, (Tax ID#18N01E19C006) to be known as Vanda Valley, containing 49.29 acres +/- . The petitioner is requesting a variance from MSB 43.20.300 Lot and Block Design. The property is located directly west of E. Kilo Drive, directly north of E. Foxtrot Avenue, and southeast of N. Wasilla-Fishhook Road; within the SW ¼ Section 3, Township 19 North, Range 01 East, Seward Meridian, Alaska. In the North Lakes Community Council and in Assembly District #1. (Petitioner/Owner: Kov's LLC, Staff: Chris Curlin, Case #2025-128)

Chair Traxler read the statement regarding Ex-Parte & Interest on quasi-judicial action into the record.

Kayla Smith provided the mailing report:

- Stating that 91 public hearing notices were mailed out on October 14, 2025.
- Stating that 91 revised public hearing notices were mailed out on January 20, 2026.

Staff gave an overview of the case:

- Staff recommends approval with 10 conditions and 6 findings of facts.

Platting Member Liebing had questions for staff.

Chair Traxler invited the petitioner/petitioner's representative to give an overview.

The petitioner/petitioner's representative chose not to speak.

Chair Traxler opened the public hearing for public testimony.

The following persons spoke:

- Rod Hanson

There being no one else to be heard Chair Traxler closed the public hearing and invited the petitioner and/or the petitioner's representative to further discuss and answer any questions from the Board.

The petitioner's representative, Craig Hanson spoke.

**MATANUSKA-SUSITNA BOROUGH  
PLATTING BOARD MINUTES**

**REGULAR MEETING  
February 5, 2026**

MOTION: Platting Member Liebing made a motion to approve the variance of Vanda Valley. Platting Member McBride seconded the motion.

Discussion ensued.

MOTION: Platting Member Liebing made motion to amend the conditions of approval to add a 10<sup>th</sup> condition. Platting Member Gillson seconded.

VOTE: The motion passed without objection.

MAIN MOTION: Platting Member Liebing made a motion to approve the preliminary plat and Variance of Vanda Valley. Platting Member McBride seconded the motion.

VOTE: The motion passed without objection.

**5. RECONSIDERATIONS/APPEALS**  
(None)

**6. PUBLIC HEARINGS**

- A. **FEATHER LAKE**: The request is to create eight lots from parcels 217N04W13A002 through A006 and 17N04W13B004, to be known as Feather Lake, containing 168.2 acres +/- . The plat is located east of Horseshoe Lake, north of West Lakes Drive, and north of Big Lake, located within the NE ¼ Section 13, Township 17 North, Range 04 West, Seward Meridian, Alaska. In the Big Lake Community Council and in Assembly District #5. (Petitioner/Owner: Chris & Miranda Wallstrum, Staff: Chris Reynolds, Case #2025-176)

Chair Traxler read the statement regarding Ex-Parte & Interest on quasi-judicial action into the record.

Kayla Smith provided the mailing report:

- Stating that 23 public hearing notices were mailed out on January 9, 2026.

Staff gave an overview of the case:

- Staff recommends a continuance to March 19, 2026 Platting Board Hearing.

Chair Traxler invited the petitioner/petitioner's representative to give an overview.

The petitioners representative Dayna Rumfelt, spoke.

Chair Traxler had questions.

**MATANUSKA-SUSITNA BOROUGH  
PLATTING BOARD MINUTES**

**REGULAR MEETING  
February 5, 2026**

There being no one to be heard Chair Traxler left the public hearing.

MOTION: Platting Member Liebing made a motion to continue the preliminary plat of Feather Lake to the March 19<sup>th</sup>, 2026, Platting Board Hearing. Platting Member McBride seconded the motion.

VOTE: The motion passed without objection.

- B. **URSULA ACRES**: The request is to create 2 lots from Tax Parcel C3,(Tax ID# 18N02W13C003), to be known as Ursula Acres, containing 39.98 acres +/- . The petitioner is dedicating a 30' easement along the northern boundary of the property for W. Sunshine Road. The property is located directly south of W. Sunshine Road and east of N. Mahoney Road; within the SW ¼ Section 13, Township 18 North, Range 02 West, Seward Meridian, Alaska. . In the Meadow Lakes Community Council and in Assembly District #7. (*Petitioner/Owner: Timothy Stowell, Staff: Chris Curlin, Case #2025-179*)

Chair Traxler read the statement regarding Ex-Parte & Interest on quasi-judicial action into the record.

Kayla Smith provided the mailing report:

- Stating that 23 public hearing notices were mailed out on January 9, 2026.

Staff gave an overview of the case:

- Staff recommends approval with 8 conditions and 5 findings of facts.

Chair Traxler invited the petitioner/petitioner's representative to give an overview.

The petitioner's representative Owen Dicks chose not to speak.

Chair Traxler opened the public hearing for public testimony.

There being no one to be heard Chair Traxler closed the public hearing open and invited the petitioner and/or the petitioner's representative to further discuss and answer any questions from the Board.

The petitioner's representative spoke.

MOTION: Platting Member Liebing made a motion to approve the preliminary plat of Ursula Acres. Platting Member Gillson seconded the motion.

VOTE: The motion passed without objection.

**MATANUSKA-SUSITNA BOROUGH  
PLATTING BOARD MINUTES**

**REGULAR MEETING  
February 5, 2026**

- C. **BLAIR RESIDENCE**: The request is to vacate the drainage easement from Lot 4 Cornelius Lakeview Subdivision, Plat 99-90 and create a drainage easement along the boundary of lot 3 Cornelius Lakeview Subdivision, Plat 99-90. To be known as Blair Residence. The plat is located directly north of Cornelius lake, east of North Engstrom Road, and north of East Bogard Road, located within the SW ¼ Section 22, Township 18 North, Range 01 East, Seward Meridian, Alaska. (*Petitioner/Owner: Garren Blair, Staff: Cayman Reynolds, Case #2025-181*)

Chair Traxler read the statement regarding Ex-Parte & Interest on quasi-judicial action into the record.

Kayla Smith provided the mailing report:

- Stating that 50 public hearing notices were mailed out on January 9, 2026.

Staff gave an overview of the case:

- Staff recommends approval with 6 conditions and 5 findings of facts.

Platting Members Gillson and Liebing had questions for staff.  
Chair Traxler had questions for staff.

Chair Traxler invited the petitioner/petitioner's representative to give an overview.

The petitioner's representative Dayna Rumfelt spoke.

Chair Traxler opened the public hearing for public testimony.

The following persons spoke:

- Stephen Duffin
- Cyd Duffin

There being no one else to be heard Chair Traxler closed the public hearing open and invited the petitioner and/or the petitioner's representative to further discuss and answer any questions from the Board.

The petitioner/petitioner's representative spoke.

Chair Traxler and Platting Members Liebing and McBride had questions for petitioner's representative.

**MOTION:** Platting Member Liebing made a motion to approve the preliminary plat of Blair Residence. Platting Member Gillson seconded the motion.

**VOTE:** The motion passed without objection.

**MATANUSKA-SUSITNA BOROUGH  
PLATTING BOARD MINUTES**

**REGULAR MEETING  
February 5, 2026**

**7. ITEMS OF BUSINESS & MISCELLANEOUS**

*(None)*

**8. PLATTING STAFF & OFFICER COMMENTS**

A. Adjudicatory *(if needed)*

B. Upcoming Platting Board Agenda Items

Platting Officer, Fred Wagner informed the board of upcoming items:

- There are 3 cases scheduled for February 18, 2026 Platting Board. This is a Wednesday.
  - Chopper Industrial Park
  - Rafter Ridge
  - Lucas 2025

**9. BOARD COMMENTS.**

- Member Liebing – Ill think ab out you on the 18<sup>th</sup> while you are here in the meeting and I am playing golf in Hawaii.
- Member McBride – We'll miss you
- Member Gillson – I will miss you too, who is going to submit motions.
- Member Traxler – Have a great time.

**10. ADJOURNMENT**

With no further business to come before the Platting Board, Chair Traxler adjourned the meeting at **2:04 PM**.

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MICHELLE TRAXLER  
Platting Board Chair

ATTEST:

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KAYLA SMITH  
Platting Board Clerk



UNFINISHED

BUSINESS





4A



STAFF REVIEW AND RECOMMENDATIONS  
PUBLIC HEARING  
FEBRUARY 18, 2026

PRELIMINARY PLAT: CHOPPER INDUSTRIAL PARK

LEGAL DESCRIPTION: SEC 04, T17N, R01E, SEWARD MERIDIAN AK

PETITIONERS: WHISKEY ROMEO LLC

SURVEYOR/ENGINEER: S4 GROUP

ACRES: 15.2 ± PARCELS: 1

REVIEWED BY: CAYMAN REYNOLDS CASE #: 2025-157

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**REQUEST:** The request is to create 10 lots from Parcel 117N01E04C030, to be known as **CHOPPER INDUSTRIAL PARK**, containing 15.2 acres +/- . Proposed Chopper Circle is to serve as a public road, providing access for all proposed lots. The property is located south of East Mountain Heather Way, west of North Blue Ridge Circle, and east of North Hyer Road, within the SW ¼ Section 04, Township 17 North, Range 01 East, Seward Meridian, Alaska, in the South Lakes Community Council and in Assembly District #3.

**EXHIBITS:**

**SUPPORTING DOCUMENTATION:**

Vicinity Map and Aerial Photos  
Topographic Map and As-Built  
Soils Report  
Grading & Drainage Plan  
Average Daily Traffic (ADT) Calculations

**EXHIBIT A** – 4 pgs  
**EXHIBIT B** – 1 pg  
**EXHIBIT C** – 30 pgs  
**EXHIBIT D** – 5 pgs  
**EXHIBIT E** – 1 pg

**AGENCY COMMENTS**

Department of Public Works  
Utilities

**EXHIBIT F** – 1 pg  
**EXHIBIT G** – 3 pgs

**DISCUSSION:** The proposed subdivision is southeast of East Palmer Wasilla Highway. Petitioner will be creating ten lots, ranging in size from 1.02 acres to 2.55 acres. Access will be from East Palmer Wasilla Highway to the north connecting to a public road, to be named Chopper Circle.

**Access:** Legal and physical access to the proposed lots are required pursuant to MSB 43.20.100 Access Required, MSB 43.20.120 Legal Access and MSB 43.20.140 Physical Access. Access requirements will be met once interior street is constructed.

**Soils Report:** A geotechnical report was submitted, pursuant to MSB 43.20.281(A). Brandon Marcott, PE, notes Areas north of the proposed ROW containing lots 1-4, GM and SM soils were encountered to the full depth of the test holes. Remaining five test holes encountered one to four feet of fill above primarily GW in situ soils. Testhole location map and soils log are attached.

Groundwater was encountered at test holes 4 and 5 on lots 7 and 9 respectively. The groundwater table was encountered at approximately 13' of depth for TH-4 and at 14' of depth for TH-5. There exists an excavated hole on lot 8 that contains standing water at the time of the soils testing. The groundwater table for TH-4 was encountered roughly 13' below grade. According to available survey data, the surface of TH-4 is at elevation 353' and the water surface elevation of the hole is at elevation 339.50'. This correlates to an elevation difference between the surface of TH-4 to the groundwater table is of roughly 13.50 feet. The water surface elevation in the hole can serve as accurate means of groundwater monitoring for the site.

The Proposed Lots 1-4 have GM and SM soils were encountered through the full depth of the test holes. Hardpan soils of varying density were encountered at approximately 4 feet below existing grade in Test Holes 1 and 2. Sieve analyses were performed on samples from Lots 1-4 and confirmed GM in-situ materials. For the proposed Lots 5-10, the remaining five test holes conducted on the south half of the project encountered varying depths (approximately 1 to 4 feet) of fill overlying primarily GW in-situ soils. These soils were visually classified and are suitable for on-site septic systems.

All proposed lots 1-10 have at least 10,000 square feet of usable building area and 10,000 square feet of contiguous usable area for a septic drain field.

**Comments:** PD&E comments that "Coordinate with ADOT&PF for an approach road permit. Unless authorized by ADOT&PF any above ground utility facilities shall not be located within the Palmer-Wasilla Highway right of way nearer than 40' to the proposed right of way of Chopper Circle, per 2022 SCM H02.2 (c)." As indicated on handout #1, RSA#9 objects on condition that Chopper Circle is to be a public road and part of the RSA. Has no objections if Chopper Circle were to become a private road.

**Utilities:** MTA asks that the dedication block be added to the plat. Enstar has no comments, recommendations or objections. GCI has no objections. MTA did not respond.

At the time of staff report write-up, there were no responses to the Request for Comments from US Army Corps of Engineers; Community Council Fishhook; Fire Service Area #132 Greater Palmer Consolidated; MSB Emergency Services, Community Development, Assessments, Planning, Pre-Design Division or Development Services.

**CONCLUSION:** The preliminary plat of Chopper Industrial Park is consistent with AS 29.40.070 Platting Regulations and MSB 43.15.016 Preliminary Plats. There were no objections from any federal or state agencies, Borough departments, or utilities. There were no objections to the plat from the public in response to the Notice of Public Hearing. Legal and physical access will exist to the proposed lots, consistent with MSB 43.20.100 Access Required, MSB 43.20.120 Legal Access and MSB 43.20.140 Physical Access. Frontage for the subdivision will exist, pursuant to MSB 43.20.320 Frontage. A soils report was submitted, pursuant to MSB 43.20.218(A)(1).

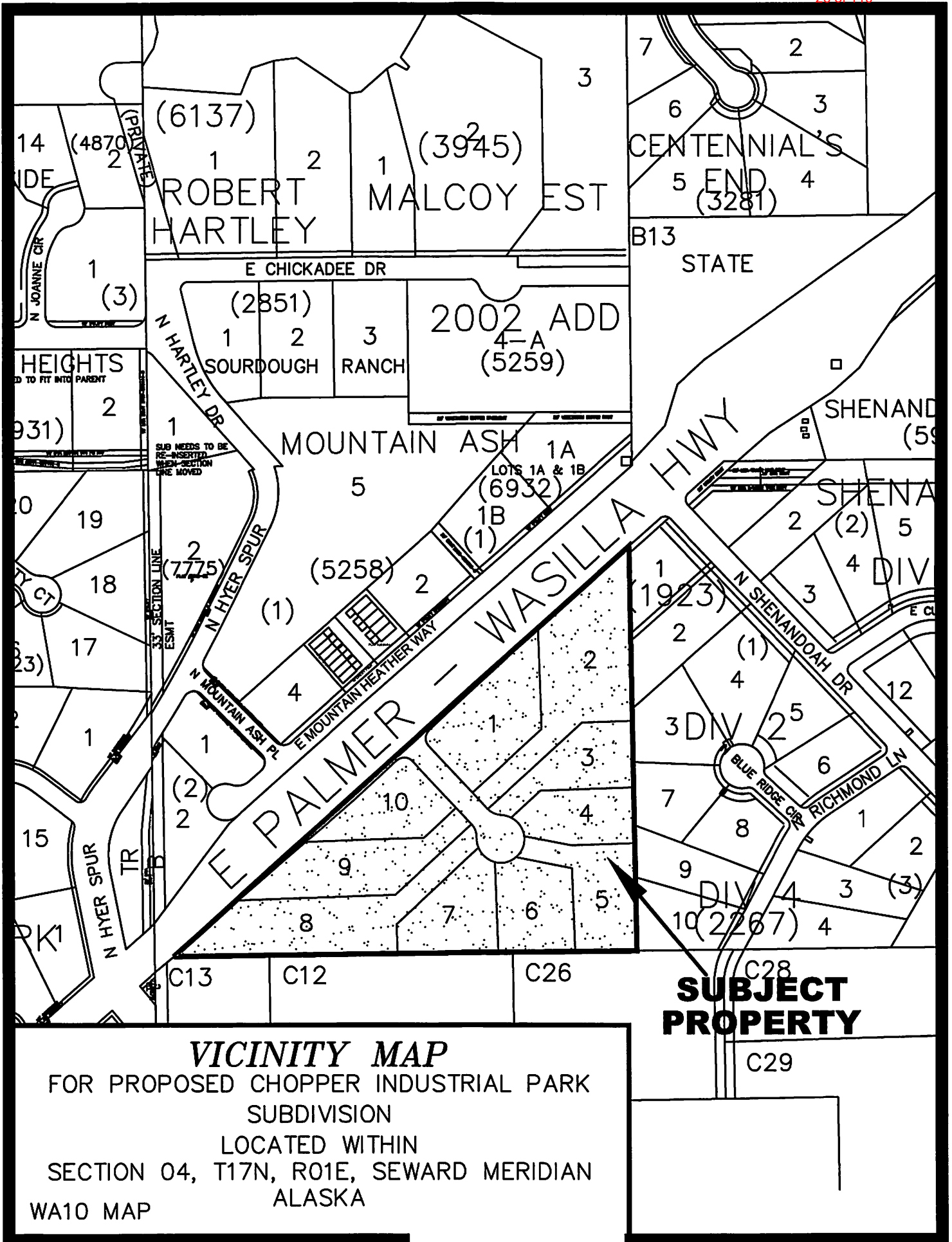
### **FINDINGS OF FACT**

1. The plat of Chopper Industrial Park is consistent with AS 29.40.070 Platting Regulations and MSB 43.15.016 Preliminary Plats.
2. A soils report was submitted, pursuant to MSB 43.20.281(A)(1)
3. The lot has the required frontage pursuant to MSB 43.20.320.
4. At the time of staff report write-up, there were no responses to the Request for Comments from US Army Corps of Engineers; Alaska Department Fish & Game; Community Council South Lakes; Fire Service Area #130 Central Mat-Su; Road Service Area #9 Midway; MSB Emergency Services, Community Development, Assessments, Planning, or Development Services.
5. There were no objections from any federal or state agencies, Borough departments, or utilities.
6. There were no objections from the public in response to the Notice of Public Hearing.

### **RECOMMENDATIONS OF CONDITIONS OF APPROVAL**

**Suggested motion: I move to approve the preliminary plat of Chopper Industrial Park, Section 04, Township 17 North, Range 01 East, Seward Meridian, Alaska, contingent on staff recommendations**

1. Taxes and special assessments must be paid in full for the year of recording, pursuant to MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs), by CERTIFIED FUNDS OR CASH.
2. Provide updated Certificate to Plat executed within seven (7) days of recording of plat and submit Beneficiary Affidavit for any holders of a beneficial interest.
3. Pay postage and advertising fees.
4. Obtain Approach Road Permit from ADOT&PF.
5. Construct the access road and cul-de-sac to pioneer standard according to the 2022 Subdivision Construction Manual (SCM):
  - a) Submit drainage report and other construction plans to Department of Public Works (DPW) per SCM F01.2;
  - b) Arrange preconstruction conference with DPW per SCM F01.3, sign Subdivision Construction Plan, pay inspection fee, and obtain Notice to Proceed from Platting staff;
  - c) Arrange Pre-Final and Final Inspections with DPW per SCM F01.6 and F01.7 and submit Final Report to Platting per F01.8;
  - d) Obtain Certificate of Construction Acceptance from DPW per F01.9.
  - e) Submit as-built of streets and drainage improvements to Platting staff once construction is complete.
  - f) Obtain approval of street names from Platting Assistant.
6. Show all easements of record on final plat.
7. Submit recording fees, payable to Department of Natural Resources (DNR).
8. Submit plat in full compliance with Title 43.





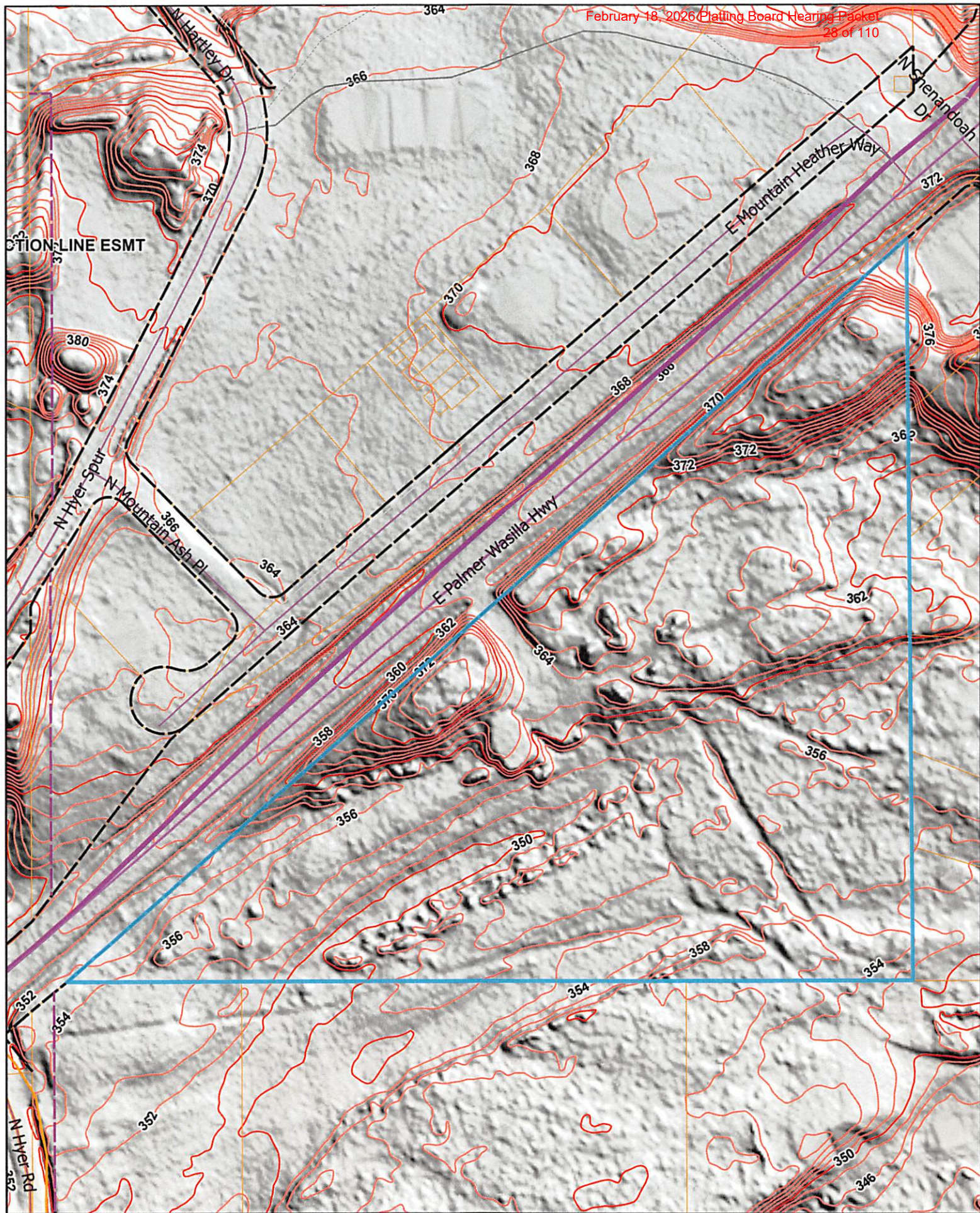


Matanuska-Susitna Borough, Microsoft



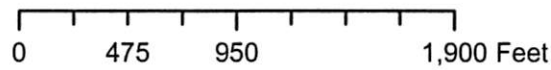
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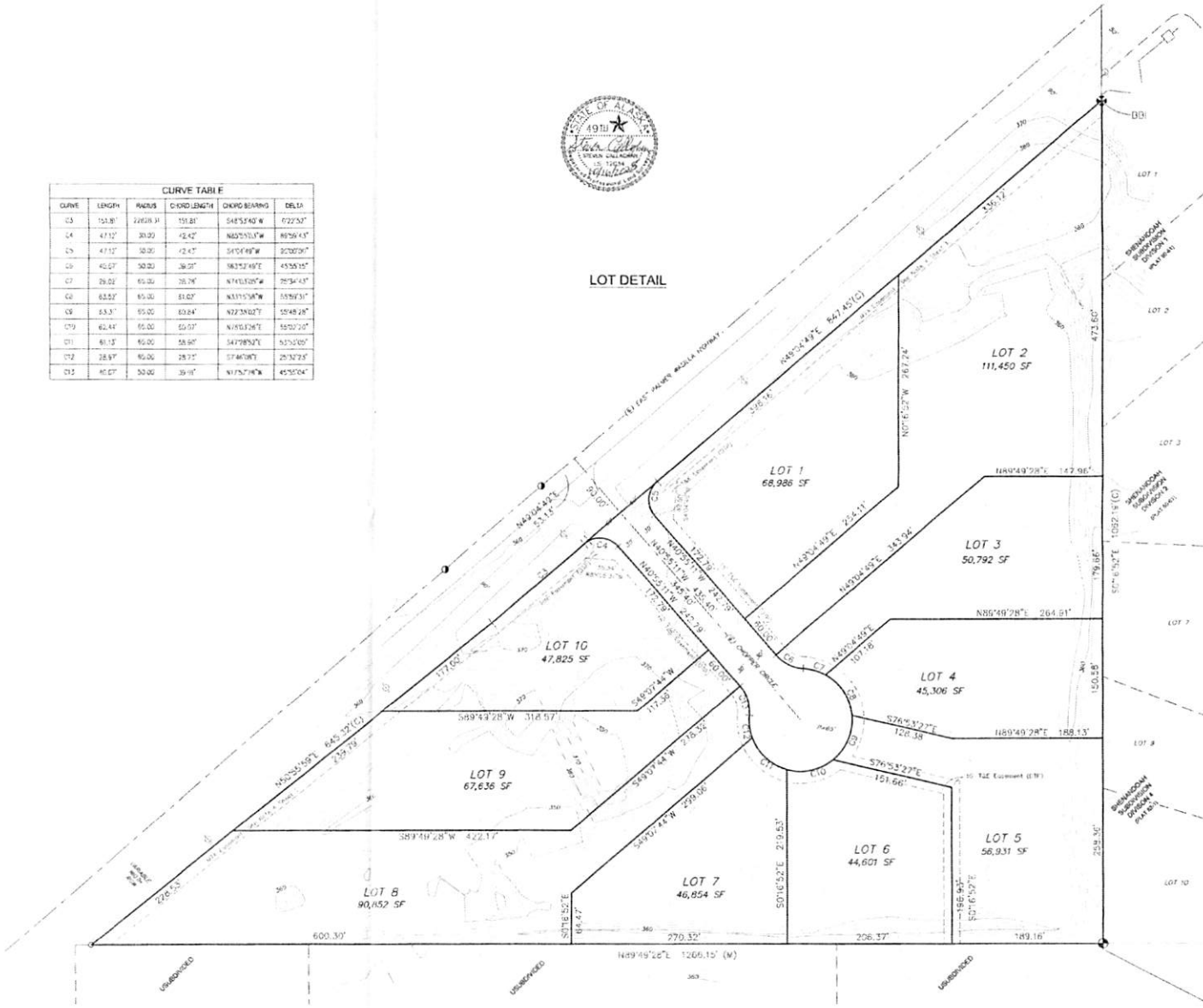




CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD BEING	CHORD BEARING	DELTA
C3	151.81	2428.31	151.81	54°52'40" N	7°22'27"
C4	47.12	50.20	47.42	54°52'40" N	88°50'43"
C5	47.12	50.20	47.42	54°50'40" N	20°20'50"
C6	40.07	50.20	38.96	88°52'49" E	43°25'15"
C7	39.01	50.20	38.96	N 41°15'02" W	79°34'43"
C8	62.52	55.30	63.67	N 41°15'02" W	158°51'31"
C9	143.3	55.30	143.84	N 42°33'02" E	5°48'28"
C10	62.44	55.30	55.57	N 41°15'02" E	55°52'02"
C11	81.15	65.00	84.78	N 42°33'02" E	51°32'05"
C12	28.67	65.00	28.75	S 77°40'45" E	45°32'52"
C13	46.07	50.00	39.16	N 41°15'02" E	55°25'24"

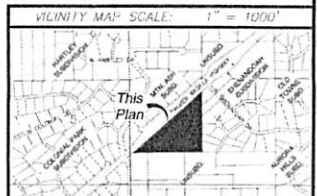


### LOT DETAIL



### LEGEND

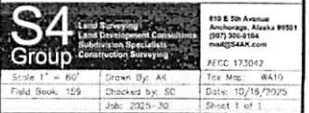
- |   |  |
|---|--|
|  | SET 3 1/4" ALUMINUM CAP MOUNTING AS DESCRIBED ON SHEET 1   |
|  | FOUND 3 1/4" ALUMINUM CAP MOUNTING AS DESCRIBED ON SHEET 1 |
|  | FOUND 2" ALUMINUM CAP AS DESCRIBED ON SHEET 1              |
|  | FOUND 5/8" REBAR AS DESCRIBED ON SHEET 1                   |
| (M)   | MEASURED   |
| (C)   | COMPUTED MEASUREMENT                                       |
| (DTP)   | DEDICATED BY THIS PLAN                                     |



As-built and Topography  
of Preliminary Plat of:

Chopper Industrial Park Subdivision  
Lots 1-10

**A Subdivision of:**  
That portion of the Northern one-quarter of the southwest one-quarter (NW1/4 SW1/4),  
Section 4, Township 17 North, Range 1 East, Seward Meridian, Alaska, located in the  
Recording Palmer District, Under Judicial District, State of Alaska, which lies South of the  
Palmer Wadsworth Highway right-of-way.  
**EXCEPTING THEREFROM** that portion conveyed by the State of Alaska, Department of  
Transportation and Public Facilities by Warranty Deed, Alaska Project No. 3-6772 (1),  
designated as Parcel 16, 32, recorded May 21, 1981, Book 249 Pages 518,  
containing 15.199 acres More or Less.





ENGINEERING, LLC

PHYSICAL

615 E. 82nd Ave., Suite 101  
Anchorage, AK 99518

MAILING

P.O. Box 111989  
Anchorage, AK 99511

OFFICE

907-561-6537

WEB

triadak.com

November 20<sup>th</sup>, 2025

Mat-Su Borough Planning Department  
350 E. Dahlia Ave.  
Palmer, AK 99645

RECEIVED  
NOV 25 2025  
PLATTING

Attention: Fred Wagner, PLS

Subject: **Proposed Chopper Industrial Park Subdivision, Lots 1-10 REV 1  
Usable Area Report**

Mr. Wagner,

This letter provides a usable area analysis for proposed Lots 1-10, Chopper Industrial Park Subdivision in accordance with the Mat-Su Borough (MSB) Title 43 Code Requirements.

#### Project Description

The project site consists of an existing 15.2-acre parcel identified as T17N R01E Section 04. The proposed plat will subdivide the parcel into 10 lots. The property is located in the Matanuska-Susitna Borough, Alaska, immediately east of the intersection of N. Hyer Road and E. Palmer-Wasilla Highway.

The property has been previously cleared, grubbed, and graded, with the exception of native trees and vegetation remaining on Lot 9. A hole was excavated at the westerly end of Lot 8 to locate the water table and provide a water source for grading operations.

#### Title 43 Requirements

Title 43.20.281A.1.f states the following requirements for usable wastewater disposal area;

- (f) *Soils in a usable wastewater disposal area must be:*
  - (i) *clearly shown to be visually classified as GW, GP, SW, or SP under the Unified Soils Classification System and expected to have a percolation rate of 15 minutes per inch or less (faster);*
  - (ii) *clearly shown to be GM or SM under the Unified Soils Classification System by a sieve analysis; or*
  - (iii) *shown by a percolation test conducted in accordance with (ADEC) Alaska State Department of Environmental Conservation regulations to have a percolation rate of 60 minutes per inch or less (faster).*

#### Soils Investigation

Triad Engineering, LLC performed a soils investigation on May 2 and May 12, 2025. BC Excavation mobilized a Hitachi 350 LC excavator to the site and provided an operator for the investigation. Test holes were excavated at the locations shown on the location map on the following page. Soils encountered

November 20<sup>th</sup>, 2025  
Subject: Proposed Chopper Industrial Park Subdivision, Lots 1-10 REV 1  
Usable Area Report  
Page 2 of 4

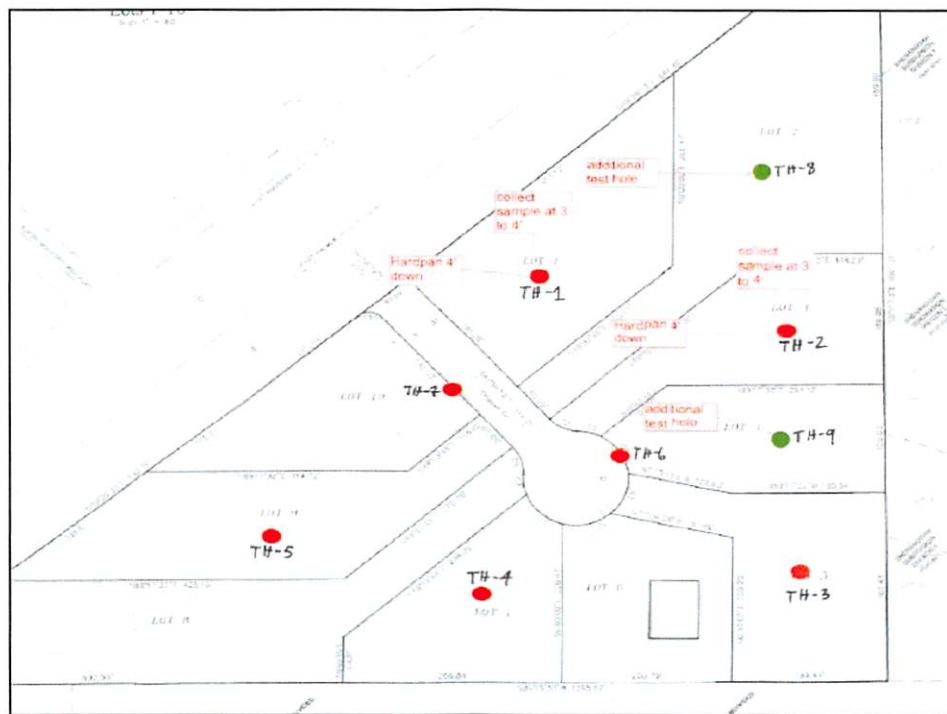
during the investigation were visually and mechanically classified in general accordance with the Unified Soil Classification System (USCS).

Two distinct subsurface profiles were encountered during the investigation:

- **Lots 1–4 (north of the proposed ROW):**  
GM and SM soils were encountered through the full depth of the test holes. Hardpan soils of varying density were encountered at approximately 4 feet below existing grade in Test Holes 1 and 2. Sieve analyses were performed on samples from Lots 1–4 and confirmed GM in-situ materials.
- **Lots 5–10 (south of the proposed ROW):**  
The remaining five test holes conducted on the south half of the project encountered varying depths (approximately 1 to 4 feet) of fill overlying primarily GW in-situ soils. These soils were visually classified and are suitable for on-site septic systems.

Percolation testing was completed in two locations along the cul-de-sac, at benches roughly 4 feet below the existing ground surface. The tests resulted in percolation rates of approximately 7.5 minutes per inch near Lot 10 and less than 1 minute per inch near Lot 4.

Test hole logs are attached to this report. Visual soil classification and percolation testing were performed by Triad Engineering, LLC, and sieve analysis was completed by Terra Firma Testing, Inc. Test hole logs and corresponding photos are attached to this report. A map of the test hole locations across the site is provided with this report.



Location Map



November 20<sup>th</sup>, 2025

Subject: Proposed Chopper Industrial Park Subdivision, Lots 1-10 REV 1  
Usable Area Report  
Page 3 of 4

### Groundwater

Groundwater was encountered in Test Holes 4 and 5, located on Lots 7 and 9, respectively. The groundwater table was encountered at approximately 13 feet below grade in TH-4 and at approximately 14 feet below grade in TH-5. An excavated hole on Lot 8 contained standing water at the time of the soils testing.

For TH-4, groundwater was encountered roughly 13.5 feet below grade. Available survey data indicate the surface elevation at TH-4 is approximately 353.0 feet and the water surface elevation in the excavation is approximately 339.5 feet, which correlates to a groundwater depth of about 13.5 feet. The water surface elevation in this excavation can serve as a practical means of groundwater monitoring for the site.

### Useable Area & Title 43 Compliance

Based on field observations, soil testing, and review of existing topography, adjacent properties, and overall site conditions, each of the proposed Lots 1–10 contains:

- **At least 10,000 square feet of usable building area, and**
- **At least 10,000 square feet of contiguous usable area for an on-site septic drain field, in accordance with MSB Title 43, Section 43.20.281.**

For Lots 5–10, the relatively uniform GW in-situ soils and percolation test results support the provision of both adequate building area and contiguous septic disposal area. These six lots were confirmed to have usable wastewater disposal area per *f.i* and *f.iii* above.

Lots 1–4 exhibit consistent GM and SM soils across the lots, with hardpan encountered at approximately 4 feet in two of the test holes. These four lots were confirmed to have usable wastewater disposal area per *f.ii* above. While Lots 1 and 3 may require mounded septic systems or shallow beds to place the drain fields in suitable infiltrative soils above the hardpan, each of these lots still provides the required 10,000 square feet of usable building area and 10,000 square feet of contiguous usable septic area.

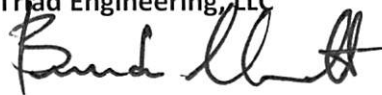
### Conclusion

In summary, the soils investigation, groundwater observations, and review of site conditions confirm that **all proposed Lots 1–10 contain a minimum of 10,000 square feet of usable building area and 10,000 square feet of usable septic area**, satisfying the applicable MSB Title 43 usable area requirements.

Thank you for your time and consideration in this matter. If you require additional information, please call 907-344-3114 or email [brandonmarcott@triadak.com](mailto:brandonmarcott@triadak.com).

Sincerely,

Triad Engineering, LLC



Brandon Marcott, P.E.



November 20<sup>th</sup>, 2025

Subject: Proposed Chopper Industrial Park Subdivision, Lots 1-10 REV 1  
Usable Area Report  
Page 4 of 4

Attachments:   Excavation Photos  
                      Test Hole Logs  
                      Sieve Analysis

(ENGINEER'S SEAL)



## Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC

Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 1

Township, Range, Section: \_\_\_\_\_

Site Plan

TH-1

Depth (Feet)	
1-	SILTY GRAVEL (GM)
2-	
3-	
4-	HARDPAN (see comments)
5-	SILTY GRAVEL (GM)
6-	
7-	
8-	
9-	
10-	
11-	
12-	BOH @ 12'
13-	NGWE
14-	
15-	
16-	
17-	
18-	
19-	
20-	

WAS GROUND WATER  
ENCOUNTERED? No

IF YES, AT WHAT DEPTH? \_\_\_\_\_

Depth to Water After  
Monitoring? N/A

Date: 5.2.25

S  
L  
O  
P  
E

Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop

PERCOLATION RATE N/A (minutes/inch)

PERC HOLE DIAMETER \_\_\_\_\_

TEST RUN BETWEEN \_\_\_\_\_ FT AND \_\_\_\_\_ FT

COMMENTS Top 4 feet confirmed as GM through sieve analysis. Visually and mechanically classified as Silty Gravel. Perc rate is anticipated to be 15 min/in or less. (MSB Standards 43.20.281.A.1.f.i)

PERFORMED BY: Triad Engineering, LLC

I John Walatka

CERTIFY THAT THIS TEST WAS

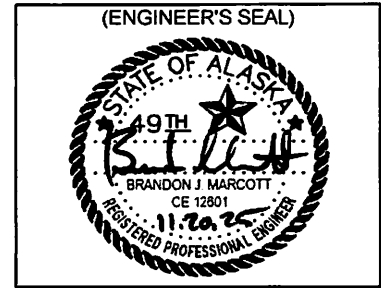
PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE.

DATE: 5.2.25









## Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC

Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 3

Township, Range, Section: \_\_\_\_\_

		Slope	Site Plan
TH-2			
Depth (Feet)			
1-			
2-	SILTY GRAVEL (GP-GM)		
3-			
4-	HARDPAN (see comments)		
5-			
6-			
7-	GRAVEL w/ SILT & SAND (GP-GM)		
8-			
9-			
10-			
11-			
12-	BOH @ 12' NGWE		
13-			
14-			
15-			
16-			
17-			
18-			
19-			
20-			

WAS GROUND WATER ENCOUNTERED? No

IF YES, AT WHAT DEPTH? \_\_\_\_\_

Depth to Water After Monitoring? N/A

Date: 5.2.25

Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop

PERCOLATION RATE N/A (minutes/inch)

PERC HOLE DIAMETER \_\_\_\_\_

TEST RUN BETWEEN \_\_\_\_\_ FT AND \_\_\_\_\_ FT

COMMENTS Top 4 feet confirmed as GP-GM through sieve analysis. Visually and mechanically classified as Poorly-graded Gravel w/ Silt and Sand. Perc rates anticipated to be 15 min/in or less. (MSB Standards 43.20.281.A.1.f.i)

PERFORMED BY: Triad Engineering, LLC

| John Walatka

CERTIFY THAT THIS TEST WAS

PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE.

DATE: 5.2.25







(ENGINEER'S SEAL)



## Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC

Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 5

Township, Range, Section: \_\_\_\_\_

TH-3

Depth  
(Feet)

1-  
2-  
3-  
4-  
5-  
6-  
7-  
8-  
9-  
10-  
11-  
12-  
13-  
14-  
15-  
16-  
17-  
18-  
19-  
20-

WELL GRADED GRAVEL (GW) FILL

WELL GRADED GRAVEL (GW) NATIVE

WAS GROUND WATER  
ENCOUNTERED?

No

IF YES, AT WHAT DEPTH?

Depth to Water After  
Monitoring?

N/A

Date: 5.2.25

(GM or SM)

BOH @ 13'  
NGWE

Slope

Site Plan

Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop

PERCOLATION RATE N/A (minutes/inch)

PERC HOLE DIAMETER \_\_\_\_\_

TEST RUN BETWEEN \_\_\_\_\_ FT AND \_\_\_\_\_ FT

COMMENTS Soils visually classified as GW. Perc rates anticipated to be less than 1 min/in. (MSB Standards 43.20.281.A.1.f.i)

PERFORMED BY: Triad Engineering, LLC

| John Walatka

CERTIFY THAT THIS TEST WAS

PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE.

DATE: 5.2.25







(ENGINEER'S SEAL)



## Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC

Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 7

Township, Range, Section: \_\_\_\_\_

Site Plan

TH-4

Depth  
(Feet)

1-  
2-  
3-  
4-  
5-  
6-  
7-  
8-  
9-  
10-  
11-  
12-  
13-  
14-  
15-  
16-  
17-  
18-  
19-  
20-

WELL GRADED GRAVEL (GW)

(GM or SM)

BOH @ 13'  
GWT @ 13'

Slope


WAS GROUND WATER  
ENCOUNTERED?

YES

IF YES, AT WHAT DEPTH?

13'

Depth to Water After  
Monitoring?

N/A

Date: 5.2.25

S  
L  
O  
P  
E


Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop

PERCOLATION RATE N/A (minutes/inch)

PERC HOLE DIAMETER \_\_\_\_\_

TEST RUN BETWEEN \_\_\_\_\_ FT AND \_\_\_\_\_ FT

COMMENTS Groundwater seeps encountered at roughly 13' depth. Soils visually classified as GW. Perc rates anticipated to be less than 1 min/in.

(MSB Standards 43.20.281.A.1.f.i)

PERFORMED BY: Triad Engineering, LLC

| John Walatka

CERTIFY THAT THIS TEST WAS

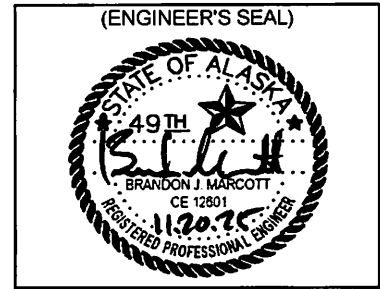
PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE.

DATE: 5.2.25









## Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC

Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 9

Township, Range, Section: \_\_\_\_\_

TH-5	Depth (Feet)	Slope	Site Plan
	1-		
	2-		
	3-		
	4-		
	5-		
	6-		
	7-		
	8-		
	9-		
	10-		
	11-		
	12-		
	13-		
	14-		
	15-		
	16-		
	17-		
	18-		
	19-		
	20-		

PEAT (PT)

WELL GRADED GRAVEL (GW)

SAND (SP)

BOH @ 12'

GWT @ 14'

WAS GROUND WATER ENCOUNTERED? YES

IF YES, AT WHAT DEPTH? 14'

Depth to Water After Monitoring? N/A

Date: 5.2.25

Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop

PERCOLATION RATE N/A (minutes/inch)

PERC HOLE DIAMETER \_\_\_\_\_

TEST RUN BETWEEN \_\_\_\_\_ FT AND \_\_\_\_\_ FT

COMMENTS Groundwater encountered at roughly 14' depth. Soils visually classified as GW. Perc rates anticipated to be less than 1 min/in.

BOH was at roughly 12' of depth, with 2' additional removed due to reporting the groundwater table.

(MSB Standards 43.20.281.A.1.f.i)

(MSB Standards 43.20.281.A.1.b.ii.bb)

PERFORMED BY: Triad Engineering, LLC

| John Walatka

CERTIFY THAT THIS TEST WAS

PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE.

DATE: 5.2.25





(ENGINEER'S SEAL)



## Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC

Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 4 (cul-de-sac) Township, Range, Section:

TH-6	Depth (Feet)	Soils	Slope	Site Plan
1-				
2-				
3-				
4-		SANDY GRAVEL (GPS)		
5-				
6-				
7-				
8-				
9-				
10-				
11-		SILTY SAND (SP-SM)		
12-				
13-		BOH @ 12' NGWE		
14-				
15-				
16-				
17-				
18-				
19-				
20-				

WAS GROUND WATER ENCOUNTERED? NO

IF YES, AT WHAT DEPTH? \_\_\_\_\_

Depth to Water After Monitoring? N/A

Date: 5.2.25

Reading No.	Gross Time Start/Stop (HH:MM:SS)	Net Time (Minutes)	Depth to Water Start/Stop (Feet)	Net Drop (Inches)	
1	0:00:00 / 0:01:05	1.08	4.17	4.67	6
2	0:00:00 / 0:01:40	1.67	4.17	4.67	6

PERCOLATION RATE < 1 (minutes/inch) PERC HOLE DIAMETER 6"  
TEST RUN BETWEEN 4 FT AND 5 FT

COMMENTS Soil strata used for the perc test visually classified as Sandy Gravel (GPS). Perc test performed along 4' deep bench.  
Perc test was conducted in accordance with ADEC regulations. (MSB Standards 43.20.281.A.1.f.iii)

PERFORMED BY: Triad Engineering, LLC | John Walatka CERTIFY THAT THIS TEST WAS  
PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE. DATE: 5.2.25







(ENGINEER'S SEAL)



## Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC

Date Performed: 5.2.25

Legal Description: Chopper Industrial Park Subdivision, Lot 10 (cul-de-sac) Township, Range, Section:

		Slope	Site Plan
TH-7			
Depth (Feet)			
1-			
2-			
3-	WELL GRADED GRAVEL (GW)		
4-			
5-			
6-	SILTY SAND (SP-SM)		
7-			
8-			
9-	WELL GRADED GRAVEL (GW)		
10-			
11-			
12-	BOH @ 12'		
13-	NGWE		
14-			
15-			
16-			
17-			
18-			
19-			
20-			

WAS GROUND WATER ENCOUNTERED? NO

IF YES, AT WHAT DEPTH? \_\_\_\_\_

Depth to Water After Monitoring? N/A

Date: 5.2.25

Reading No.	Gross Time Start/Stop (HH:MM:SS)	Net Time (Minutes)	Depth to Water Start/Stop (Feet)	Net Drop (Inches)	
1	0:00:00 / 0:01:05	5.75	5.17	5.50	4
2	0:00:00 / 0:15:00	15.00	5.17	5.34	2

PERCOLATION RATE 7.5 (minutes/inch)

PERC HOLE DIAMETER 6"

TEST RUN BETWEEN 5 FT AND 6 FT

COMMENTS Soils were visually classified as Well Graded Gravel (GW). Perc test was performed at 5' bench in accordance with ADEC regulations.

(MSB Standards 43.20.281.A.1.f.iii)

PERFORMED BY: Triad Engineering, LLC

| John Walatka

CERTIFY THAT THIS TEST WAS

PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE.

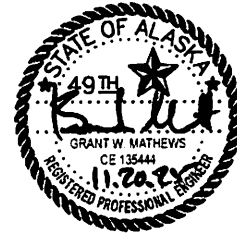
DATE: 5.2.25







(ENGINEER'S SEAL)



## Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC

Date Performed: 5.12.25

Legal Description: Chopper Industrial Park Subdivision, Lot 2

Township, Range, Section: \_\_\_\_\_

TH-8		Slope	Site Plan
Depth (Feet)			
1-	WELL GRADED GRAVEL (GW) FILL		
2-			
3-			
4-			
5-			
6-	SILTY SAND (SM)		
7-			
8-			
9-			
10-			
11-			
12-			
13-	BOH @ 13'		
14-	NGWE		
15-			
16-			
17-			
18-			
19-			
20-			

WAS GROUND WATER ENCOUNTERED? NO

IF YES, AT WHAT DEPTH? \_\_\_\_\_

Depth to Water After Monitoring? N/A

Date: 5.12.25

Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop

PERCOLATION RATE N/A (minutes/inch) PERC HOLE DIAMETER \_\_\_\_\_

TEST RUN BETWEEN \_\_\_\_\_ FT AND \_\_\_\_\_ FT

COMMENTS Soils visually classified as GW and SM. Visually and Mechanically classified as Silty Sand.

Perc rates anticipated to be 15 min/in or less. (MSB Standards 43.20.281.A.1.f.i)

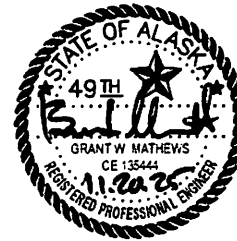
PERFORMED BY: Triad Engineering, LLC | John Walatka CERTIFY THAT THIS TEST WAS

PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE. DATE: 5.12.25





(ENGINEER'S SEAL)



## Soils Log - Percolation Test

Performed For: Whiskey Romeo, LLC

Date Performed: 5.12.25

Legal Description: Chopper Industrial Park Subdivision, Lot 4

Township, Range, Section: \_\_\_\_\_

TH-9	Slope	Site Plan
Depth (Feet)		
1-		
2-		
3-		
4-		
5-		
6-		
7-		
8-		
9-		
10-		
11-		
12-		
13-		
14-		
15-		
16-		
17-		
18-		
19-		
20-		

WAS GROUND WATER ENCOUNTERED? NO

IF YES, AT WHAT DEPTH? \_\_\_\_\_

Depth to Water After Monitoring? N/A

Date: 5.12.25

BOH @ 12' NGWE

Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop

PERCOLATION RATE N/A (minutes/inch)

PERC HOLE DIAMETER \_\_\_\_\_

TEST RUN BETWEEN \_\_\_\_\_ FT AND \_\_\_\_\_ FT

COMMENTS Top 4 feet confirmed as GM through sieve analysis. Mechanically and Visually classified as Silty Gravel.

Perc rates anticipated to be 15 min/in or less. (MSB Standards 43.20.281.A.1.f.i)

PERFORMED BY: Triad Engineering, LLC

| John Walatka

CERTIFY THAT THIS TEST WAS

PERFORMED IN ACCORDANCE WITH ALL MAT-SU BOROUGH GUIDELINES IN EFFECT ON THIS DATE.

DATE: 5.12.25







Northern Geotechnical Engineering, Inc. -  
Terra Firma Testing  
11301 Olive Lane, Anchorage, Alaska 99515  
Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-2

Issue No: 2

*This report replaces all previous issues of this report signed on 05/20/2025*

## Material Test Report

**Client:** Triad Engineering, LLC  
**Project:** 10016-25  
Chopper Industrial Park

**Reviewed By:** Andrew Smith, Senior Geologist, P.E., C.P.G.  
**Date:** 5/21/2025

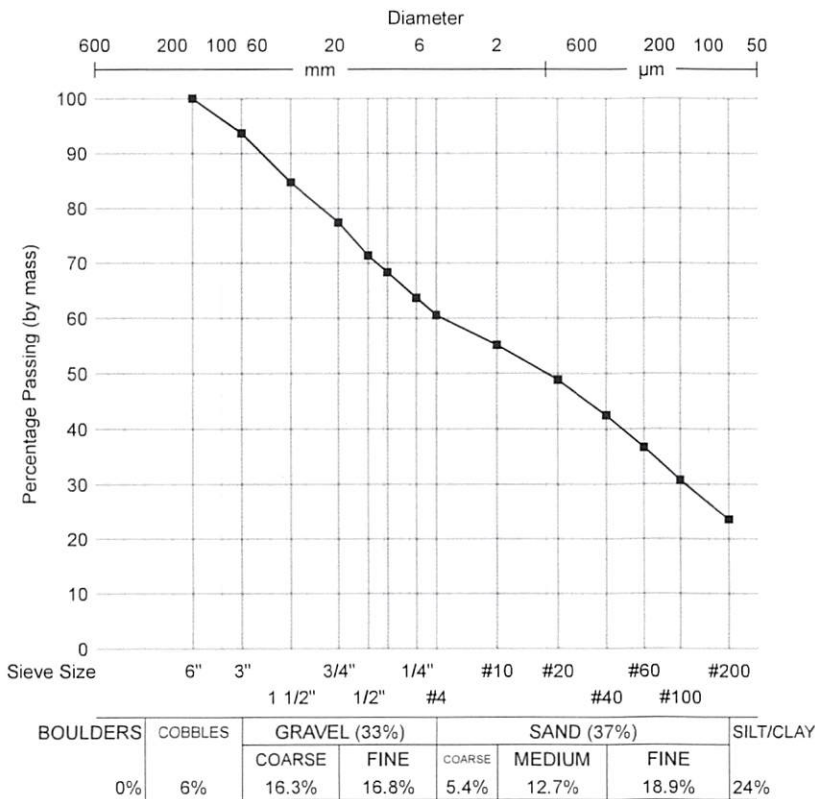
The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made. Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

### Sample Details

**Sample ID** 25-92-2  
**Field Sample ID** TH-1 (LOT 1)  
**Date Sampled** 5/13/2025  
**Material** Soil Grab  
**Sampling Method**

### Sample Description:

### Particle Size Distribution



**Grading:** ASTM C136

**Drying By:** Oven  
**Date Tested:** 5/15/2025  
**Tested By:** Jacob Marvin

Sieve Size	% Passing	Limits
6in	100	
3in	94	
1½in	85	
¾in	77	
½in	71	
3/8in	68	
¼in	64	
No.4	61	
No.10	55	
No.20	49	
No.40	42	
No.60	37	
No.100	31	
No.200	24	

**D85:** 38.2549 **D60:** 4.3248 **D50:** 0.9900  
**D30:** 0.1394 **D15:** N/A **D10:** N/A  
**Cu:** N/A **Cc:** N/A

Northern Geotechnical Engineering, Inc. -  
Terra Firma Testing  
11301 Olive Lane, Anchorage, Alaska 99515  
Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-2

Issue No: 2

*This report replaces all previous issues of this report  
signed on 05/20/2025*

## Material Test Report

**Client:** Triad Engineering, LLC

**Project:** 10016-25  
Chopper Industrial Park

**Reviewed By:** Andrew Smith, Senior Geologist, P.E., C.P.G.

**Date:** 5/21/2025

The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made. Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

### Sample Details

**Sample ID** 25-92-2  
**Field Sample ID** TH-1  
**Date Sampled** 5/13/2025  
**Material** Soil  
**Sampling Method** Grab

### Other Test Results

Description	Method	Result	Limits
Cu	ASTM D2487		
Cc			
FM	ASTM C136		
Procedure	ASTM C117	A	
Water Content (%)	ASTM D2216	6.3	
Date Tested		5/13/2025	
Tested By		Jacob Marvin	
Group Symbol	ASTM D2487	[GM]	
Group Name		Silty gravel with sand	
Gravel (%)		39	
Sand (%)		37	
Fines (%)		24	
Date Tested		5/21/2025	

### Comments

N/A

Northern Geotechnical Engineering, Inc. -  
Terra Firma Testing  
11301 Olive Lane, Anchorage, Alaska 99515  
Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-3

Issue No: 2

*This report replaces all previous issues of this report  
signed on 05/20/2025*

## Material Test Report

**Client:** Triad Engineering, LLC

**Project:** 10016-25  
Chopper Industrial Park

**Reviewed By:** Andrew Smith, Senior Geologist, P.E., C.P.G.  
**Date:** 5/21/2025

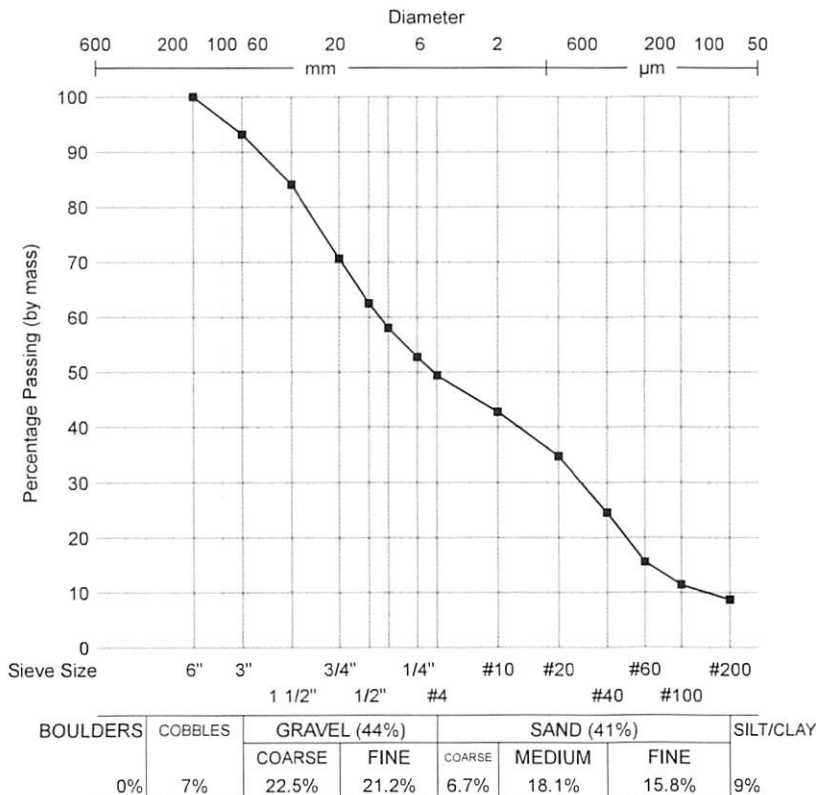
The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made. Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

### Sample Details

**Sample ID** 25-92-3  
**Field Sample ID** TH-2 (LOT 3)  
**Material** Soil Grab  
**Sampling Method**

### Sample Description:

### Particle Size Distribution



### Grading: ASTM C136

**Drying By:** Oven  
**Date Tested:** 5/15/2025  
**Tested By:** Jacob Marvin

Sieve Size	% Passing	Limits
6in	100	
3in	93	
1½in	84	
¾in	71	
½in	63	
3/8in	58	
¼in	53	
No.4	49	
No.10	43	
No.20	35	
No.40	25	
No.60	16	
No.100	11	
No.200	8.7	

**D85:** 40.2079 **D60:** 10.7133 **D50:** 5.0003  
**D30:** 0.6148 **D15:** 0.2325 **D10:** 0.1043  
**Cu:** 102.74 **Cc:** 0.34

Northern Geotechnical Engineering, Inc. -  
Terra Firma Testing  
11301 Olive Lane, Anchorage, Alaska 99515  
Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-3

Issue No: 2

*This report replaces all previous issues of this report  
signed on 05/20/2025*

## Material Test Report

**Client:** Triad Engineering, LLC  
**Project:** 10016-25  
Chopper Industrial Park

**Reviewed By:** Andrew Smith, Senior Geologist, P.E., C.P.G.  
**Date:** 5/21/2025

The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made. Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

### Sample Details

**Sample ID** 25-92-3  
**Field Sample ID** TH-2  
**Material** Soil  
**Sampling Method** Grab

### Other Test Results

Description	Method	Result	Limits
Cu	ASTM D2487	102.74	
Cc		0.34	
FM	ASTM C136		
Procedure	ASTM C117	A	
Water Content (%)	ASTM D2216	4.2	
Date Tested		5/13/2025	
Tested By		Jacob Marvin	
Group Symbol	ASTM D2487	[GP-GM]	
Group Name		Poorly-graded gravel with silt and sand	
Gravel (%)		50	
Sand (%)		41	
Fines (%)		9	
Date Tested		5/21/2025	

### Comments

N/A



Northern Geotechnical Engineering, Inc. -  
Terra Firma Testing  
11301 Olive Lane, Anchorage, Alaska 99515  
Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-4

Issue No: 2

This report replaces all previous issues of this report  
signed on 05/20/2025

## Material Test Report

**Client:** Triad Engineering, LLC  
**Project:** 10016-25  
Chopper Industrial Park

**Reviewed By:** Andrew Smith, Senior Geologist, P.E., C.P.G.  
**Date:** 5/21/2025

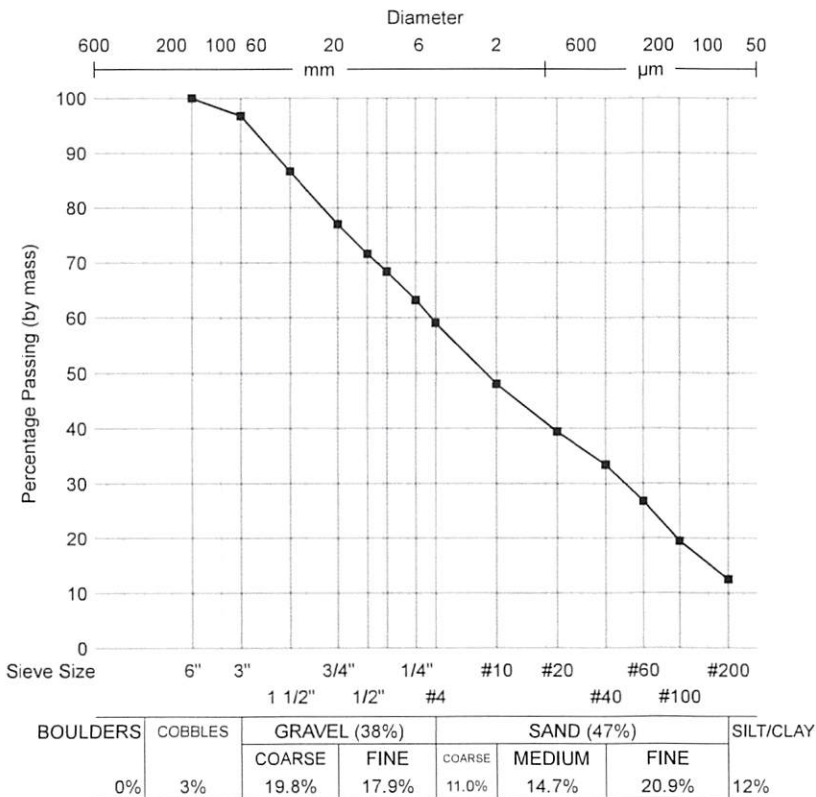
The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made.  
Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

### Sample Details

**Sample ID** 25-92-4  
**Field Sample ID** TH-8 (LOT 2)  
**Material** Soil Grab  
**Sampling Method**

### Sample Description:

### Particle Size Distribution



**Grading:** ASTM C136

**Drying By:** Oven  
**Date Tested:** 5/14/2025  
**Tested By:** Isaac Logo

Sieve Size	% Passing	Limits
6in	100	
3in	97	
1 1/2in	87	
3/4in	77	
1/2in	72	
3/8in	68	
1/4in	63	
No.4	59	
No.10	48	
No.20	39	
No.40	33	
No.60	27	
No.100	19	
No.200	12	

**D85:** 33.3734 **D60:** 5.0635 **D50:** 2.3306  
**D30:** 0.3232 **D15:** 0.0965 **D10:** N/A  
**Cu:** N/A **Cc:** N/A

Northern Geotechnical Engineering, Inc. -  
Terra Firma Testing  
11301 Olive Lane, Anchorage, Alaska 99515  
Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-4

Issue No: 2

*This report replaces all previous issues of this report  
signed on 05/20/2025*

## Material Test Report

**Client:** Triad Engineering, LLC  
**Project:** 10016-25  
Chopper Industrial Park

**Reviewed By:** Andrew Smith, Senior Geologist, P.E., C.P.G.  
**Date:** 5/21/2025

The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made.  
Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

### Sample Details

**Sample ID** 25-92-4  
**Field Sample ID** TH-8  
**Material** Soil  
**Sampling Method** Grab

### Other Test Results

Description	Method	Result	Limits
Cu	ASTM D2487		
Cc			
FM	ASTM C136		
Procedure	ASTM C117	A	
Water Content (%)	ASTM D2216	6	
Date Tested		5/13/2025	
Tested By		Jacob Marvin	
Group Symbol	ASTM D2487	[SM]	
Group Name		Silty sand with gravel	
Gravel (%)		41	
Sand (%)		47	
Fines (%)		12	
Date Tested		5/21/2025	

### Comments

N/A



Northern Geotechnical Engineering, Inc. -  
Terra Firma Testing  
11301 Olive Lane, Anchorage, Alaska 99515  
Phone: (907) 344-5934 | www.nge-tft.com



Report No: MAT:25-92-5

Issue No: 2

This report replaces all previous issues of this report  
signed on 05/20/2025

## Material Test Report

**Client:** Triad Engineering, LLC  
**Project:** 10016-25  
Chopper Industrial Park

**Reviewed By:** Andrew Smith, Senior Geologist, P.E., C.P.G.  
**Date:** 5/21/2025

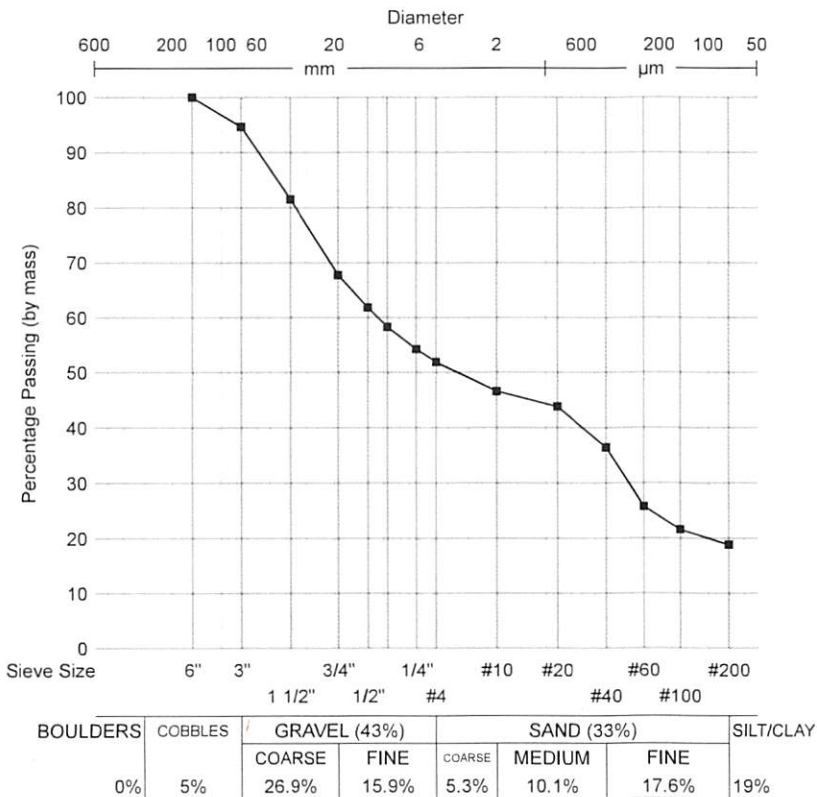
The testing services reported herein have been performed to recognized industry standards and relate only to the items inspected. Unless otherwise noted, no other warranty is made. Should engineering interpretation be required, NGE-TFT will provide upon written request. This report shall not be reproduced in full, without the prior written approval of NGE-TFT.

### Sample Details

**Sample ID** 25-92-5  
**Field Sample ID** TH-9 (LOT 4)  
**Material** Soil Grab  
**Sampling Method**

### Sample Description:

### Particle Size Distribution



**Grading:** ASTM C136

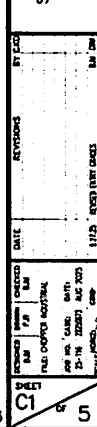
**Drying By:** Oven  
**Date Tested:** 5/15/2025  
**Tested By:** Jacob Marvin

Sieve Size	% Passing	Limits
6in	100	
3in	95	
1½in	82	
¾in	68	
½in	62	
3/8in	58	
¼in	54	
No.4	52	
No.10	47	
No.20	44	
No.40	36	
No.60	26	
No.100	22	
No.200	19	

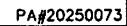
**D85:** 45.0308 **D60:** 10.8251 **D50:** 3.4924  
**D30:** 0.3079 **D15:** N/A **D10:** N/A  
**Cu:** N/A **Cc:** N/A

PA# 20250073

PA#20250073



**EXHIBIT D**



3. QUALITY CONTROL PLANS AND TESTING STANDARDS MUST COMPLY WITH SECTION C, CONSTRUCTION REQUIREMENTS OF THE MATANUSKA-SUSTINA BOROUGH 2022 SUBMERGIBLE CONSTRUCTION MANUAL.

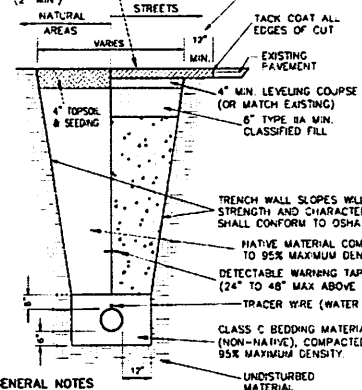
THE CONTRACTOR SHALL BE RESPONSIBLE FOR TROGON AND SEDIMENT CONTROLS AS NECESSARY TO COMPLY WITH FEDERAL, STATE, AND MUNICIPAL LAWS THAT PROHIBIT UNPERMITTED DISCHARGE OF POLLUTANTS, INCLUDING SEDIMENTS, THAT ARE A RESULT OF TROGON AND OTHER CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL CONDUCT ALL WORK SO SEDIMENT IS NOT TRANSPORTED ONTO THE ROADWAY OR ADJACENT PROPERTY. AT A MINIMUM, THE CONTRACTOR SHALL SHEED UP ANY SEDIMENT TRACKED ONTO PAVED SURFACES IN PUBLIC RIGHT-OF-WAYS WITHIN 24 HOURS OF TRACKING TO MINIMIZE THE WASH-OFF OF SEDIMENT INTO THE STORM DRAINS OR WATERWAYS.

3. ALL FILL SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED BY AASHTO T-99-METHOD-D

Property	Test Method	Base Course
L.A. Wear, %	AASHTO T 96	50, max
Degradation Value	ATM 313	45, min
Fracture, %	ATM 305	70, min
Plastic Index	ATM 205	6, max
Sodium Sulfate Loss, %	AASHTO T 104	9, max (5 cycles)

Sieve Designation	Subbase	Base Course	Surface Course
1 1/2 inch			100
1 inch		100	
3/4 inch		70 to 100	70 to 100
3/8 inch		50 to 80	50 to 85
No. 4	20 to 60	35 to 65	35 to 75
No. 8		20 to 50	20 to 60
No. 50		6 to 30	15 to 30
No. 200	0 to 10	0 to 6	7 to 13

ASPHALT CONCRETE  
AS APPROVED BY  
THE ENGINEER,  
MATCH EXISTING,  
(2" MIN)



1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2015 EDITION OF THE MUNICIPALITY OF ANCHORAGE STANDARD SPECIFICATIONS (MASS).
2. THE CONTRACTOR SHALL NOTIFY ALL AREA UTILITY COMPANIES PRIOR TO COMMENCEMENT OF EXCAVATION (LOCATE CALL CENTER OF 1-800-478-3121).
3. ALL BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED BY AASHTO T-160-METHOD-D. SHOULD INSULATION BE PRESENT IN THE ROAD SECTION, REPLACE ALL INSULATION WITH MATCHING THICKNESS AND KIND.
4. PAD FOUNDATION SHALL BE FREE OF DEBRIS AND ORGANIC MATERIAL.

SCALE: 1/2" = 1'

[illegible]

POC POINT OF COMPOUND CURVATURE  
POC PRECALCULATED COMPACTED METAL PILE  
PE ELECTRIC PLEDESTIA  
PI PROPERTY LINE  
POC POINT OF COMPOUND CURVATURE  
POC POINT OF COMPOUND CURVATURE  
PPC POINT OF REVERSE CURVE  
PNC POINT OF TANGENT  
PMC POINT OF NORMAL CURVATURE  
PMC POINT OF NORMAL CURVATURE  
PTN POINT OF TANGENT INTERSECTION  
PVA POINT OF VERTICAL ALIGNMENT  
RAP RECYCLED ASPHALT PAVEMENT  
REC RECORDING ORIGINATING INFORMATION  
REB RESTRAINED JOINT INTEGRAL RELL  
RADIUS POINT  
SC SERVICE CONNECT  
SD STORM DRAIN  
S STREET IN DISSECTION  
S STREET LIGHT  
SS SANITARY SEWER  
ST STREET  
SW SWATHOLE  
T TELEPHONE  
T&E TELECOMMUNICATIONS & ELECTRICAL  
T&E TELECOMMUNICATIONS & ELECTRICAL  
T TOP BACK OF CURB  
T&E TEST HOLE  
T&E TEST PIT  
T&E TOP OF PIPE  
T&E TRAFFIC  
T&E ELECTRICAL AND MOUNT TRANSFORMER  
T&E TRAFFIC PAVEMENT  
T&E CABLE TELEVISION  
T&E TOP OF WALL  
U&E UNDERGROUND ELECTRIC TELEPHONE  
U&E CABLE TV  
W WATER LINE  
W&E WETLAND PERMANENT LANDSCAPE (EA)  
W&E UNDERSTAND BUTTER EXACTNESS  
W&E VALUE BOX

STREET CENTERLINE STATION

EXISTING (WATER, SEWER & STORM)

EXISTING & PROPOSED GATE VALVE & VALVE BOX

EXISTING & PROPOSED REDUCER

EXISTING & PROPOSED FIRE HYDRANT

EXISTING & PROPOSED WATER CORNET

EXISTING & PROPOSED SANITARY SEWER MANHOLE

EXISTING & PROPOSED SEWER CORNET

EXISTING & PROPOSED STORM DRAIN MANHOLE

EXISTING & PROPOSED STORM DRAIN CATCH BASIN

EXISTING & PROPOSED CATCH BASIN MANHOLE

EXISTING & PROPOSED FOOTING DRAIN CORNET

EXISTING & PROPOSED STREET LIGHT & J-BOX

DRAINAGE FLOW ARROW

PROPOSED SEWER, STORM DRAIN OR WATER MAIN

DITCH LINE

PROPOSED TYPE 1 CURB & GUTTER

PROPOSED TYPE BARRER CURB

EXISTING OVERHEAD ELECTRIC & TELEPHONE

EXISTING UNDERGROUND ELECTRIC & TELEPHONE

EXISTING & PROPOSED ELECTRICAL AC/DC & TRANSFORMER

EXISTING GAS MAIN

EXISTING UNDERGROUND TV CABLE

EXISTING FIBER OPTIC CABLE

EXISTING WATER MAIN

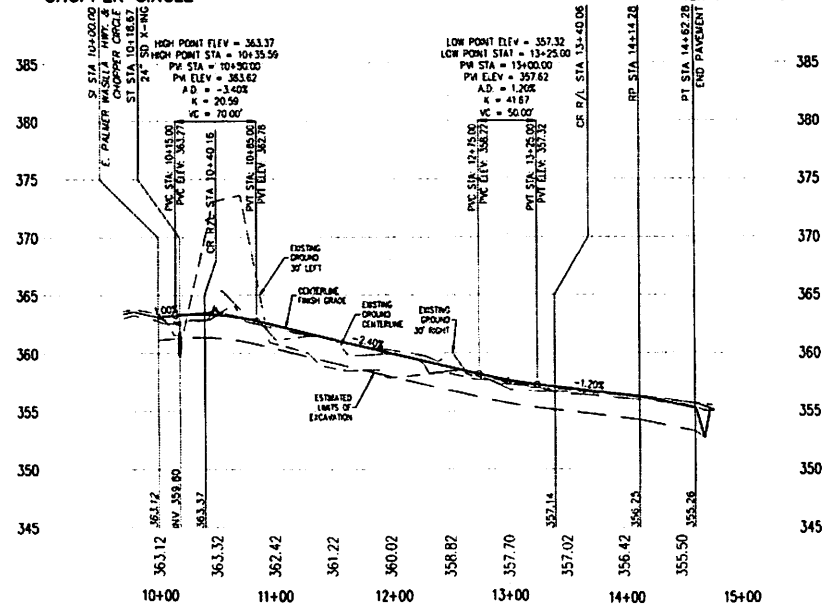
EXISTING SANITARY SEWER MAIN

EXISTING STORM DRAIN MAIN





**STORAGE NOTES:**  
1. SGN SHALL BE 5' ABOVE THE EDGE OF THE BRACKLE WAY



**RECORD DRAWING**  
**1 DATA PRODUCED**  
BY \_\_\_\_\_  
This set of records is certified to be a true and accurate representation of the project as constructed.  
DATE: 10/2/88  
BY \_\_\_\_\_  
FILE NO. \_\_\_\_\_  
**2 DATA TRANSFERRED**  
BY \_\_\_\_\_  
COMPANY \_\_\_\_\_  
DATE \_\_\_\_\_  
**3 DATA REENTERED CHECKED**  
This set of records was checked and approved by the Engineer for its contents under 10-2 (Direct Supervision). The Engineer's signature and seal shall represent the approval by the Engineer of the data produced by the contractor.  
BY \_\_\_\_\_  
LICENSE NO. \_\_\_\_\_  
DATE \_\_\_\_\_

PA#20250073

CHOPPER INDUSTRIAL  
SUBDIVISION, LOTS 1-10  
CHOPPER CIRCLE  
STA 10+00 TO END



ENGINEERING, LLC

PHYSICAL

615 E. 82nd Ave., Suite 101  
Anchorage, AK 99518

MAILING

P.O. Box 111989  
Anchorage, AK 99511

OFFICE

907-561-6537

WEB

triadak.com

May 30<sup>th</sup>, 2025

Matanuska-Susitna Borough  
Planning and Land Use Department  
350 E. Dahlia Avenue  
Palmer, AK 99645

Subject: Trip Generation Estimate – Chopper Industrial Subdivision (10-Lot Industrial Park)

Planning Staff,

Triad Engineering, LLC is submitting this letter to provide estimated Average Daily Trips (ADT) for the proposed Chopper Industrial Subdivision, a 10-lot industrial park located on a 15.18-acre site south of the Palmer-Wasilla Highway in the Matanuska-Susitna Borough.

Lots 1-10 consist of 14.50-acres of developable industrial park. Trip generation rates were derived from the Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition. Based on Land Use Code 130 (Industrial Park), the average trip generation rate is:

- **Weekday ADT:** 38.67 trips per acre of development

Applying this rate to the 14.50-acre site results in the following estimated traffic volume:

- **Estimated ADT:**  $38.67 \times 14.50 = 561$  Average Daily Trips

This estimate reflects estimated traffic generation for an industrial park at full build-out.

Thank you for your time and consideration in this matter. If you require additional information, please call 344-3114 or email me at [brandonmarcott@triadak.com](mailto:brandonmarcott@triadak.com).

Sincerely,

**TRIAD ENGINEERING, LLC**

A handwritten signature in black ink, appearing to read "Brandon Marcott".

Brandon Marcott, P.E.



## Cayman Reynolds

---

**From:** Tammy Simmons  
**Sent:** Tuesday, November 4, 2025 4:07 PM  
**To:** Cayman Reynolds  
**Cc:** Brad Sworts; Jamie Taylor; Wheeler Nevels; Tammy Simmons  
**Subject:** RE: RFC Chopper Industrial Park Subdivision CR

Hello,

Coordinate with ADOT&PF for an approach road permit. Please provide an ADT estimate. Unless authorized by ADOT&PF any above ground utility facilities shall not be located within the Palmer-Wasilla Highway right of way nearer than 40' to the proposed right of way of Chopper Circle, per 2022 SCM H02.2 (c).

Thank you.

PD&E Review Group

---

**From:** Cayman Reynolds <Cayman.Reynolds@matsugov.us>  
**Sent:** Tuesday, October 28, 2025 10:57 AM  
**To:** Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pde@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; row@mtasolutions.com; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; ospdesign@gci.com; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>  
**Subject:** RFC Chopper Industrial Park Subdivision CR

Hello,

The following link is a request for comments for the proposed Chopper Industrial Subdivision.

Please ensure all comments have been submitted by November 17, 2025, so they can be incorporated in the staff report packet that will be presented during the public hearing.

☐ Chopper Industrial Park

Feel free to contact me if you have any questions.

Thank you,

## Cayman Reynolds

---

**From:** OSP Design Group <ospdesign@gci.com>  
**Sent:** Monday, November 17, 2025 4:25 PM  
**To:** Cayman Reynolds  
**Cc:** OSP Design Group  
**Subject:** RE: RFC Chopper Industrial Park Subdivision CR  
**Attachments:** Agenda Plat (85).pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Cayman,

In review GCI has no comments or objections to the plat, attached is the signed plat for your records.

Thanks,

GCI | OSP Design

1001 Northway Dr., 1<sup>st</sup> Floor, Anchorage, AK 99508

e: [OSPDesign@gci.com](mailto:OSPDesign@gci.com) | w: [www.gci.com](http://www.gci.com)

---


**From:** Cayman Reynolds <Cayman.Reynolds@matsugov.us>  
**Sent:** Tuesday, October 28, 2025 10:57 AM  
**To:** Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pde@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; row@mtasolutions.com; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; OSP Design Group <ospdesign@gci.com>; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>  
**Subject:** RFC Chopper Industrial Park Subdivision CR

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

The following link is a request for comments for the proposed Chopper Industrial Subdivision.

Please ensure all comments have been submitted by November 17, 2025, so they can be incorporated in the staff report packet that will be presented during the public hearing.

 [Chopper Industrial Park](#)

Feel free to contact me if you have any questions.



**ENSTAR Natural Gas Company, LLC**  
Engineering Department, Right of Way Section  
401 E. International Airport Road  
P. O. Box 190288  
Anchorage, Alaska 99519-0288  
(907) 277-5551  
FAX (907) 334-7798

October 28, 2025

Matanuska-Susitna Borough, Platting Division  
350 East Dahlia Avenue  
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed the following preliminary plat and has no comments or recommendations.

- **CHOPPER INDUSTRIAL PARK SUBDIVISION**  
**(MSB Case # 2025-157)**

If you have any questions, please feel free to contact me at 334-7944 or by email at [james.christopher@enstarnaturalgas.com](mailto:james.christopher@enstarnaturalgas.com).

Sincerely,

*James Christopher*

James Christopher  
Right of Way & Permitting Agent  
ENSTAR Natural Gas Company, LLC



## Cayman Reynolds

---

**From:** Kiley Guggenmos <kguggenmos@mtasolutions.com>  
**Sent:** Friday, October 31, 2025 8:21 AM  
**To:** Cayman Reynolds  
**Subject:** RE: RFC Chopper Industrial Park Subdivision CR

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

Can we please ask that the dedication block be added to the plat? No other comments.

**CERTIFICATE OF OWNERSHIP & DEDICATION**

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED IN THIS PLAN AND THAT I ADOPT THIS PLAN OF SUBDIVISION BY MY FREE CONSENT, DEDICATE ALL RIGHTS-OF-WAY TO THE MATANUSKA SUBSTNA BOROUGH AND GRANT ALL EASEMENTS TO THE USE SHOWN.

Thank you,

**Kiley Guggenmos, Right of Way Assistant**  
1740 S. Chugach St., Palmer, Alaska 99645  
Office: (907) 761-2687 | [www.mtasolutions.com](http://www.mtasolutions.com)



Life. Technology. Together.

**From:** Cayman Reynolds <Cayman.Reynolds@matsugov.us>  
**Sent:** Tuesday, October 28, 2025 10:57 AM  
**To:** Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pde@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; Right of Way Dept. <row@mtasolutions.com>; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; ospdesign@gci.com; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>  
**Subject:** RFC Chopper Industrial Park Subdivision CR

Hello,

---

**From:** Dan Tucker <antiquetuck@gmail.com>  
**Sent:** Monday, December 29, 2025 9:18 AM  
**To:** Platting  
**Subject:** Inre: Chopper Industrial Park; Plat-2025-000157

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Greetings,

I have NO OBJECTION to this proposal as proposed – **specifically and only because proposed Chopper Circle is to be a “private road”,** and NOT AN RSA-maintained road.

Restated, I have only one concern about this replat. Specifically, it this plan came before the board *without ensuring that* proposed “Chopper Circle” “is to serve as a private road” I would OBJECT strongly. Further, if this plat was ever returned with an application for proposed Chopper Circle to become a public road and part of the RSA, I would vehemently OBJECT.

Justified, I know this property intimately – having spent parts of two summers working the land with heavy equipment students when I was the lead instructor for NIT (Northern Industrial Training, LLC) Heavy Equipment Operator training program. I know the general wind direction in this area. I’m well aware of the trend of the blowing snowdrifts in this area.

I vehemently abhor and disagree with any ‘hub-and-spoke’ developments, more specifically development that depends upon or allows/promotes/uses ‘flag lot’ access such as is proposed here. Lots 2 and 8, and to an only slightly lesser degree lots 3, 5, and 9 feature narrow, limited access driveways. Flag lot driveways tend to create significant issues for snow removal/storage. And proposed Chopper Circle will do nothing to reduce this problem; it will exacerbate it. I (as RSA #9) would not want the responsibility of ‘keeping it open’ during winters.

Again, NO OBJECTION as proposed. But a caution that if there is a way to prevent/preclude proposed Chopper Circle from ever being petitioned and accepted as an RSA road, I would include that *forever* ban in this original acceptance.

--

Daniel J. Tucker  
RSA #9 Road Services Board Primary Member  
(907) 376-2630 home  
(907) 863-1313 cell  
MatSu Problem Reporter link  
<https://survey123.arcgis.com/share/166cb8a69f8441908700860c85bbc6ee>



TYPICAL SET YPC DETAIL

S4 GROUP  
LS-1200A

TYPICAL 1-1/4" YELLOW  
PLASTIC CAP ON 5/8" X  
3/8" REBAR SET AT  
LOT CORNERS.

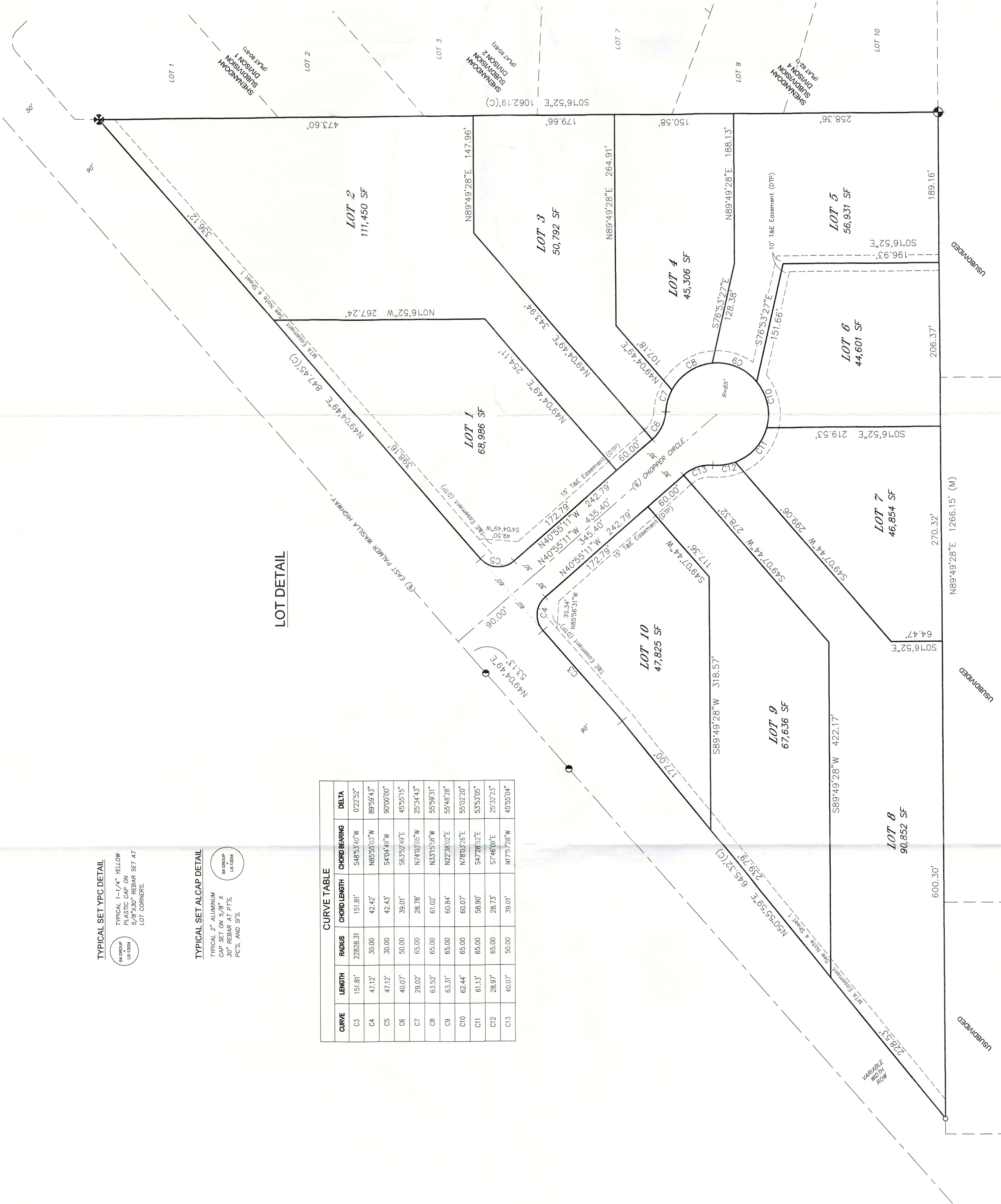
TYPICAL SET ALCAP DETAIL

S4 GROUP  
LS-1200A

TYPICAL 2" ALUMINUM  
CAP SET ON 5/8" X  
3/8" REBAR AT PTS.  
PCS, AND SCS.

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD BEARING	DELTA
C3	151.81'	22828.31'	S46°53'40"W	0°22'52"
C4	47.12'	30.00'	N85°55'03"W	89°59'43"
C5	47.12'	30.00'	S4°04'48"W	90°00'00"
C6	40.07'	50.00'	S63°52'49"E	45°55'15"
C7	29.02'	65.00'	N74°03'05"W	25°34'43"
C8	63.52'	65.00'	N3°15'58"W	55°59'31"
C9	63.31'	65.00'	N22°38'02"E	55°48'28"
C10	62.44'	65.00'	N78°03'26"E	55°02'20"
C11	61.13'	65.00'	S47°28'52"E	53°53'05"
C12	28.97'	65.00'	S7°46'08"E	25°32'23"
C13	40.07'	50.00'	N17°57'28"W	45°55'04"

LOT DETAIL



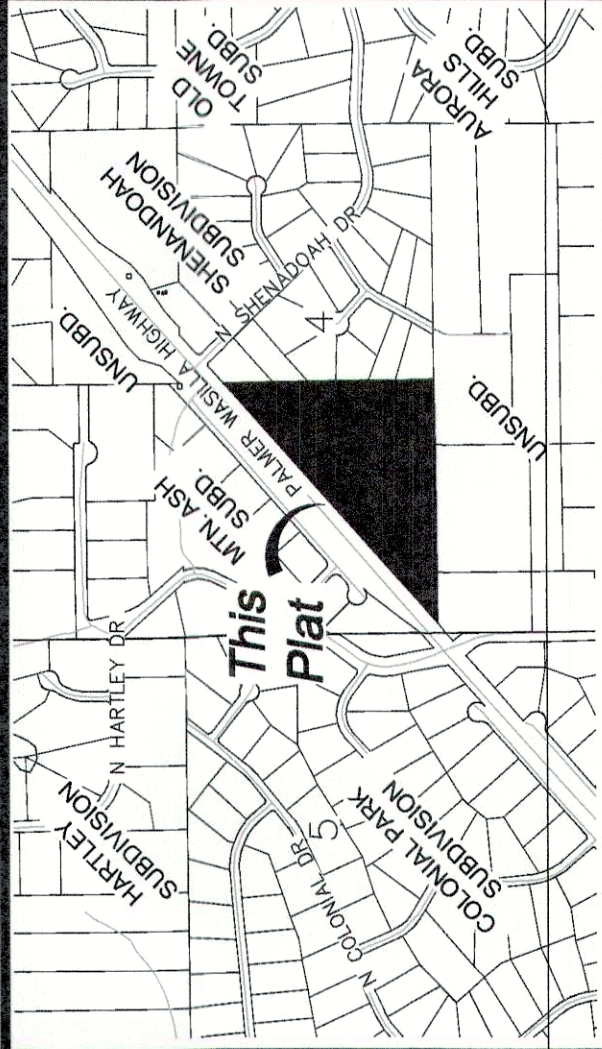
LEGEND

- SET 3-1/4" TYPICAL ALUMINUM CAP MONUMENT AS DESCRIBED ON SHEET 1
- FOUND 3-1/4" ALUMINUM CAP MONUMENT AS DESCRIBED ON SHEET 1
- FOUND 2" ALUMINUM CAP AS DESCRIBED ON SHEET 1
- FOUND 5/8" REBAR AS DESCRIBED ON SHEET 1
- MEASURED
- COMPUTED MEASUREMENT
- DEDICATED BY THIS PLAT
- (W)
- (C)
- (DTP)

0' 1" = 60'  
GRAPHIC SCALE

Agenda Copy  
OCT 16 2025  
RECEIVED  
PLATTING

VICINITY MAP SCALE: 1" = 1000'



A Preliminary Plat of:

# Chopper Industrial Park Subdivision Lots 1-10

A Subdivision of:  
That portion of the Northwest one-quarter of the Southwest one-quarter (NW 1/4 SW 1/4),  
Section 4, Township 17 North, Range 1 East, Seward Meridian, Alaska, located in the  
Recorded Palmer District, Fairbanks, Alaska, which lies South of the  
Palmer-Wailla Highway right-of-way,  
EXCEPTING THEREFROM that portion conveyed to the State of Alaska, Department of  
Transportation and Public Facilities by Warranty Deed, Alaska Project No. S-0572 (1),  
designated as Parcel No. 32, recorded May 27, 1981, Book 240 Page 318,  
containing 13.198 acres More or Less.

**S4 Group**  
Land Surveying  
Land Development Consultants  
Subdivision Specialists  
Construction Surveying  
610 E 5th Avenue  
Anchorage, Alaska 99501  
(907) 306-8104  
mail@s4ak.com  
AECC 173042

Scale 1" = 60'  
Field Book: 159  
Drawn By: AK  
Checked by: SC  
Date: 10/13/2025  
Job: 2025-30  
Sheet 2 of 2





6A





STAFF REVIEW AND RECOMMENDATIONS  
PUBLIC HEARING  
FEBRUARY 18, 2026

PRELIMINARY PLAT: RAFTER RIDGE  
LEGAL DESCRIPTION: SEC 25, T17N, R04W S.M., AK  
PETITIONERS: JAMES RAFTER  
SURVEYOR/ENGINEER: BULL MOOSE SURVEYING/HOLLER ENGINEERING  
ACRES: 8.59 +/- PARCELS: 2  
REVIEWED BY: CHRIS CURLIN CASE #: 2025-169

---

**REQUEST:**

The request is to create 2 lots from Government Lots 15 & 16, (Tax ID #'s 17N04W25A004 & 17N04W25A005), to be known as **RAFTER RIDGE**, containing 8.59 acres +/-, to be accessed by water. The property is located directly east of Big Lake, in the NE ¼ Section 25, Township 17 North, Range 04 West, Seward Meridian, Alaska. In the Big Lake Community Council and in Assembly District #5.

**EXHIBITS:**

Vicinity Map and Aerial Photos  
Topographic Narrative

**Exhibit A – 4 pgs**  
**Exhibit B – 4 pgs**

**COMMENTS:**

USACE  
MSB Pre-Design and Engineering  
MSB Permit Center  
Utilities

**Exhibit C – 1 pg**  
**Exhibit D – 1 pg**  
**Exhibit E – 1 pg**  
**Exhibit F – 7 pgs**

**DISCUSSION:** The proposed subdivision is creating 2 lots ranging in size from 3.71 acres to 4.88 acres +/- . Proposed lots will be accessed via water.

Pursuant to MSB 43.20.100(B) Upon finding that no practical means of providing road access to a proposed subdivision exists and upon a showing that permanent public access by air, water, or railroad is both practical and feasible, the Platting Board shall waive the road requirements of subsection (A) of this section. If other than road access is approved, the mode of access shall be noted on the plat.

**Soils Report:** A geotechnical report was submitted (**Exhibit B**), pursuant to MSB 43.20.281(A). Curtis Holler, P.E. notes that the soils investigation consisted of one test hole dug to a depth of 13.5 feet. No groundwater was encountered in the test hole. Soil specifications for the test hole are noted on the Soil Inspection Log Sheet. The engineer states that based on Title 43.20.281 of the Matanuska-Susitna Borough Code all lots contain sufficient overall area. All lots have at least 10,000 square feet of useable building area. All lots have at least 10,000 square feet of contiguous useable septic area.

### **COMMENTS:**

USACE (**Exhibit C**) Thank you for bringing this project to our attention and for allowing us to comment. The United States Army Corps of Engineers does have a comment regarding the proposed Rafter Ridge Subdivision. Based on aerial imagery and the Matanuska-Susitna Borough (MSB) Wetlands Mapper, it appears that there may be aquatic resources within the proposed boundaries of the eastern parcel.

Department of the Army authorization is required if anyone proposes to place dredged and/or fill material into waters of the U.S., including wetlands and/or perform work in navigable waters of the U.S.

A copy of the DA permit application can be found online at [www.poa.usace.army.mil/Missions/Regulatory](http://www.poa.usace.army.mil/Missions/Regulatory).

Sample drawings can also be found on our website at [www.poa.usace.army.mil/Portals/34/docs/regulatory/guidetodrawings2012.pdf](http://www.poa.usace.army.mil/Portals/34/docs/regulatory/guidetodrawings2012.pdf).

Section 404 of the Clean Water Act requires that a DA permit be obtained for the placement or discharge of dredged and/or fill material into waters of the U.S., including jurisdictional wetlands (33 U.S.C. 1344). USACE defines wetlands as those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions.

Section 10 of the Rivers and Harbors Act of 1899 requires that a DA permit be obtained for structures or work in or affecting navigable waters of the U.S. (33 U.S.C. 403). Section 10 waters are those waters subject to the ebb and flow of the tide shoreward to the mean high water mark, and/or other waters identified by the Alaska District. Aquaculture structures and work would require Section 10 Authorization.

The applicant is welcome to submit a preapplication meeting request, a jurisdictional determination request, or a permit application directly to our general mailbox ([regpagemaster@usace.army.mil](mailto:regpagemaster@usace.army.mil)) and they will be assigned a project manager to assist them. Please feel free to contact our main line if you or the applicant have any questions or concerns at 907-753-2712.

MSB DPW Pre-design and Engineering (**Exhibit D**) PD&E has no comments.

MSB Permit Center (**Exhibit E**) has no comment.

**Utilities:** (**Exhibit F**) ENSTAR has no comments or recommendations. GCI has no objections. MTA requests an easement changed to T&E or Utility Easement and attached the easement to their comment.

*Staff notes this has been added to the updated agenda plat.*

MEA did not respond.

There were no objections received from Borough departments, outside agencies, or the public at the time this staff report was written. Comments received afterward, if any, can be found in the handouts.

### **CONCLUSION**

The plat of **RAFTER RIDGE** is consistent with AS 29.40.070 Platting Regulations and MSB 43.15.016 Preliminary Plats. A Soils Report was submitted, water access exist, as-built survey, and topographic information were submitted. There were no objections received from borough departments, outside agencies, utilities, or the public at the time of this staff report.

**FINDINGS OF FACT:**

1. The plat of **RAFTER RIDGE** is consistent with AS 29.40.070 Platting Regulations and MSB 43.15.016 Preliminary Plats.
2. A soils report was submitted pursuant to MSB 43.20.281(A). All lots have the required usable area.
3. All lots will have the required frontage pursuant to MSB 43.20.320
4. Pursuant to MSB 43.20.100(B) Upon finding that no practical means of providing road access to a proposed subdivision exists and upon a showing that permanent public access by air, water, or railroad is both practical and feasible, the Platting Board shall waive the road requirements of subsection (A) of this section. If other than road access is approved, the mode of access shall be noted on the plat.
5. There were no objections from any borough departments, outside agencies, or utilities.
6. At the time of staff report write-up, there were no responses to the Request for Comments from, AKF&G, Community Development, or Assessments; or MEA, or the public.

**RECOMMENDED CONDITIONS OF APPROVAL:**

**Suggested motion: I move to approve the Preliminary Plat of RAFTER RIDGE, Section 25, Township 17 North, Range 04 West, Seward Meridian, Alaska, contingent on staff recommendations:**

1. Taxes and special assessments must be paid in full for the year of recording, pursuant to MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs), by CERTIFIED FUNDS OR CASH.
2. Provide updated Certificate to Plat executed within seven (7) days of recording of plat and submit Beneficiary Affidavit for any holders of a beneficial interest.
3. Add a plat note "Water Access for all Lots."
4. Pay postage and advertising fees.
5. Show all easements of record on final plat.
6. Submit recording fees, payable to Department of Natural Resources (DNR).
7. Submit final plat in full compliance with Title 43.

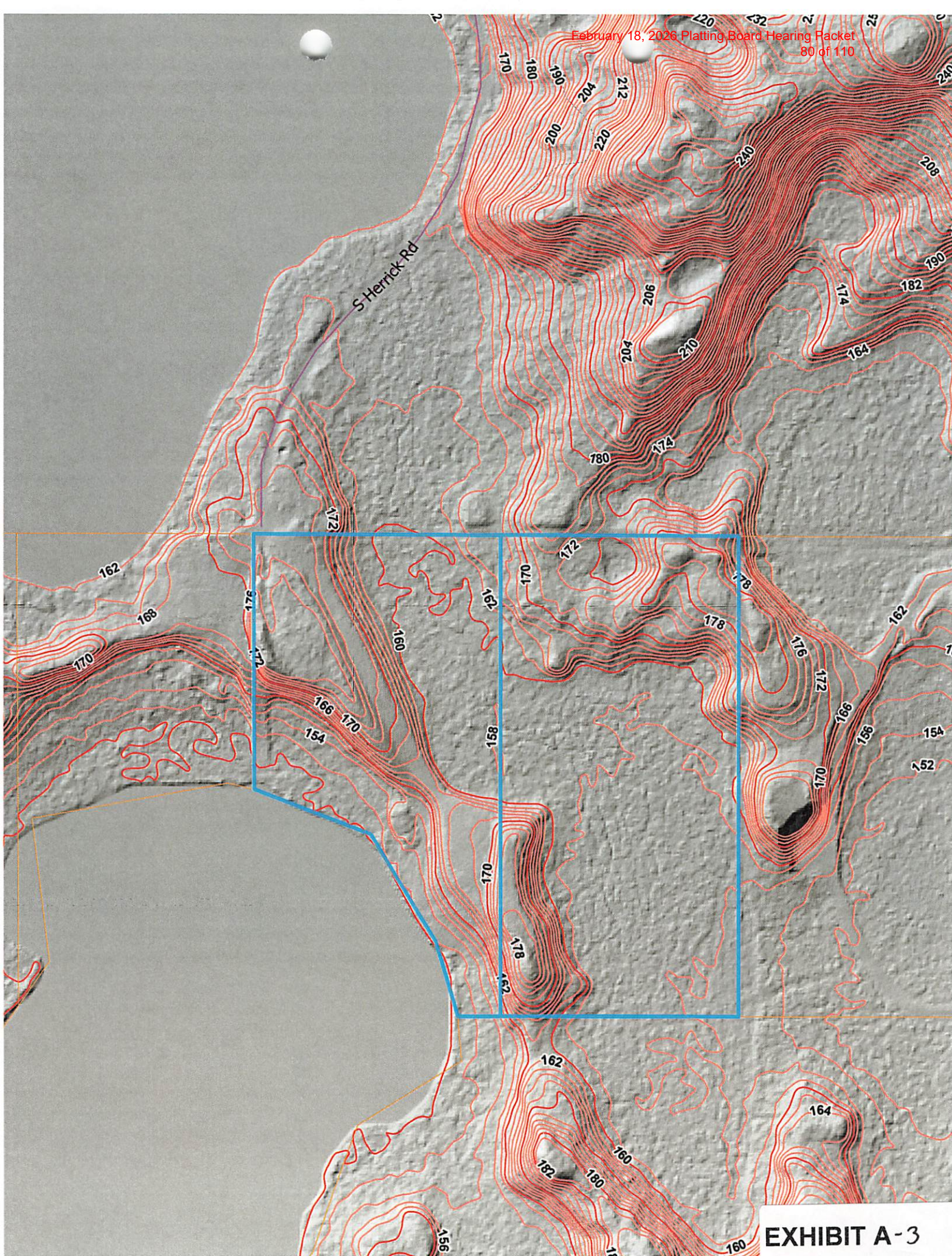




















# HOLLER ENGINEERING

Water, Wastewater & Soils Consulting

3375 N Sams Dr. Wasilla, Alaska 99654 • 376-0410

November 12, 2025

Fred Wagner  
MSB Platting Officer  
350 East Dahlia Avenue  
Palmer, Alaska 99645

RECEIVED  
NOV 21 2025  
PLATTING

Re: *Rafter Ridge* Subdivision; Useable Areas, Soils, and Drainage  
HE #25035

Dear Mr. Wagner:

At the request of the project owners, we have performed a soils review and related preliminary design work for the referenced proposed subdivision. The project will create 2 new lots from two existing parcels totaling 8.6 acres. Our soils evaluation included logging a single new testhole on the parent parcel, review of the provided topography information, review of aerial imagery, and our other observations at the site. See the attached testhole location and topography map for details.

Topography. The project site forms an incomplete square, with its southwest corner being within the perimeter of Big Lake. A ridge feature runs from the northwest corner to the south center, with an adjacent low swampy area to the east. The northeast corner also has higher ground, comprised of rolling hills. The lowest areas are the lake and the southeast corner. Several areas containing steep slopes exceeding 25% were noted and are delineated on the attached map. The total elevation differential indicated by the provided topographical map is approximately 34'.

Soils & Vegetation. With the exception of a driveway, gravel pad near the lake, clearing for overhead power lines along the north and east edge, and a cabin site, the parent parcel is forested and largely remains in a native or near native state. Existing vegetation primarily consists of young to mature growth birch trees and spruce trees, with tall grasses and minor shrubs scattered in between. Lower areas are predominately black spruce. A single testhole was logged on 8/22/25 in order to evaluate existing soil conditions. Near surface soils encountered included a thin organic mat over a layer of silty loess topsoil which extended down to 2'. Receiving soils under the topsoils were sands and gravels with a minor silt content. Soils encountered were typical for the area, based on our prior experiences in the neighborhood. A copy of the testhole log and a location/topography map is attached.

Groundwater. Groundwater was not encountered in the testhole, dug to a depth of 13.5'. Groundwater is not expected to be a limiting factor for the proposed lots, with the exception of lower areas near the wetlands.

Useable Areas. The proposed lots have a few limitations on areas defined by MSB code as *useable septic area* or *useable building area*. Useable septic areas will be limited by setbacks to surface water, a water well, lot lines and steep areas. For useable building area, lotlines, utility easements, and ROW/PUE setbacks will be limiting factors. For each of the proposed lots, adequate unencumbered area exists to readily meet the code requirements. Based on the available soils and water table information, topography MSB Title 43 Code definitions, and our observations at the site, *each of the proposed lots will contain over 10,000 square feet of contiguous useable septic area, and an additional 10,000 square feet of useable building area.*

Roads and Drainage. The proposed 2 new lots can each be accessed their waterfront, and via existing private access. As such the project will not require the creation of any new roads. As no new roads are proposed, a full drainage plan is not required; however, existing drainage patterns have been indicated on the attached map.

Please do not hesitate to call with any questions you may have.

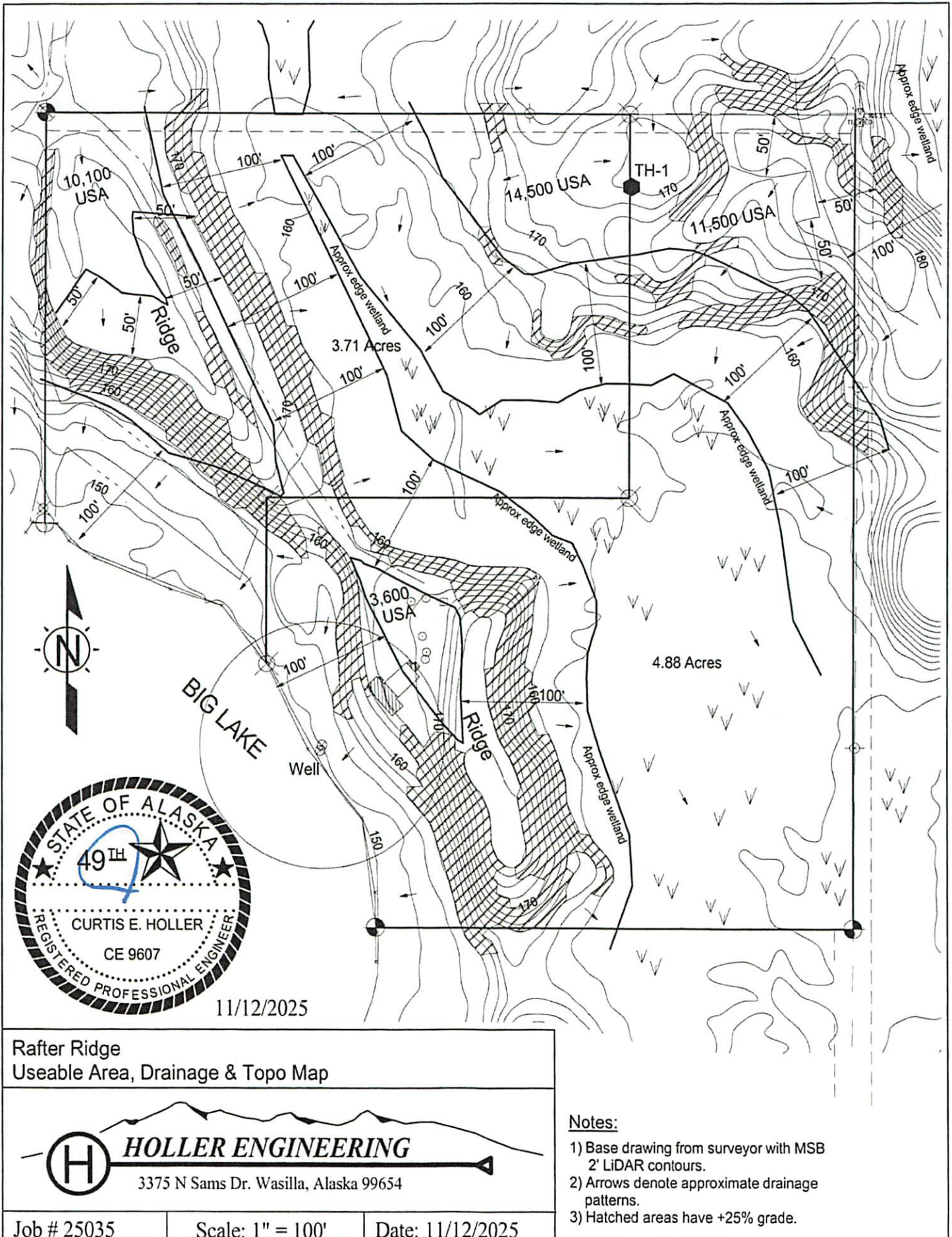
Sincerely,

Curtis Holler, PE

c: J. Rafter, w/attachments











**HOLLER ENGINEERING**

3375 N Sams Dr. Wasilla, Alaska 99654 376-0410

**SOILS LOG / PERCOLATION TEST**

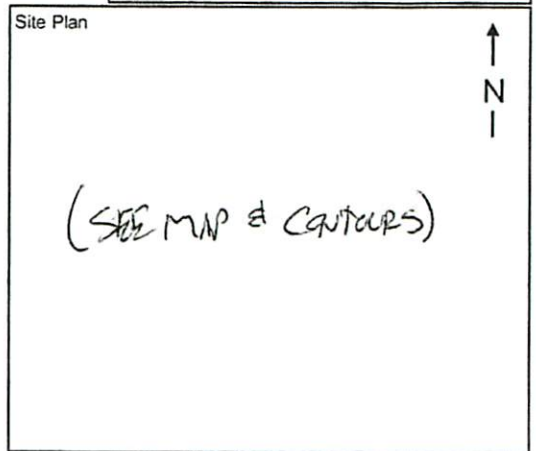
TEST HOLE # 1 of 1

Performed For: J.M. RAFTER

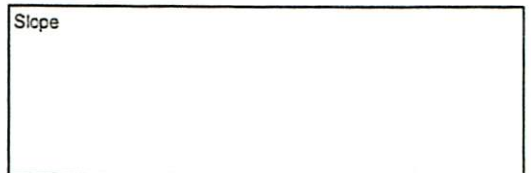
Legal Description: RAFTER RIDGE SUBDIVISION T14N S25 T17N R4W



Depth, feet	Soil Type
1	OL, RATS
2	ML SOFT BROWN LOESS SILT
3	
4	SP-GP, CLAY,
5	MEDIUM SANDS,
6	W/HEAVY TRACE SILT
7	VARIES TO "W/SILT"
8	HARD ROCK < 4"
9	Few to 8" NEAR
10	Bottom,
11	(1) @ 12"
12	
13	NO GWT
14	
15	
16	
17	
18	
19	
20	
21	
22	



WAS GROUNDWATER ENCOUNTERED? NO  
IF YES, AT WHAT DEPTH? N/A  
DEPTH AFTER MONITORING?



PERCOLATION TEST					
Reading	Date	Gross Time	Net Time	Depth to Water	Net Drop

- PERCOLATION RATE \_\_\_\_\_ (min/inch) PERC HOLE DIAMETER \_\_\_\_\_  
- TEST RUN BETWEEN \_\_\_\_\_ FT AND \_\_\_\_\_ FT DEPTH

- COMMENTS: TH FOR SUBDIVISION PURPOSE ONLY; CONTACT  
HOLLER ENGR. FOR OTHER USE

- PERFORMED BY: C. HOLLER DATE: 8-22-2025  
C. DEAL

**Chris Curlin**

---

**From:** Ortiz, Olivia K CIV USARMY CEPOA (USA) <Olivia.K.Ortiz@usace.army.mil>  
**Sent:** Wednesday, December 3, 2025 12:11 PM  
**To:** Chris Curlin  
**Cc:** CEPOA-SM-RD-Pagemaster  
**Subject:** RFC Rafter Ridge (CC)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

Thank you for bringing this project to our attention and for allowing us to comment. The United States Army Corps of Engineers does have a comment regarding the proposed Rafter Ridge Subdivision. Based on aerial imagery and the Matanuska-Susitna Borough (MSB) Wetlands Mapper, it appears that there may be aquatic resources within the proposed boundaries of the eastern parcel.

Department of the Army authorization is required if anyone proposes to place dredged and/or fill material into waters of the U.S., including wetlands and/or perform work in navigable waters of the U.S.

A copy of the DA permit application can be found online at [www.poa.usace.army.mil/Missions/Regulatory](http://www.poa.usace.army.mil/Missions/Regulatory).

Sample drawings can also be found on our website at

[www.poa.usace.army.mil/Portals/34/docs/regulatory/guidetodrawings2012.pdf](http://www.poa.usace.army.mil/Portals/34/docs/regulatory/guidetodrawings2012.pdf).

Section 404 of the Clean Water Act requires that a DA permit be obtained for the placement or discharge of dredged and/or fill material into waters of the U.S., including jurisdictional wetlands (33 U.S.C. 1344). USACE defines wetlands as those areas that are inundated or saturated by surface or groundwater at a frequency and duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions.

Section 10 of the Rivers and Harbors Act of 1899 requires that a DA permit be obtained for structures or work in or affecting navigable waters of the U.S. (33 U.S.C. 403). Section 10 waters are those waters subject to the ebb and flow of the tide shoreward to the mean high water mark, and/or other waters identified by the Alaska District. Aquaculture structures and work would require Section 10 Authorization.

The applicant is welcome to submit a preapplication meeting request, a jurisdictional determination request, or a permit application directly to our general mailbox ([regpagemaster@usace.army.mil](mailto:regpagemaster@usace.army.mil)) and they will be assigned a project manager to assist them. Please feel free to contact our main line if you or the applicant have any questions or concerns at 907-753-2712.

Thank you,  
Olivia Ortiz  
Regulatory Specialist  
Alaska District|POA  
U.S. Army Corps of Engineers  
P: (907) 753-2586



## Chris Curlin

---

**From:** Jamie Taylor  
**Sent:** Wednesday, December 10, 2025 11:34 AM  
**To:** Chris Curlin  
**Cc:** Tammy Simmons; Wheeler Nevels; Brad Sworts  
**Subject:** Re: RFC Rafter Ridge (CC)

Hi Chris,

PD&E has no comment.

Thank you,  
PD&E Review Group

---

**From:** Chris Curlin <Chris.Curlin@matsugov.us>  
**Sent:** Wednesday, December 3, 2025 10:43 AM  
**To:** Alex Strawn <Alex.Strawn@matsugov.us>; Amie Jacobs <Amie.Jacobs@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Christina Sands <Christina.Sands@matsugov.us>; Colton Percy <colton.percy@alaska.gov>; DNR <dnr.scro@alaska.gov>; Erin Ashmore <Erin.Ashmore@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Sarah Myers <sarah.myers@alaska.gov>; Tammy Simmons <Tammy.Simmons@matsugov.us>; The Postmaster <eric.r.schuler@usps.gov>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; terry.gorlick@gmail.com <terry.gorlick@gmail.com>; nate81hunter@gmail.com <nate81hunter@gmail.com>; ibmillinginalaska@gmail.com <ibmillinginalaska@gmail.com>; aknatz@aol.com <aknatz@aol.com>; akchief@mtaonline.net <akchief@mtaonline.net>; Bill Gamble <Bill.Gamble@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop <mearow@mea.coop>; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>  
**Subject:** RFC Rafter Ridge (CC)

Hello,

The following link contains a Request for Comments for Rafter Ridge, MSB Case 2025-166.  
Comments are due by December 19, 2025.

 [Rafter Ridge](#)

Sincerely,

Chris Curlin  
Platting Technician  
Matanuska-Susitna Borough

## Chris Curlin

---

**From:** Permit Center  
**Sent:** Wednesday, December 3, 2025 11:13 AM  
**To:** Chris Curlin  
**Subject:** RE: RFC Rafter Ridge (CC)

No comments from the Permit Center.

**Brandon Tucker**  
Permit Technician  
[Matanuska-Susitna Borough Permit Center](#)  
350 E Dahlia Ave  
Palmer AK 99645  
P (907) 861-7871  
F (907) 861-8158

---

**From:** Chris Curlin <Chris.Curlin@matsugov.us>  
**Sent:** Wednesday, December 3, 2025 10:43 AM  
**To:** Alex Strawn <Alex.Strawn@matsugov.us>; Amie Jacobs <Amie.Jacobs@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Christina Sands <Christina.Sands@matsugov.us>; Colton Percy <colton.percy@alaska.gov>; DNR <dnr.scro@alaska.gov>; Erin Ashmore <Erin.Ashmore@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Sarah Myers <sarah.myers@alaska.gov>; Tammy Simmons <Tammy.Simmons@matsugov.us>; The Postmaster <eric.r.schuler@usps.gov>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; terry.gorlick@gmail.com; nate81hunter@gmail.com; ibmillinginalaska@gmail.com; aknatz@aol.com; akchief@mtaonline.net; Bill Gamble <Bill.Gamble@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>  
**Subject:** RFC Rafter Ridge (CC)

Hello,

The following link contains a Request for Comments for Rafter Ridge, MSB Case 2025-166.  
Comments are due by December 19, 2025.

 [Rafter Ridge](#)

Sincerely,

Chris Curlin  
Platting Technician  
Matanuska-Susitna Borough  
(907) 861-7873





**ENSTAR Natural Gas Company, LLC**  
Engineering Department, Right of Way Section  
401 E. International Airport Road  
P. O. Box 190288  
Anchorage, Alaska 99519-0288  
(907) 277-5551  
FAX (907) 334-7798

December 3, 2025

Matanuska-Susitna Borough, Platting Division  
350 East Dahlia Avenue  
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed the following preliminary plat and has no comments or recommendations.

- **RAFTER RIDGE**  
**(MSB Case # 2025-166)**

If you have any questions, please feel free to contact me at 334-7944 or by email at [james.christopher@enstarnaturalgas.com](mailto:james.christopher@enstarnaturalgas.com).

Sincerely,

A handwritten signature in black ink that reads "James Christopher". The signature is written in a cursive, flowing style.

James Christopher  
Right of Way & Permitting Agent  
ENSTAR Natural Gas Company, LLC





## Chris Curlin

---

**From:** OSP Design Group <ospdesign@gci.com>  
**Sent:** Wednesday, December 17, 2025 9:06 AM  
**To:** Chris Curlin  
**Cc:** OSP Design Group  
**Subject:** RE: RFC Rafter Ridge (CC)  
**Attachments:** Agenda Plat (100).pdf

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Chris,

In review GCI has no comments or objections to the plat, attached is the signed plat for your records.

Thanks,

**GCI** | OSP Design

1001 Northway Dr., 1<sup>st</sup> Floor, Anchorage, AK 99508

e: OSPDesign@gci.com | w: [www.gci.com](http://www.gci.com)

---

**From:** Chris Curlin <Chris.Curlin@matsugov.us>  
**Sent:** Wednesday, December 3, 2025 10:43 AM  
**To:** Alex Strawn <Alex.Strawn@matsugov.us>; Amie Jacobs <Amie.Jacobs@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Christina Sands <Christina.Sands@matsugov.us>; Colton Percy <colton.percy@alaska.gov>; DNR <dnr.scro@alaska.gov>; Erin Ashmore <Erin.Ashmore@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Sarah Myers <sarah.myers@alaska.gov>; Tammy Simmons <Tammy.Simmons@matsugov.us>; The Postmaster <eric.r.schuler@usps.gov>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; terry.gorlick@gmail.com; nate81hunter@gmail.com; ibmillinginalaska@gmail.com; aknatz@aol.com; akchief@mtaonline.net; Bill Gamble <Bill.Gamble@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>  
**Subject:** RFC Rafter Ridge (CC)

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

The following link contains a Request for Comments for Rafter Ridge, MSB Case 2025-166. Comments are due by December 19, 2025.

 [Rafter Ridge](#)

Sincerely,

Chris Curlin  
Platting Technician

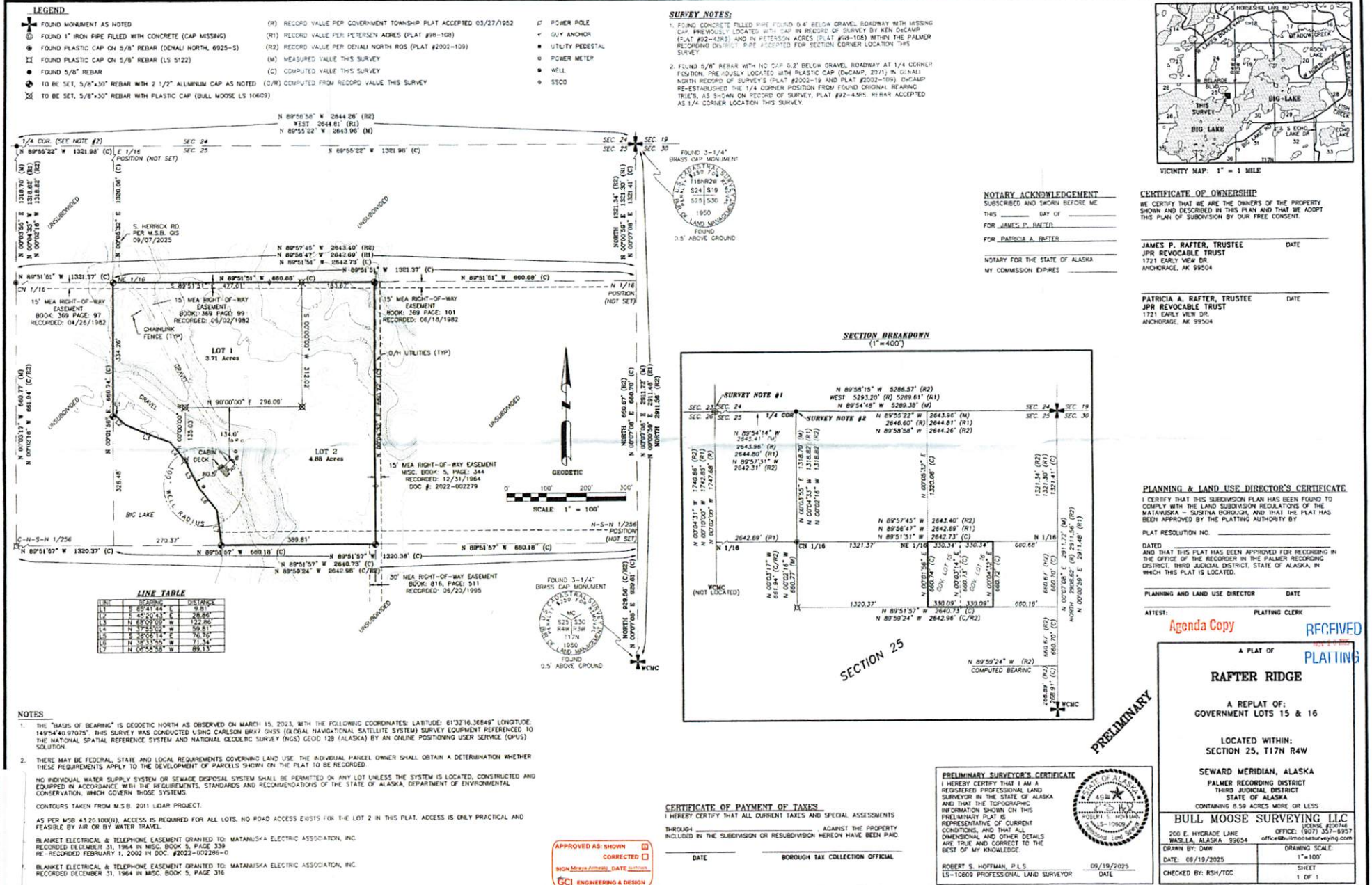


EXHIBIT F-4



**Chris Curlin**

---

**From:** Kiley Guggenmos <kguggenmos@mtasolutions.com>  
**Sent:** Friday, December 12, 2025 10:42 AM  
**To:** Chris Curlin  
**Subject:** RE: RFC Rafter Ridge (CC)  
**Attachments:** 311-1984-018349-0.tif

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good morning,

Can we please have the easement on the North side changed to T&E or Utility Easement. I have attached the MTA Easement Book 369 Pg 99.

Thank you,

**Kiley Guggenmos, Right of Way Assistant**  
1740 S. Chugach St., Palmer, Alaska 99645  
Office: (907) 761-2687 | [www.mtasolutions.com](http://www.mtasolutions.com)



---

**From:** Chris Curlin <Chris.Curlin@matsugov.us>  
**Sent:** Wednesday, December 3, 2025 10:43 AM  
**To:** Alex Strawn <Alex.Strawn@matsugov.us>; Amie Jacobs <Amie.Jacobs@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Brian Davis <Brian.Davis@matsugov.us>; Christina Sands <Christina.Sands@matsugov.us>; Colton Percy <colton.percy@alaska.gov>; DNR <dnr.scro@alaska.gov>; Erin Ashmore <Erin.Ashmore@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; Land Management <Land.Management@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Permit Center <Permit.Center@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Sarah Myers <sarah.myers@alaska.gov>; Tammy Simmons <Tammy.Simmons@matsugov.us>; The Postmaster <eric.r.schuler@usps.gov>; Tom Adams <Tom.Adams@matsugov.us>; USACE <regpagemaster@usace.army.mil>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; terry.gorlick@gmail.com; nate81hunter@gmail.com; ibmillinalaska@gmail.com; aknatz@aol.com; akchief@mtaonline.net; Bill Gamble <Bill.Gamble@matsugov.us>; Andrew Fraiser <andrew.fraiser@enstarnaturalgas.com>; mearow@mea.coop; OSP Design Group <ospdesign@gci.com>; Right of Way Dept. <row@mtasolutions.com>; ROW <row@enstarnaturalgas.com>  
**Subject:** RFC Rafter Ridge (CC)

Hello,

The following link contains a Request for Comments for Rafter Ridge, MSB Case 2025-166.  
Comments are due by December 19, 2025.

# Matanuska Telephone Association, Inc.

## RIGHT-OF-WAY AGREEMENT

KNOW ALL MEN BY THESE PRESENTS:

That the undersigned William A. O'Neill (hereinafter called GRANTOR, whether one or more) for good and valuable consideration, receipt of which is hereby acknowledged, does hereby grant, bargain, sell, convey, and warrant unto MATANUSKA TELEPHONE ASSOCIATION, INC., a cooperative corporation, duly organized and existing under and by virtue of the laws of the State of Alaska, whose address is Palmer, Alaska, its successors and assigns (hereinafter called GRANTEE), a right-of-way and easement to enter upon the lands of the GRANTOR and to construct, reconstruct, lay, maintain, operate, alter, repair, remove, and replace telephone lines, poles, or systems and appurtenances thereto, and make changes and additions thereto, to cut and trim trees and shrubbery that may interfere with or threaten to endanger the operation and maintenance of said lines or systems and to license, permit or otherwise agree to the joint use or occupancy of said lines or systems by any other person, firm or corporation for telephone or electrification purposes, utilizing such facilities, under, upon, over, and through lands which the undersigned owns or in which the undersigned has an interest and/or in, or under all streets, roads or highways abutting said lands. The said Grantor is to fully use and enjoy said premises and said Grantor shall not construct or permit to be constructed any structures or obstructions on, under, or over or that will interfere with the construction, maintenance or operation of any telephone lines or systems, or appurtenances constructed hereunder. Said easement is situated in the Palmer Recording District, Third Judicial District, State of Alaska, described as follows:  
Sec. 25 Twp. 17N Rge. 4W Seward Meridian, Alaska.

A 15 foot wide easement under the existing M.E.A. pole line extending from the west property line to the east property line in government lot #15, Section 25, Township 17N, Range 4W, Seward Meridian, Alaska.

The Grantee, its successors and assigns, is hereby expressly given and granted the right to assign said right-of-way and easement herein granted and conveyed, or any part thereof, or interest therein.

TO HAVE AND TO HOLD unto the GRANTEE, its successors and assigns, with ingress to and egress from the premises for the purpose herein granted.

The undersigned covenant that they are the owners of the above-described lands and that the said lands are free and clear of encumbrances and liens of whatever character except those held by the following persons:

IN WITNESS WHEREOF, the Grantors have executed this conveyance this 2nd day of January, 1982

Signed, sealed and delivered  
in the presence of:

Patricia A. Euterich  
Patricia C. Jenkins

Victor R. O'Neill (L.S.) Executive  
(L.S.)

UNITED STATES OF AMERICA )  
STATE OF ALASKA ) ss.

THIS IS TO CERTIFY, that on this 2nd day of June, 1982, before

me the undersigned, a Notary Public in and for the State of Alaska, personally appeared Victor R. O'Neill, Executive each to me personally known and to me known to be the individual(s) described in and who executed the foregoing TELEPHONE RIGHT-OF-WAY EASEMENT and each acknowledged to me that he or she, as the case may be, signed and sealed the same freely and voluntarily for the uses and purposes therein mentioned.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

Patricia A. Euterich  
NOTARY PUBLIC for Alaska

My commission expires: 12-28-85



84- 018349  
1100

RECORDED & INDEXED  
PALMER REC.  
DISTRICT

JUL 18 10 45 AM '84

REQUESTER \_\_\_\_\_

ADDRESS \_\_\_\_\_

RECEIVED TELEPHONE ROOM  
JUL 18 1984  
PALMER ALASKA 99571





B





**STAFF REVIEW AND RECOMMENDATIONS  
PUBLIC HEARING  
FEBRUARY 18, 2026**

ABBREVIATED PLAT: **LUCAS 2025**

LEGAL DESCRIPTION: **SEC 05, T17N, R02E S.M., AK**

PETITIONER: **Valley Feed LLC, Ken Kincaid Managing Member**

SURVEYOR: **KEYSTONE SURVEYING**

ACRES: **0.53 +/-** PARCELS: **1**

REVIEWED BY: CAYMAN REYNOLDS

CASE: 2026-002

---

**REQUEST:**

The request is to create one lot from lots 8, 9, 15, and 16 Lucas Subdivision, Plat 5-65, to be known as **LUCAS 2025**, containing 0.53 acres +/- . The plat is located east of South Glenn Highway, south of West Evergreen Avenue, and north of West Elmwood Avenue, located within the NE ¼ Section 5, Township 17 North, Range 02 East, Seward Meridian, Alaska.

**EXHIBITS**

Vicinity Map and Aerial Photos

**Exhibit A – 4 pgs**

**AGENCY COMMENTS**

PD&E

**Exhibit B – 1 pg**

City of Palmer

**Exhibit C – 1 pg**

Utilities

**Exhibit D – 3 pgs**

**DISCUSSION:** The request is to create one lot from lots 8, 9, 15, and 16 Lucas Subdivision. The proposed subdivision is heard under MSB 43.15.025, *Abbreviated Plats* and MSB 43.15.054(G), *Exemptions*. Elimination of common lot lines are exempt from survey and monumentation requirements and allows the surveyor to use record information from the prior plat.

**COMMENTS:**

There were no objections or concerns received from Borough departments, outside agencies or the public at the time of this staff report. Palmer city community development notes that the lots 8-1, 15, and 16 do not appear on the vicinity map. This is due to MSB parcel viewer being inaccurate.

**CONCLUSION**

The plat of Lucas 2025 is consistent with AS 29.40.070 *Platting Regulations*, MSB 43.15.025 *Abbreviated Plats* and MSB 43.15.054(G) *Exemptions*. Plats to remove lot lines are exempt from provisions of the code, which require soils report submittals, legal and physical access, as-built survey,

and topographic information. There were no objections received from borough departments, outside agencies or the public at the time of this staff report.

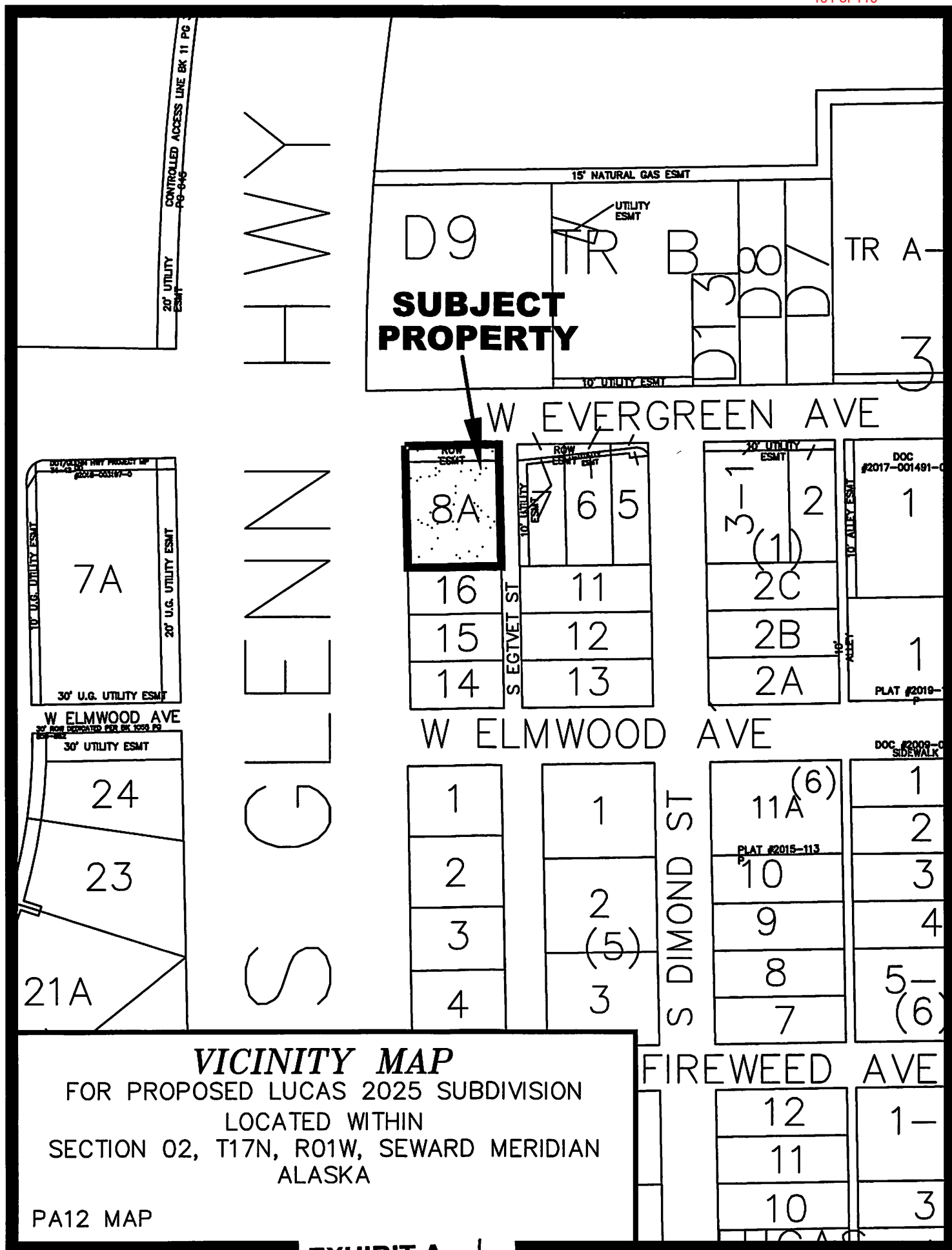
**FINDINGS of FACT:**

1. The abbreviated plat of Lucas 2025 is consistent with AS 29.40.070 *Platting Regulations*, MSB 43.15.025 *Abbreviated Plats*, and MSB 43.15.054(G) *Exemptions*.
- 2.
3. This plat combines four lots within Lucas Subdivision, lessening the lot density in the area.
4. There were no objections from any borough departments, outside agencies or the public.
5. An elimination of common lot line plat is exempt from provisions of the code, which require soils report submittals, legal and physical access requirements, as-built survey or topographic information.
6. MSB 43.15.054(G) allows the surveyor to use record information from the recorded plat of Lucas Subdivision (Plat #5-65), and does not require additional monumentation.

**RECOMMENDED CONDITIONS OF APPROVAL:**

Staff recommends approval of the abbreviated plat of Lucas 2025 contingent on the following recommendations:

1. Pay postage and advertising fee.
2. Provide updated Certificate to Plat executed within 7 days prior to recording and provide beneficiary affidavits from holders of beneficial interest, if any.
3. Taxes and special assessments must be paid in full prior to recording the plat, per MSB 43.15.053(F) and AS 40.15.020. Pay taxes and special assessments (LIDs) by certified funds or cash.
4. Submit recording fee payable to DNR.
5. Submit final plat in full compliance with Title 43.





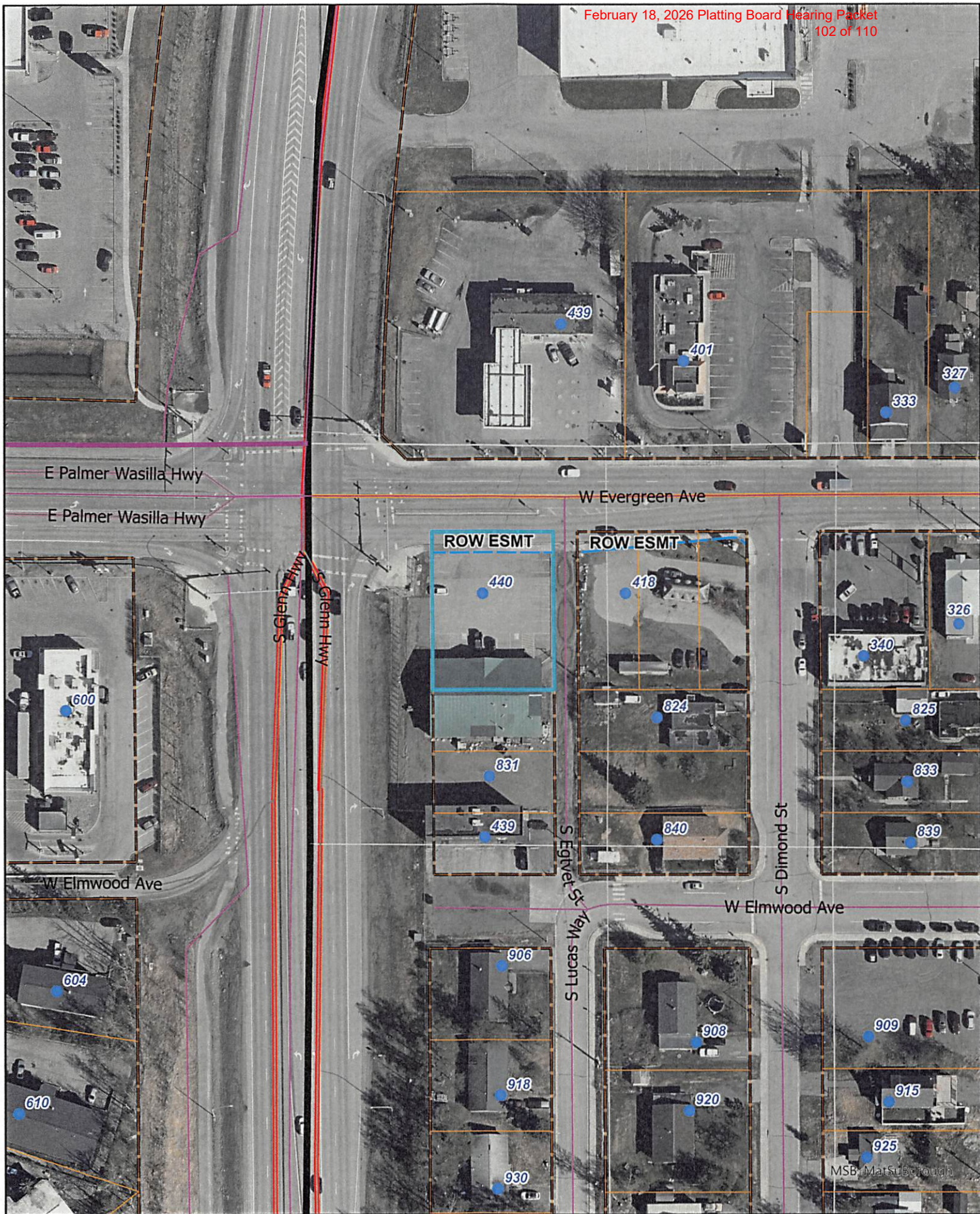


EXHIBIT A -2

0 120 240 480 Feet







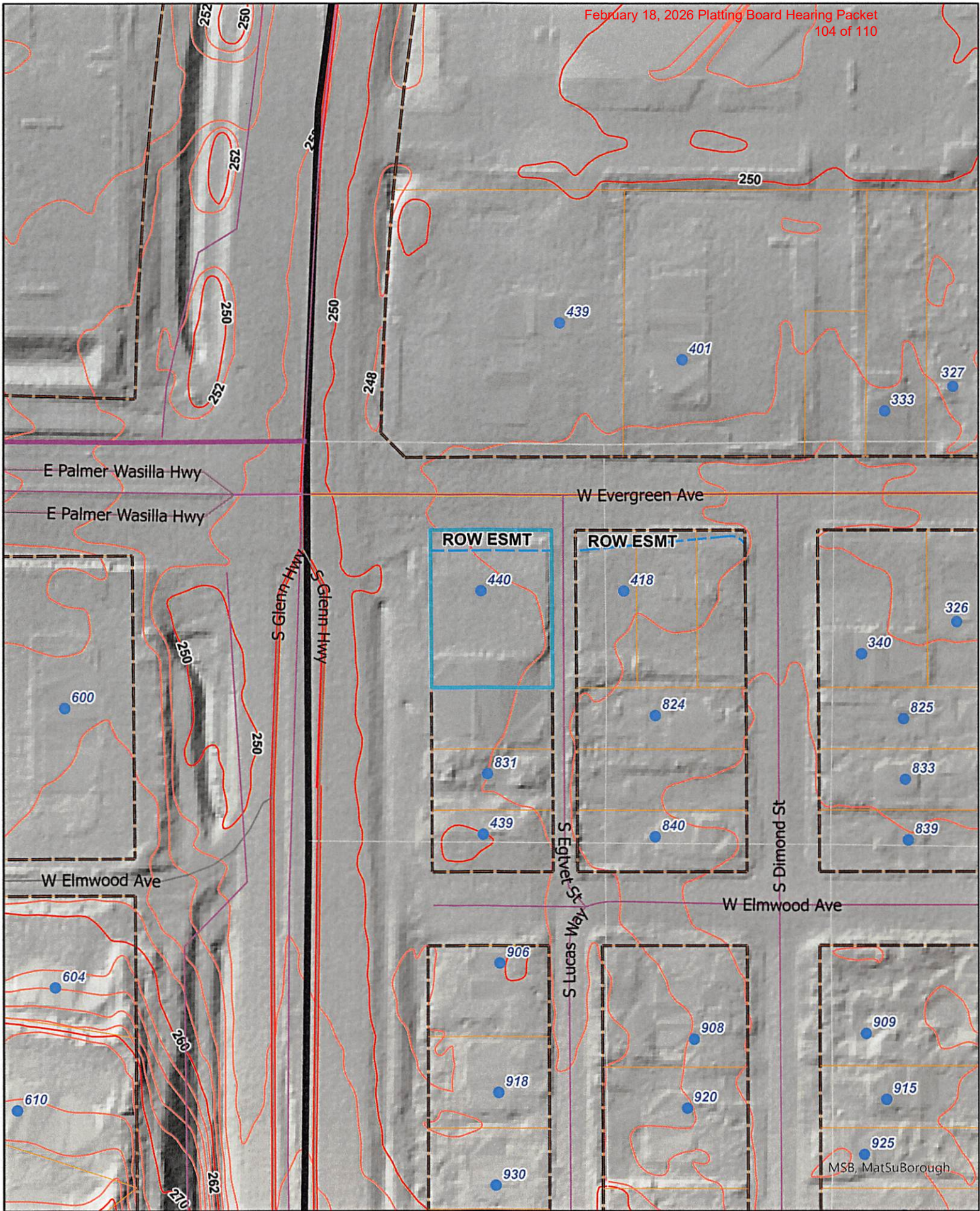


EXHIBIT A - 4

0 120 240 480 Feet



## Cayman Reynolds

---

**From:** Tammy Simmons  
**Sent:** Tuesday, January 27, 2026 2:11 PM  
**To:** Cayman Reynolds  
**Cc:** Brad Sworts; Jamie Taylor; Wheeler Nevels; Tammy Simmons  
**Subject:** RE: RFC Lucas 2025 CR

Hello,

PD&E has no comments.

Thank you.

PD&E Review Group

---

**From:** Cayman Reynolds <Cayman.Reynolds@matsugov.us>  
**Sent:** Wednesday, January 21, 2026 11:10 AM  
**To:** Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pde@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; row@mtasolutions.com; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; ospdesign@gci.com; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; clinchnot@yahoo.com; Tawnya Hightower <Tawnya.Hightower@matsugov.us>; akchief@mtaonline.net; hessmer@mtaonline.net; Fire Code <Fire.Code@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Michael Keenan <Michael.Keenan@matsugov.us>; avann@plamerak.org; Kalea Myers <kmyers@palmerak.org>; nouzts@palmerak.org  
**Subject:** RFC Lucas 2025 CR

Hello,

The following link is a request for comments for the proposed Lucas 2025.

Please ensure all comments have been submitted by February 4, 2026, so they can be incorporated in the staff report packet that will be presented during the public hearing.

 Lucas 2025

Feel free to contact me if you have any questions.

Thank you,



DEPARTMENT OF COMMUNITY DEVELOPMENT

Nathaniel Ouzts  
Director

Joy Bailey  
Library Director

Ailis Vann  
Parks & Facilities Manager

Ian Dorman  
Building Inspector

Mail: 231 W. Evergreen Ave.  
Location: 645 E. Cope Industrial Way  
Palmer, AK 99645-6748  
Phone: 907-745-3709  
www.palmerak.org

## MEMORANDUM

TO: Fred Wagner, Chief of Platting  
FROM: Kalea Myers, Community Development Specialist  
DATE: February 3, 2026  
LOCATION: Lots 8-1, 16, 15 Lucas Subdivision in Section 05, Township 17  
North, Range 2 East  
SUBJECT: Abbreviated Plat RFC – Create one lot  
TAX ACCT#: 5012B02L008-1, 5012B02L016, 5012B02L015  
☒ Inside City Limits ☐ Outside City Limits

We have distributed the pre-application packet for the subject project and have received the following comments from the following departments:

1. City Manager: No comments
2. Building Inspector: No comments
3. Community Development: Plat Application request details that Lot(s) 8-1, 15 & 16 to be combined but "Subject Property Map (page 2) only highlights 8A as "subject" not ALL 3 lots pertaining to re-plat. Otherwise, full support of re-plat.
4. Fire Chief: No comments
5. Public Works: No comments
6. Airport Superintendent: No comments
7. Planning and Zoning Commission: The proposed platting action is scheduled to be reviewed at the February 19, 2026, Planning & Zoning Commission meeting; any additional comments will be forwarded at this time.

City of Palmer

EXHIBIT C

## Cayman Reynolds

---

**From:** OSP Design Group <ospdesign@gci.com>  
**Sent:** Wednesday, February 4, 2026 1:57 PM  
**To:** Cayman Reynolds  
**Cc:** OSP Design Group  
**Subject:** RE: RFC Lucas 2025 CR  
**Attachments:** Agenda Plat.PDF

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Cayman,

In review GCI has no comments or objections to the plat, attached is the signed plat for your records.

Thanks,

GCI | OSP Design

1001 Northway Dr., 1<sup>st</sup> Floor, Anchorage, AK 99508

e: [OSPDesign@gci.com](mailto:OSPDesign@gci.com) | w: [www.gci.com](http://www.gci.com)

---

**From:** Cayman Reynolds <Cayman.Reynolds@matsugov.us>

**Sent:** Wednesday, January 21, 2026 11:10 AM

**To:** Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pde@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; row@mtasolutions.com; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; OSP Design Group <ospdesign@gci.com>; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; clinchnot@yahoo.com; Tawnya Hightower <Tawnya.Hightower@matsugov.us>; akchief@mtaonline.net; hessmer@mtaonline.net; Fire Code <Fire.Code@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Michael Keenan <Michael.Keenan@matsugov.us>; avann@plamerak.org; Kalea Myers <kmyers@palmerak.org>; nouzts@palmerak.org

**Subject:** RFC Lucas 2025 CR

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Hello,

The following link is a request for comments for the proposed Lucas 2025.

Please ensure all comments have been submitted by February 4, 2026, so they can be incorporated in the staff report packet that will be presented during the public hearing.

 Lucas 2025





**ENSTAR Natural Gas Company, LLC**  
Engineering Department, Right of Way Section  
401 E. International Airport Road  
P. O. Box 190288  
Anchorage, Alaska 99519-0288  
(907) 277-5551  
FAX (907) 334-7798

February 5, 2026

Matanuska-Susitna Borough, Platting Division  
350 East Dahlia Avenue  
Palmer, AK 99645-6488

To whom it may concern:

ENSTAR Natural Gas Company, LLC has reviewed the following preliminary and abbreviated plats and has no comments or recommendations.

- **Windhaven Subdivision**  
(MSB Case # 26-005)
- **Lucas 2025**  
(MSB Case # 26-002)

If you have any questions, please feel free to contact me at (907) 252-1294 or by email at [skylar.furlong@enstarnaturalgas.com](mailto:skylar.furlong@enstarnaturalgas.com).

Sincerely,

A handwritten signature in cursive script that reads "Skylar Furlong".

Skylar Furlong  
Environmental Permitting & Compliance Specialist  
ENSTAR Natural Gas Company, LLC

## Cayman Reynolds

---

**From:** Kiley Guggenmos <kguggenmos@mtasolutions.com>  
**Sent:** Wednesday, February 4, 2026 9:12 AM  
**To:** Cayman Reynolds  
**Subject:** RE: RFC Lucas 2025 CR

[EXTERNAL EMAIL - CAUTION: Do not open unexpected attachments or links.]

Good morning,

MTA has no comments.

Thank you,

**Kiley Guggenmos, Right of Way Assistant**  
1740 S. Chugach St., Palmer, Alaska 99645  
Office: (907) 761-2687 | [www.mtasolutions.com](http://www.mtasolutions.com)



Life. Technology. Together.

**From:** Cayman Reynolds <Cayman.Reynolds@matsugov.us>  
**Sent:** Wednesday, January 21, 2026 11:10 AM  
**To:** Brian Davis <Brian.Davis@matsugov.us>; Chad Cameron Contact <ccameron@palmerak.org>; Land Management <Land.Management@matsugov.us>; Jillian Morrissey <Jillian.Morrissey@matsugov.us>; Brad Sworts <Brad.Sworts@matsugov.us>; Jamie Taylor <Jamie.Taylor@matsugov.us>; Pre-Design & Engineering <pde@matsugov.us>; Tammy Simmons <Tammy.Simmons@matsugov.us>; Wheeler Nevels <Wheeler.Nevels@matsugov.us>; eric.r.schuler@usps.gov; matthew.a.carey@usps.gov; Amie Jacobs <Amie.Jacobs@matsugov.us>; Alex Strawn <Alex.Strawn@matsugov.us>; Fred Wagner <Frederic.Wagner@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Katrina Kline <katrina.kline@matsugov.us>; MSB Farmers <MSB.Farmers@matsugov.us>; Planning <MSB.Planning@matsugov.us>; Taunnie Boothby <Taunnie.Boothby@matsugov.us>; Erin Ashmore <Erin.Ashmore@matsugov.us>; mearow@mea.coop; Right of Way Dept. <row@mtasolutions.com>; andrew.fraiser@enstarnaturalgas.com; row@enstarnaturalgas.com; ospdesign@gci.com; Myers, Sarah E E (DFG) <sarah.myers@alaska.gov>; Percy, Colton T (DFG) <colton.percy@alaska.gov>; clinchnot@yahoo.com; Tawnya Hightower <Tawnya.Hightower@matsugov.us>; akchief@mtaonline.net; hessmer@mtaonline.net; Fire Code <Fire.Code@matsugov.us>; Jeffrey Anderson <Jeffrey.Anderson@matsugov.us>; Michael Keenan <Michael.Keenan@matsugov.us>; avann@plamerak.org; Kalea Myers <kmyers@palmerak.org>; nouzts@palmerak.org  
**Subject:** RFC Lucas 2025 CR

Hello,

The following link is a request for comments for the proposed Lucas 2025.



CERTIFICATE OF OWNERSHIP

I CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN AND DESCRIBED IN THIS PLAN AND THAT I ADOPT THIS PLAN OF SUBDIVISION BY MY FREE CONSENT.

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

NAME/TITLE  
VALLEY FEED, LLC  
10601 E. GRANITE RIDGE ROAD  
PALMER, ALASKA 99645

NOTARY ACKNOWLEDGMENT  
SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_, 20\_\_\_\_, AND THAT

NOTARY FOR THE STATE OF ALASKA  
MY COMMISSION EXPIRES \_\_\_\_\_

PLANNING & LAND USE DIRECTOR'S CERTIFICATE  
I CERTIFY THAT THIS SUBDIVISION PLAN HAS BEEN FOUND TO COMPLY WITH THE LAND SUBDIVISION REGULATIONS OF THE MATANUSKA-SUSTINA BOROUGH, AND THAT THE PLAT HAS BEEN APPROVED BY THE PLATTING AUTHORITY BY PLAT RESOLUTION NO. \_\_\_\_\_.

DATED \_\_\_\_\_, 20\_\_\_\_, AND THAT THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE PALMER RECORDING DISTRICT, THIRD JUDICIAL DISTRICT, STATE OF ALASKA, IN WHICH THE PLAT IS LOCATED.

DATE \_\_\_\_\_ PLANNING & LAND USE DIRECTOR  
ATTEST: \_\_\_\_\_ PLATTING CLERK

CERTIFICATION OF PAYMENT OF TAXES  
I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS, THROUGH \_\_\_\_\_, 20\_\_\_\_, AGAINST THE PROPERTY, INCLUDED IN THE SUBDIVISION OR RESUBDIVISION, HEREON HAVE BEEN PAID.

DATE \_\_\_\_\_ BOROUGH TAX COLLECTION OFFICIAL

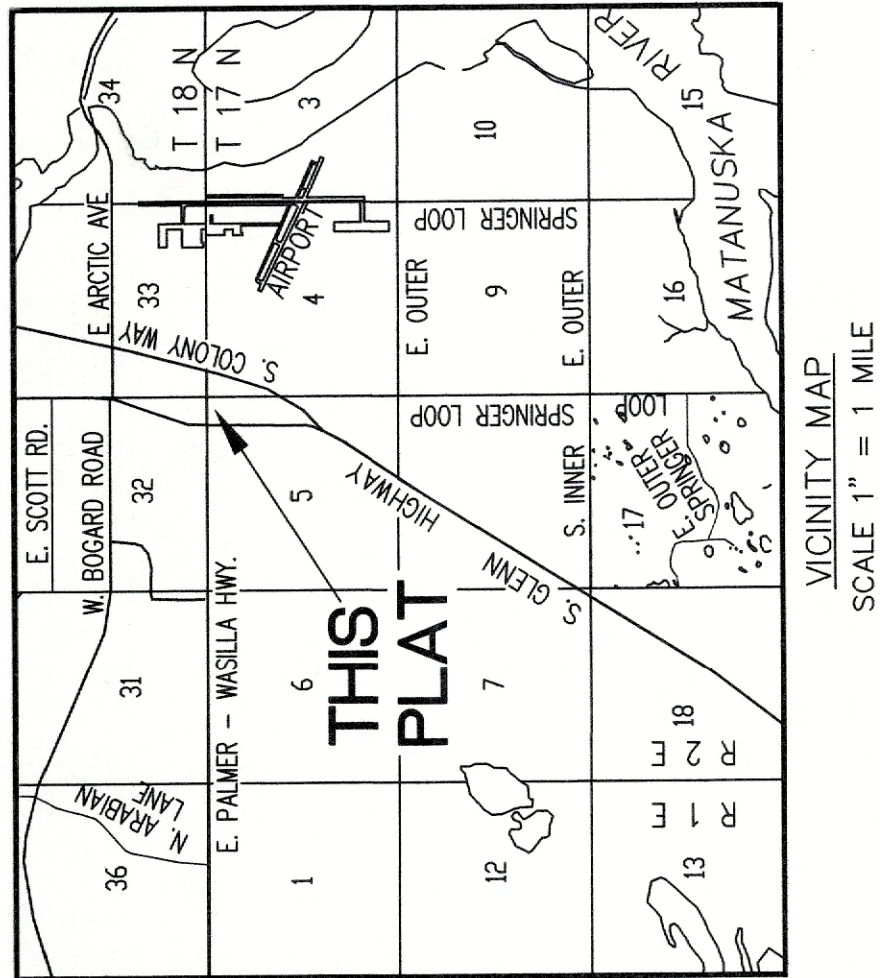
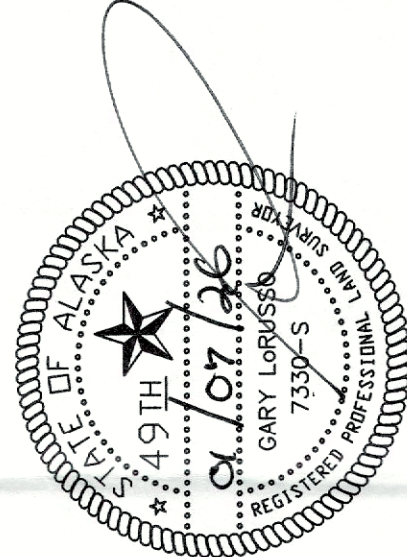
CERTIFICATION OF PAYMENT OF TAXES  
I HEREBY CERTIFY THAT ALL CURRENT TAXES AND SPECIAL ASSESSMENTS, THROUGH \_\_\_\_\_, 20\_\_\_\_, AGAINST THE PROPERTY, INCLUDED IN THE SUBDIVISION OR RESUBDIVISION, HEREON HAVE BEEN PAID.

DATE \_\_\_\_\_ CITY OF PALMER TAX COLLECTION OFFICIAL

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF ALASKA AND THAT THIS PLAT REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT THE MONUMENTS SHOWN ON THE PLAT ACTUALLY EXIST AS DESCRIBED, AND THAT ALL DIMENSIONAL AND OTHER DETAILS ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

REGISTERED LAND SURVEYOR \_\_\_\_\_ DATE \_\_\_\_\_

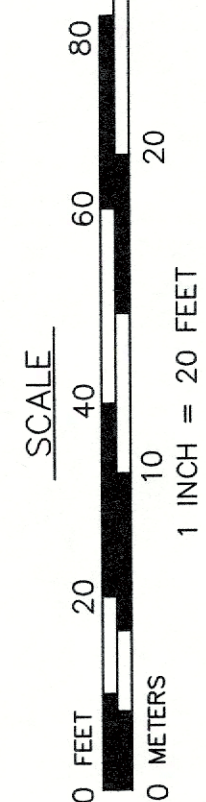
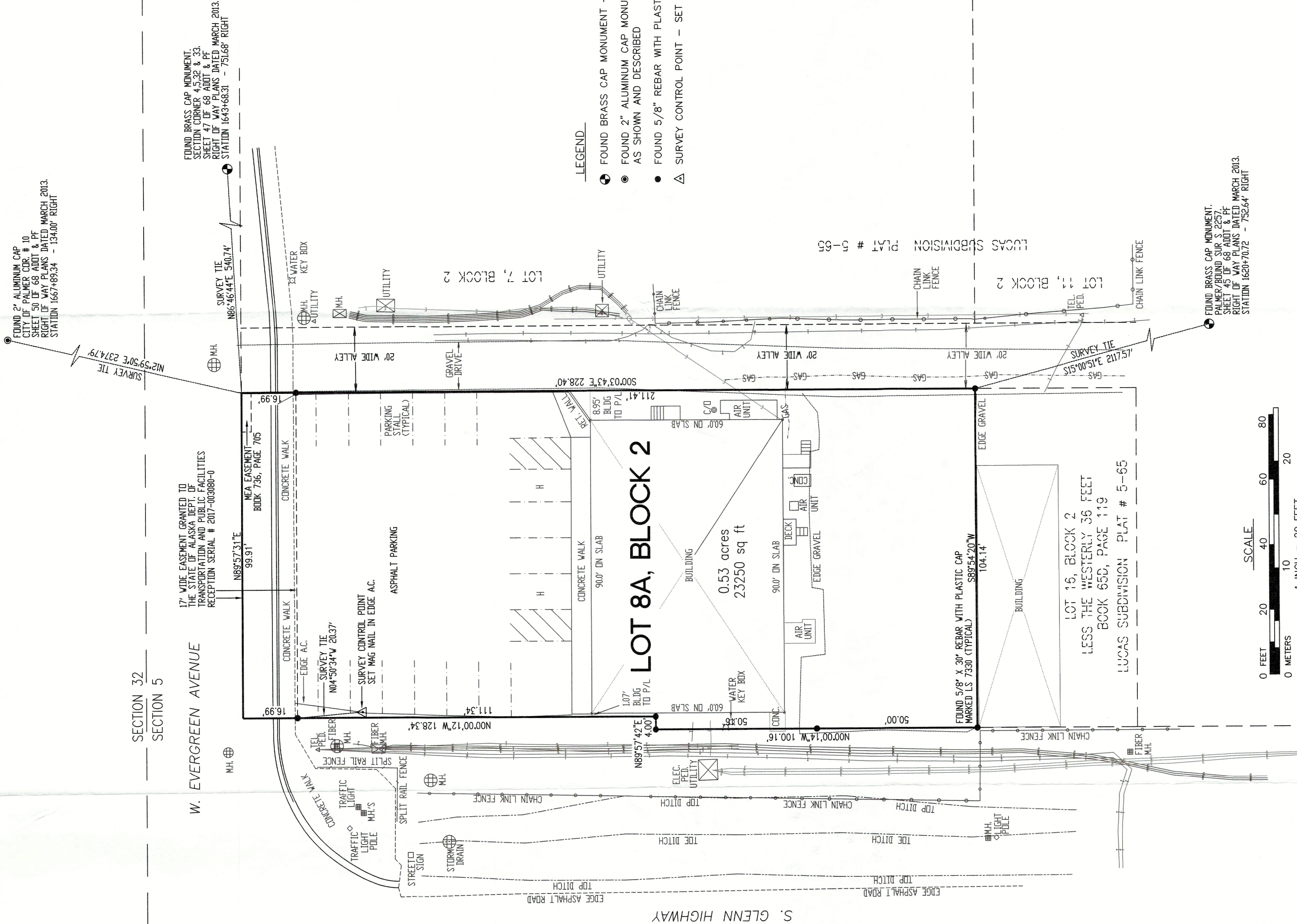


NOTES:

1. THERE MAY BE FEDERAL, STATE AND LOCAL REQUIREMENTS GOVERNING LAND USE. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL PARCEL OWNER TO OBTAIN A DETERMINATION WHETHER SUCH REQUIREMENTS APPLY TO THE DEVELOPMENT OF PARCELS SHOWN HEREON.
2. BASIS OF BEARING FROM G.P.S. OBSERVATION TAKEN AT THE SURVEY CONTROL POINT SHOWN HEREON.
3. 5/8" x 30" REBAR WITH 1-1/4" SELF-IDENTIFYING PLASTIC CAP SET AT ALL LOT CORNERS, P.C.'S, P.T.'S AND P.A.C.'S UNLESS NOTED.
4. NO INDIVIDUAL WATER SUPPLY SYSTEM OR SEWAGE DISPOSAL SYSTEM SHALL BE PERMITTED ON ANY LOT UNLESS SUCH SYSTEM IS LOCATED, CONSTRUCTED AND EQUIPPED IN ACCORDANCE WITH THE REQUIREMENTS, STANDARDS AND RECOMMENDATIONS OF THE STATE OF ALASKA, DEPARTMENT OF ENVIRONMENTAL CONSERVATION, WHICH GOVERN THOSE SYSTEMS.
5. EASEMENTS OF RECORD NOT PLOTTED HEREON:  
o) MEA EASEMENT RECORDED SEPTEMBER 9, 1985 IN BOOK 434, PAGE 35.

LEGEND:

- FOUND BRASS CAP MONUMENT - AS SHOWN AND DESCRIBED
- FOUND 2" ALUMINUM CAP MONUMENT AS SHOWN AND DESCRIBED
- FOUND 5/8" REBAR WITH PLASTIC CAP MARKED LS 7330
- △ SURVEY CONTROL POINT - SET MAG. NAIL IN EDGE OF ASPHALT CONCRETE



Agenda Copy  
RECEIVED  
JAN 13 2026  
PLATTING

A PLAT OF

### LUCAS 2025

A SUBDIVISION OF LOTS 8, 9, 15 AND 16, BLOCK 2  
LUCAS SUBDIVISION, PLAT #5-65  
EXCEPTING THAT PORTION DEEDED TO THE  
STATE OF ALASKA BY DEED BOOK 65D, PAGE 294  
AND THAT PORTION DEEDED TO THE STATE OF ALASKA  
BY DEED BOOK 66D, PAGE 68  
WITHIN THE  
NE 1/4 SECTION 5, TOWNSHIP 17 NORTH, RANGE 02 EAST  
SEWARD MERIDIAN, ALASKA  
PALMER RECORDING DISTRICT  
THIRD JUDICIAL DISTRICT  
STATE OF ALASKA  
CONTAINING 0.53 ACRES, MORE OR LESS

### KEYSTONE SURVEYING & MAPPING

GARY LORUSSO, PROFESSIONAL LAND SURVEYOR  
ALASKA BUSINESS LICENSE #134615  
MAILING ADDRESS: P.O. BOX 2216 • PALMER, ALASKA 99645  
PHYSICAL ADDRESS: 3635 N. VISTA CIRCLE • PALMER, ALASKA 99645  
PHONE: (907) 376-7811

DRAWN BY ICAD/KLyne	DATE 1/7/26	DRAWING: 2026-1/Lucas2025
CHECKED BY GLO	SCALE 1 INCH = 20 FEET	SHEET 1 OF 1